

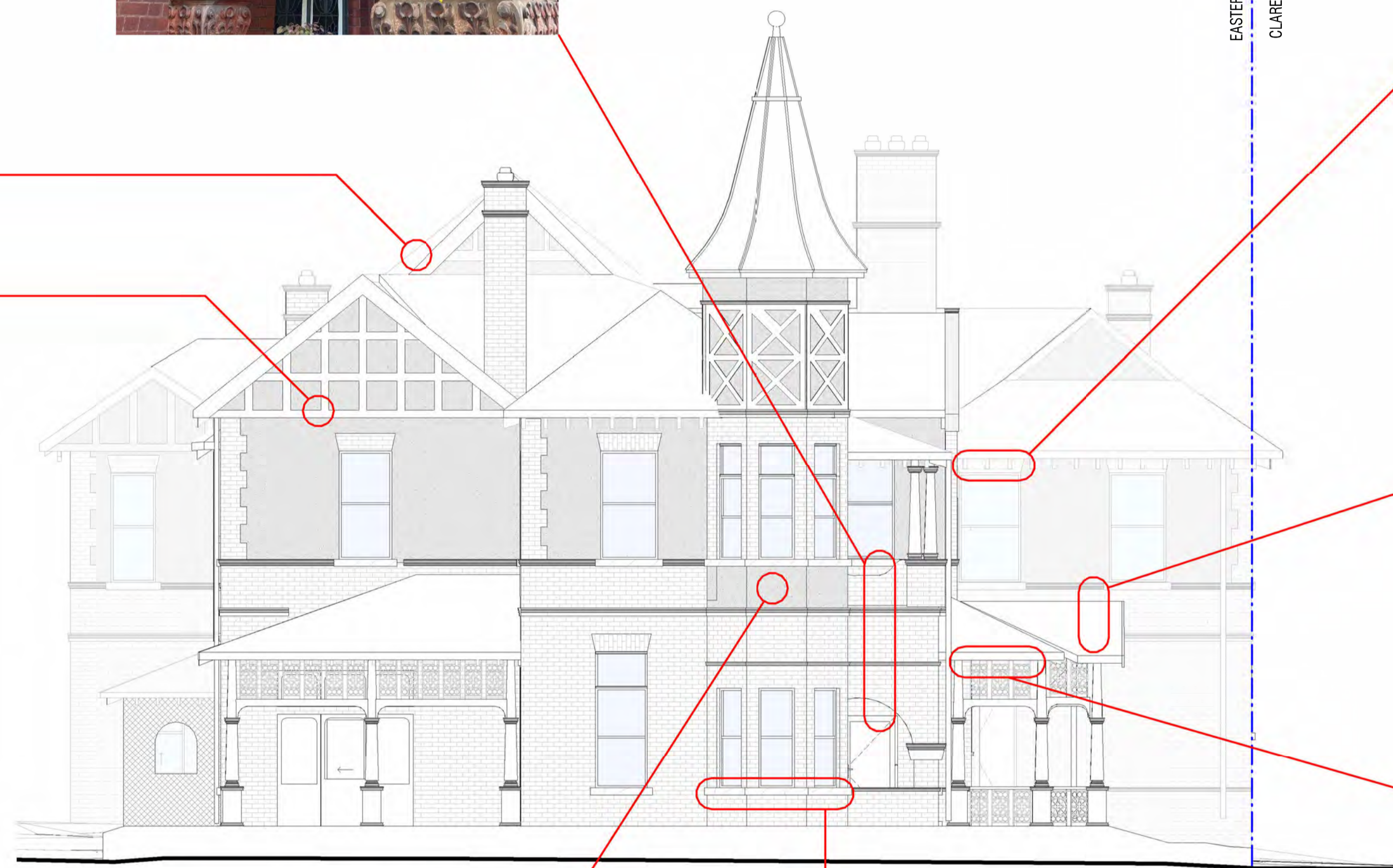
STRUCTURAL CRACK TO WALL.  
AND THROUGH ARCH OPENING



GAP BETWEEN ROOF TILES AND FASCIA.  
FILL REQUIRED FOR WATER PROOFING



TIMBER STRAPPING SHOWING SIGNS OF ROT. REPAIR REQUIRED



BRICK LINTEL SEPARATING



LARGE GAP BETWEEN  
SOFFIT AND WALL  
CLADDING

STRUCTURAL CRACK  
IN BRICK WALL



BRICK LINTEL CRACKING.  
DOOR LEANING / PEELING AWAY FROM OPENING



WATER DAMAGE BEHIND TERRACOTTA TILES.  
ROTTEN TIMBER SILLS



CRACKED SILL AROUND BAY WINDOW

A HV RFI 01 NOV 2024

- HV LODGE SEPT 2024

REVISION DESCRIPTION DATE

REVISION SCHEDULE

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING EXTERNAL REPAIR WORK  
- SOUTH ELEVATION

ADDRESS 1-19 CLARENDON ST,  
EAST MELBOURNE

SCALE AS SHOWN

DATE AUG '24

SHEET SIZE A3

FILE b.e

**be**architecture

100 Stephenson Street, Cremorne NORTH

VIC 3121

P: 03 9416 1600

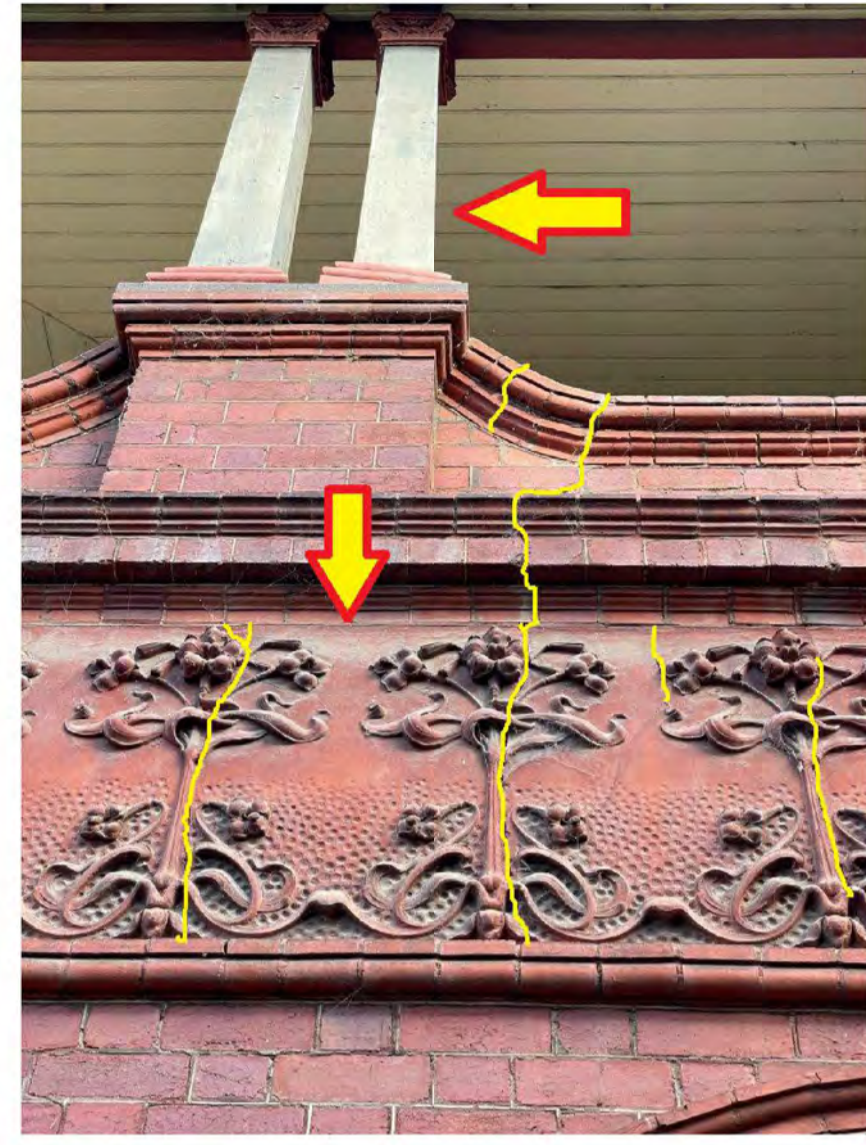
REVISION A

JOB NO: 2309

H26



STRUCTURAL WALL CRACK TO FF BALUSTRADE  
SUPPORT COLUMN TWISTED AND LEANING  
CRACKED TERRACOTTA TILE WITH WATER  
DAMAGE

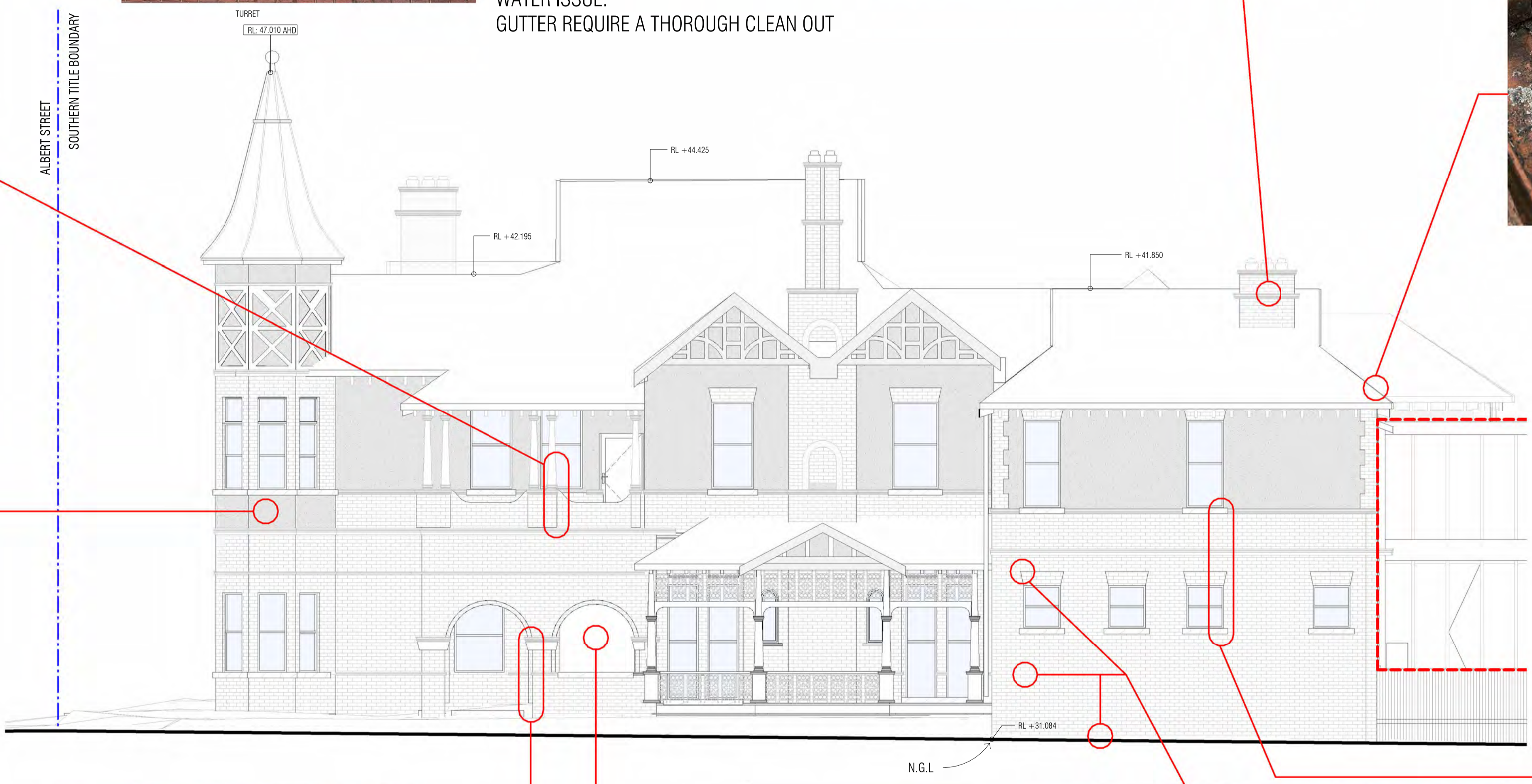
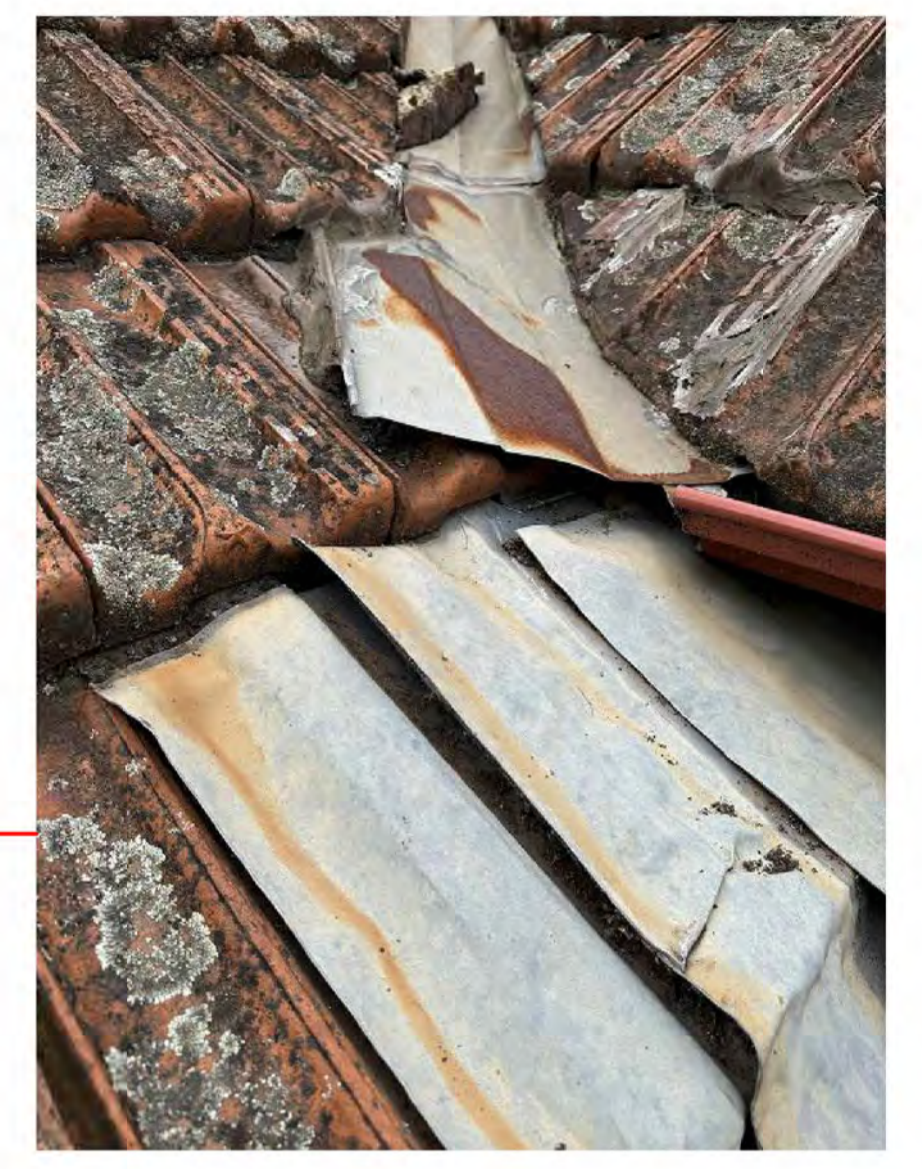


GAPS BETWEEN FLASHING TO ROOF TILES.  
WATER ISSUE.  
GUTTER REQUIRE A THOROUGH CLEAN OUT



CHIMNEY CAPPING CRACKING AND  
FALLING OFF. TERRACOTTA POTS  
MISSING, WATER LEAKING IN

RUSTED ROOF FLASHING  
FLASHING NOT OVERLAPPING  
PROPERLY WITH LARGE GAPS CAUSING  
WATER DAMAGE TO INTERIOR DURING  
HEAVY RAINFALL

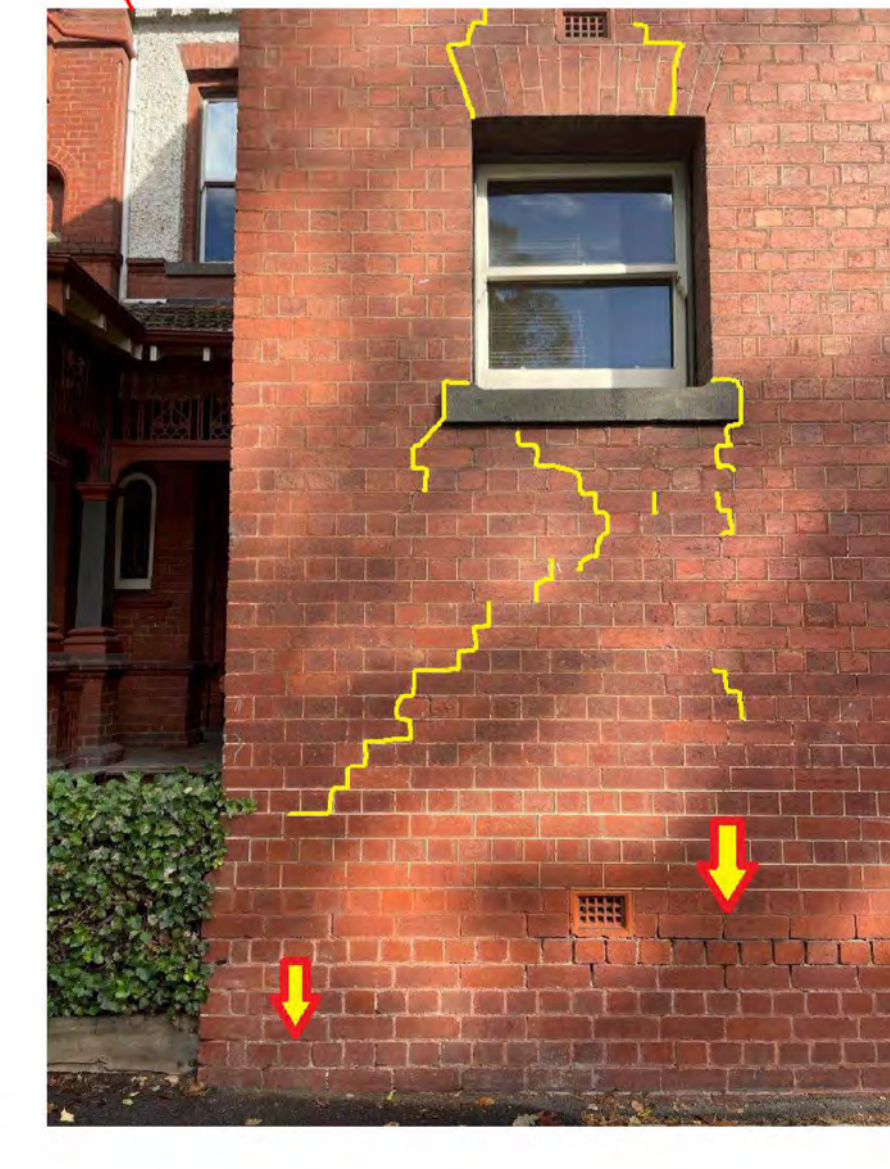
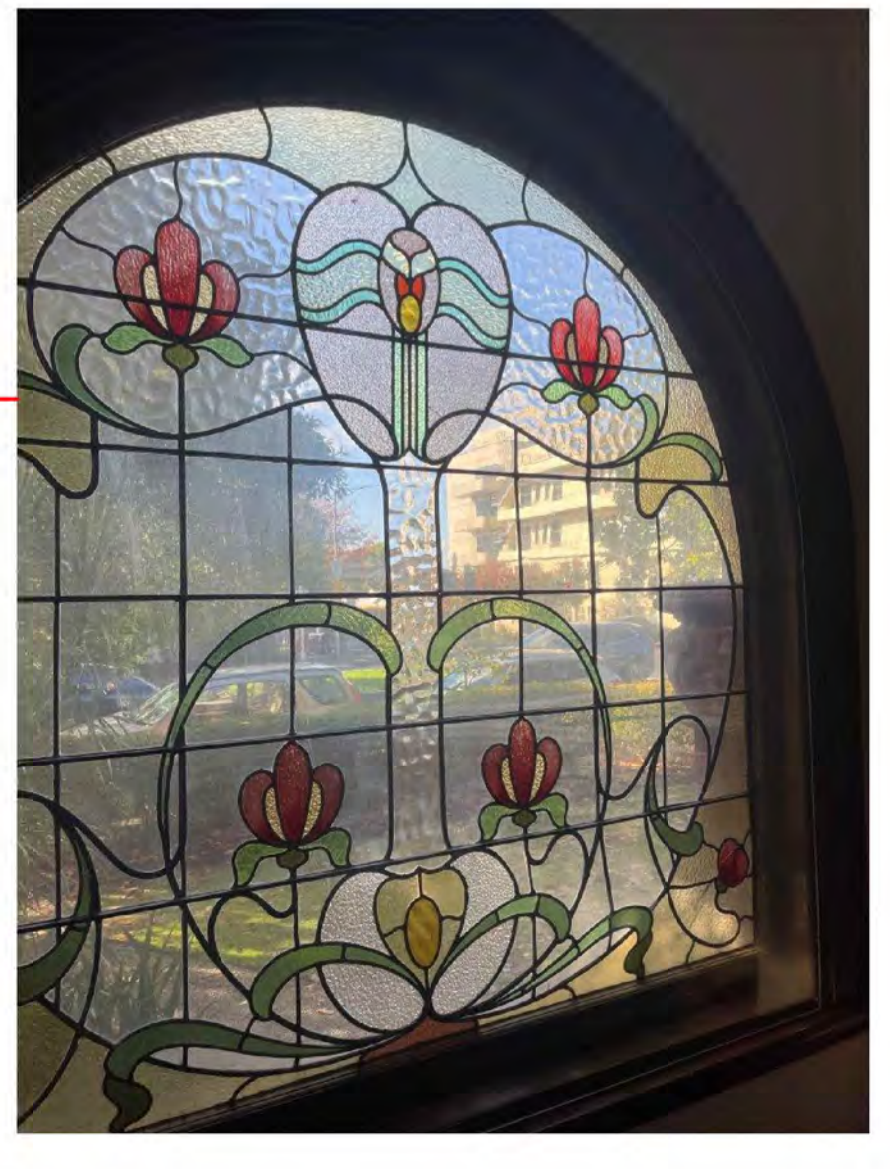


WATER DAMAGE BEHIND TERRACOTTA  
TILES. TILES CRACKING

WATER DAMAGE BEHIND TERRACOTTA  
COLLAR  
LEANING BRICK PILLAR SEPARATING FROM  
WINDOW SILL.  
RISING DAMP AT BASE OF BRICK WALL



EXISTING STAINED GLASS WINDOW  
DISTORTED AND BOWING INWARDS  
PERSPEX PANEL FIXED TO INTERIOR  
AND EXTERIOR



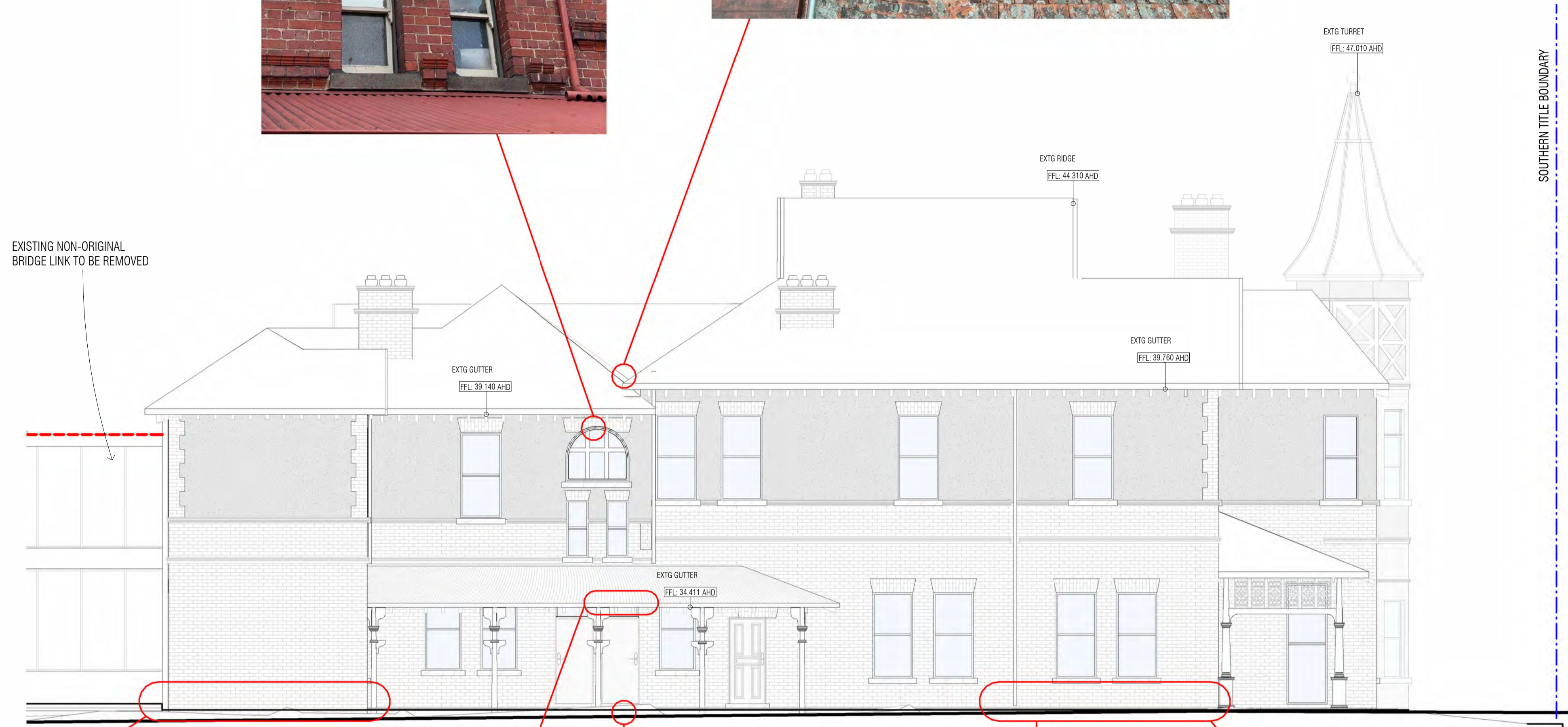
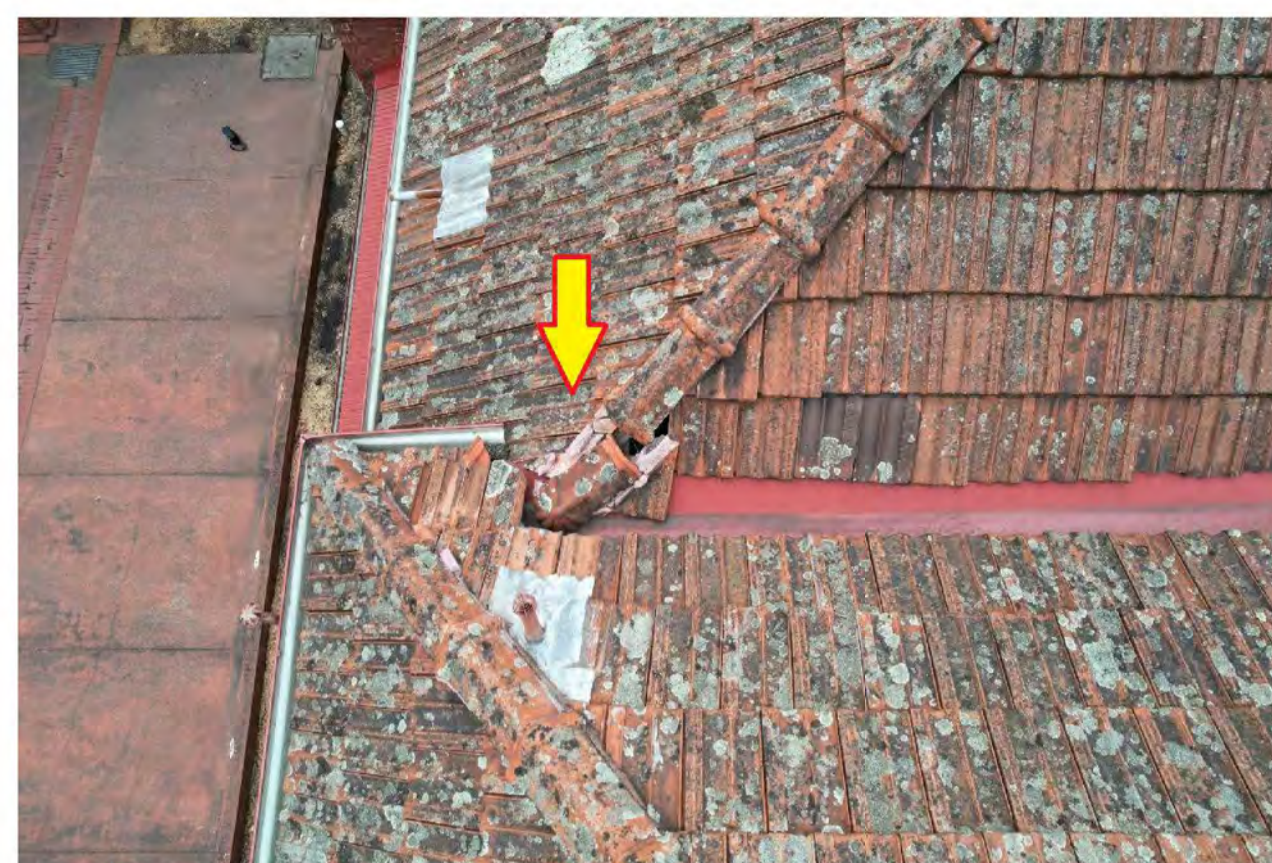
STRUCTURAL CRACKS ACROSS  
BRICK WALL  
RISING DAMP AT BASE OF WALL

EXTERNAL REPAIR WORK - EAST ELEVATION

|  |  |           |
|--|--|-----------|
| A  | HW R01                                   | NOV 2024  |
| -  | HW LODGE                                 | SEPT 2024 |
| REVISION SCHEDULE  |  |           |
| CLIENT   | KFO                                      |           |
| PROJECT  | 1-19 CLARENDON ST<br>EAST MELBOURNE      |           |
| DRAWING  | EXTERNAL REPAIR WORK<br>- EAST ELEVATION |           |
| ADDRESS  | 1-19 CLARENDON ST,<br>EAST MELBOURNE     |           |
| SCALE  | AS SHOWN                                 |           |
| DATE   | AUG '24                                  |           |
| SHEET SIZE   | A3                                       |           |
| FILE   | b.e                                      |           |
| <b>be</b> architecture   |  |           |
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| JOB NO:  | 2309                                     | H27       |



CRACKS IN LINTEL & SILL /  
GAPS TO WINDOW FRAME  
ROOF SOFFIT DEGRADED



SOUTHERN TITLE BOUNDARY  
ALBERT STREET



NO SUB-FLOOR VENTILATION  
RISING DAMP UP THE WALL WITH SALT DAMAGE



NO CLEARANCE BETWEEN TIMBER DECKING TO LANDSCAPING  
ROTTING TIMBER. VERANDAH DOES NOT APPEAR TO BE ORIGINAL

CRACKING LINTEL



RISING DAMP UP THE WALL  
ROTTEN WINDOW FRAMES



CRACKS TO BRICK WALL  
RISING DAMP. NOT ENOUGH GROUND CLEARANCE

| A                 | HW RFI 01                             | NOV 2024  |
|-------------------|---------------------------------------|-----------|
| -                 | HW LODGE                              | SEPT 2024 |
| REVISION          | DESCRIPTION                           | DATE      |
| REVISION SCHEDULE |                                       |           |
| CLIENT            | KFO                                   |           |
| PROJECT           | 1-19 CLARENDON ST                     |           |
| DRAWING           | EXTERNAL REPAIR WORK - WEST ELEVATION |           |
| ADDRESS           | 1-19 CLARENDON ST, EAST MELBOURNE     |           |
| SCALE             | AS SHOWN                              |           |
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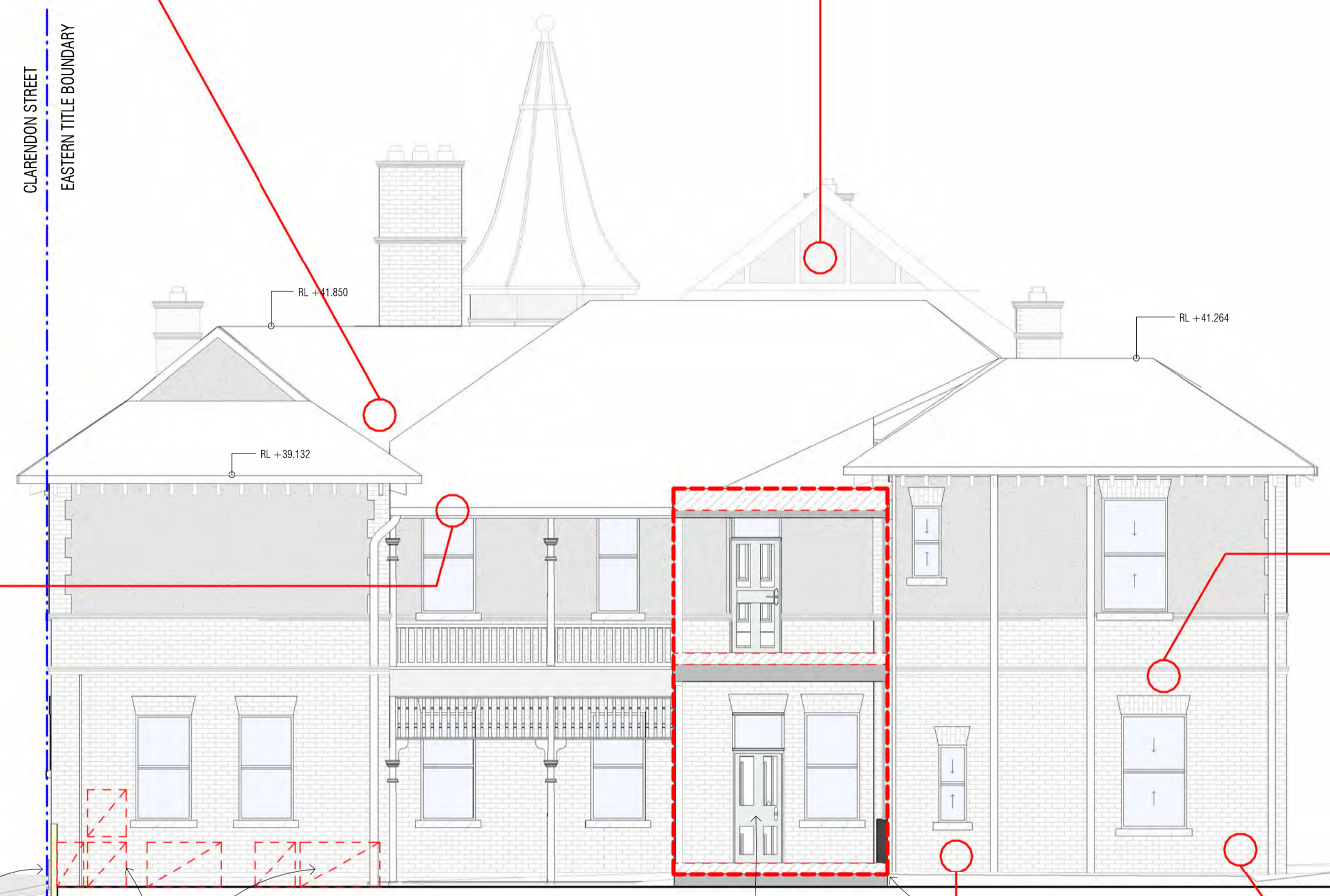


NOT ENOUGH CLEARANCE FOR VALLEY GUTTERS  
DEBRIS IN ROOF GUTTER BLOCKING DRAINAGE



GAPS BETWEEN ROOF TILE TO  
GABLE ENDS CAUSING WATER ISSUE

ROTTEN TIMBER AND DILAPIDATED



CLARENDON STREET  
EASTERN TITLE BOUNDARY

EXISTING GALVANIZED STEEL  
FENCE ON BOUNDARY  
SHOWN YELLOW

REMOVE EXISTING AC  
CONDENSERS AND BBO  
AND RAISED PLANTER

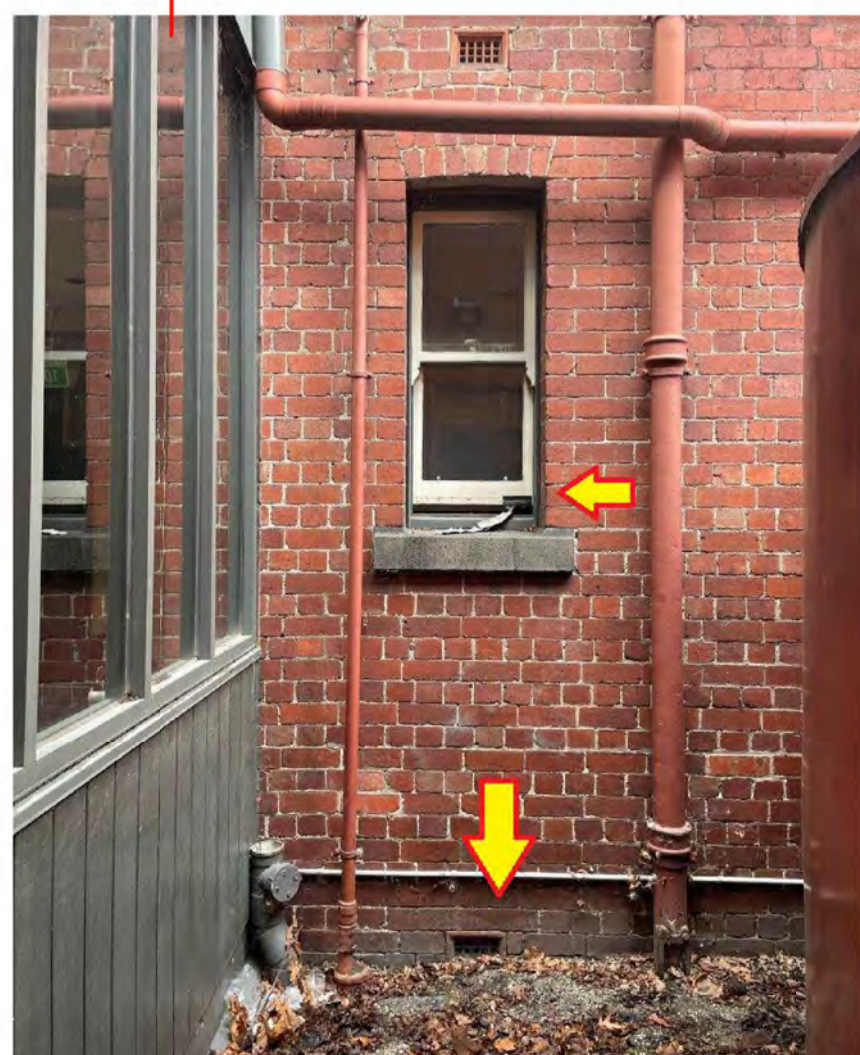
REPLACE NON-  
ORIGINAL DOOR

EXISTING NON-ORIGINAL BUILDING  
LINK TO BE REMOVED



STRUCTURAL REVIEW REQUIRED TO ALL WINDOW LINTELS

CRACKING IN MASONRY WALL



ROTTEN / DILAPIDATED TIMBER FRAME



RISING DAMP  
NOT ENOUGH SUB-FLOOR VENTILATION

| A  | HW RFI 01                              | NOV 2024  |
|--|--|-----------|
| -  | HW LODGE                               | SEPT 2024 |
| REVISION   | DESCRIPTION                            | DATE      |
| REVISION SCHEDULE  |  |           |
| CLIENT   | KFO                                    |           |
| PROJECT  | 1 - 19 CLARENDON ST                    |           |
| DRAWING  | EXTERNAL REPAIR WORK - NORTH ELEVATION |           |
| ADDRESS  | 1 - 19 CLARENDON ST, EAST MELBOURNE    |           |
| SCALE  | AS SHOWN                               |           |
| DATE   | AUG '24                                |           |
| SHEET SIZE   | A3                                     |           |
| FILE   | b.e                                    |           |
| <b>be</b> architecture                                   |  |           |
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EXTERNAL REPAIR WORK - NORTH ELEVATION



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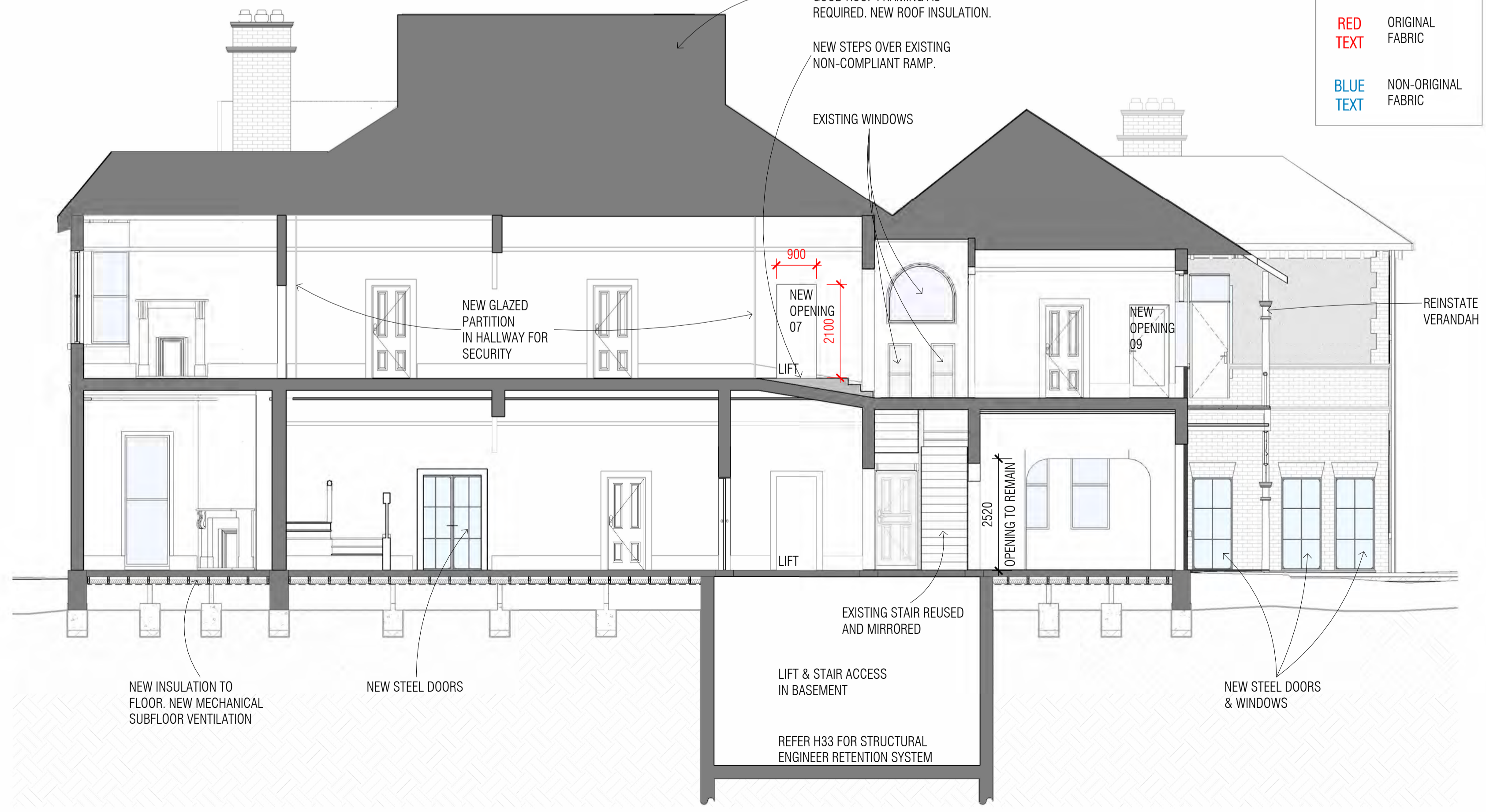


LONG SECTION - EXISTING & PROPOSED DEMOLITION  
SCALE 1:75

1. NON-ORIGINAL WALKWAY LINK REMOVED
2. NON-ORIGINAL DOORS REMOVED
3. NON-ORIGINAL GLASS PIVOT COMMERCIAL DOOR REMOVED.
4. NON-ORIGINAL GLASS PARTITION AND DOOR REMOVED
5. REMOVE AND STORE ORIGINAL DOOR FOR NEW LIFT DOOR OPENING
6. NEW OPENING 07 IN ORIGINAL WALL FOR LIFT DOOR OPENING
7. REMOVE LOW-HEIGHT WALL AND NON-ORIGINAL WC BEHIND
8. MIRROR EXISTING STAIR TO SUIT NEW PROPOSED LAYOUT
9. NEW OPENING 09 IN ORIGINAL WALL

**LEGEND - DEMOLITION**

- EXISTING ORIGINAL FABRIC TO BE RETAINED.
- PROPOSED DEMOLITION TO ORIGINAL BUILDING ELEMENTS
- PROPOSED DEMOLITION TO NON-ORIGINAL BUILDING ELEMENTS
- RED TEXT** ORIGINAL FABRIC
- BLUE TEXT** NON-ORIGINAL FABRIC



LONG SECTION - PROPOSED  
SCALE 1:75

PHOTO REFERENCE - EXISTING & NON-COMPLIANCE



SITE PHOTO #5  
• LEVEL 01 FRONT VERANDAH DOES NOT COMPLY DUE TO FLOOR SLOPE AND RAILING HEIGHT. DOES NOT HAVE COMPLIANT WATERPROOFING



SITE PHOTO #6  
• LEVEL 01 NORTH VERANDAH NON-COMPLIANT DUE TO FLOOR SLOPE AND LOW BALUSTRADE. ALLOWS FALLING DANGER.



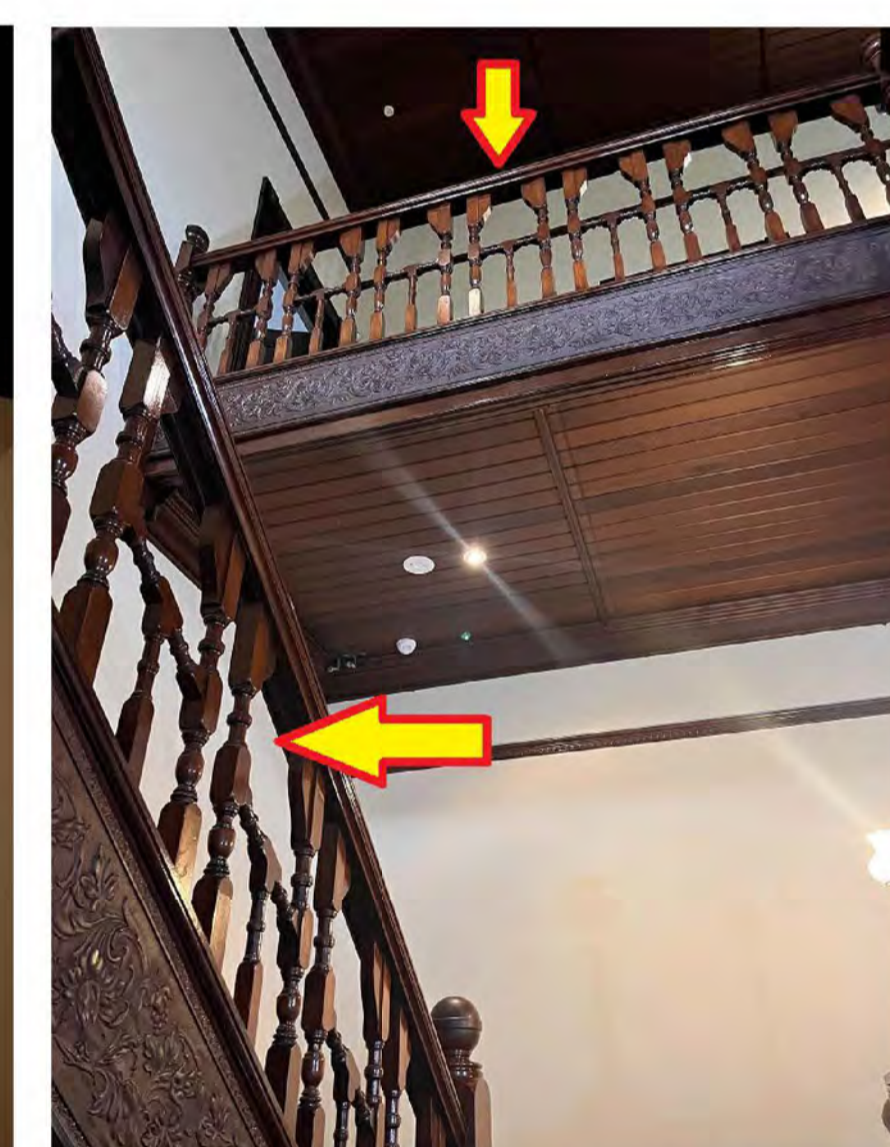
SITE PHOTO #7  
• ENERGY EFFICIENCY TO EXISTING SINGLE GLAZED WINDOWS NON-COMPLIANT.



SITE PHOTO #1  
• REMOVE STAIR & NON-ORIGINAL WC ON LANDING TO OPEN UP WINDOWS TO HALLWAY.  
• EXTG. STAIR BALUSTRADE NON-COMPLIANT. HANDRAIL TOO LOW.  
• REMOVE NON-ORIGINAL FLOORING.



SITE PHOTO #2  
• EXISTING LOW HEADROOM CLEARANCE UNDER STAIR



SITE PHOTO #3  
• GAP BETWEEN BALUSTERS LARGER THAN MINIMUM REQUIRED 125mm  
• BALUSTRADE UNDER 1m PRESENTING FALLING DANGER



SITE PHOTO #4 - FIRST FLOOR RAMP  
• EXISTING RAMP GRADIENT TOO STEEP. TRIP HAZARD  
• LARGE GAPS BETWEEN SKIRTING TO FLOOR BOARDS

| REVISION | DESCRIPTION | DATE |
|----------|-------------|------|
|          |             |      |
|          |             |      |

REVISION SCHEDULE

CLIENT: KFO  
PROJECT: 1-19 CLARENDON ST  
DRAWING: EXISTING & PROPOSED SECTIONS  
ADDRESS: 1-19 CLARENDON ST, EAST MELBOURNE  
SCALE: AS SHOWN  
DATE: AUG '24  
SHEET SIZE: A3  
FILE: b.e

**be** architecture  
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NORTH  
REVISION: A  
JOB NO: 2309

EXISTING & PROPOSED - SECTIONS



# PROPOSED LIFT LOCATION ANALYSIS NOTES

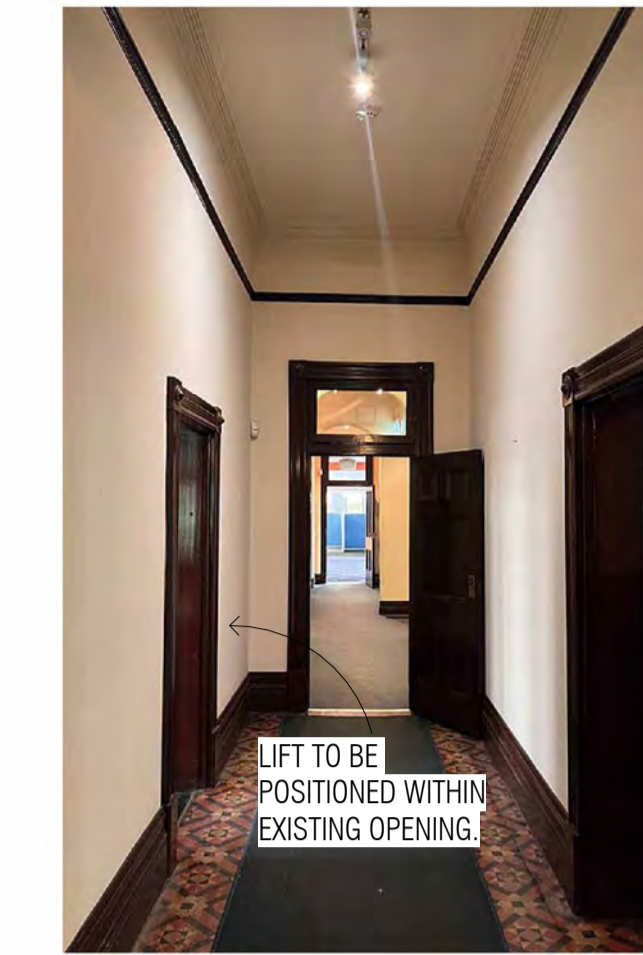
## CURRENT PROPOSAL (OPTION A):

- POSITIONED AT THE JUNCTION WHERE THE FINISHED FLOOR LEVEL TRANSITIONS FROM THE LOWER TO THE HIGHER TIER, ALLOWING FOR ACCESSIBILITY.
- NOT SITUATED IN THE PRIMARY "A" SECTION OF THE HOUSE.
- THE PROPOSED FIRST-FLOOR LOCATION OCCUPIES THE PREVIOUSLY MODIFIED URINAL SPACE, WITH THE GROUND FLOOR SERVING AS A STORAGE AREA, FEATURING A DOOR OPENING ALIGNED WITH THE LIFT DOOR PLACEMENT, NECESSITATING MINIMAL ALTERATION TO THE EXISTING FABRIC.
- THIS LOCATION OFFERS IMPROVED ACCESS TO THE BASEMENT GARAGE AND IS CENTRAL TO THE CIRCULATION WITHIN THE HOUSE.

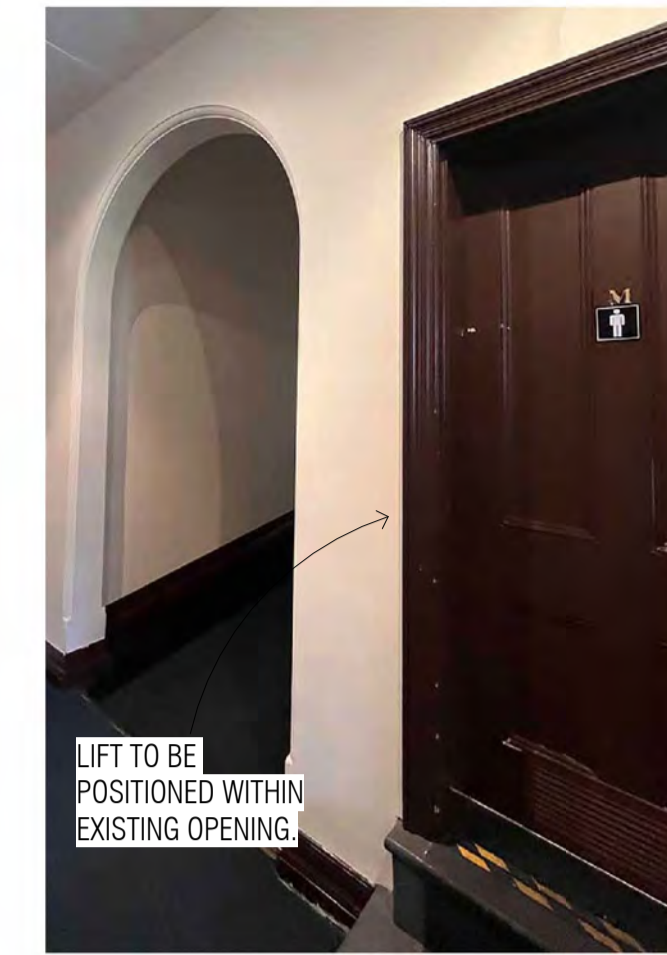
## ALTERNATIVE PROPOSAL (OPTION B):

- FAILS TO ADDRESS THE LEVEL DIFFERENCE ON THE FIRST FLOOR FOR ACCESSIBILITY.
- NOT CENTRALLY SITUATED AND WOULD NECESSITATE MORE EXTENSIVE BASEMENT EXCAVATION OR TUNNELING.
- REQUIRES THE REMOVAL OF ADDITIONAL ORIGINAL FABRIC.

## PHOTO REFERENCE - EXISTING

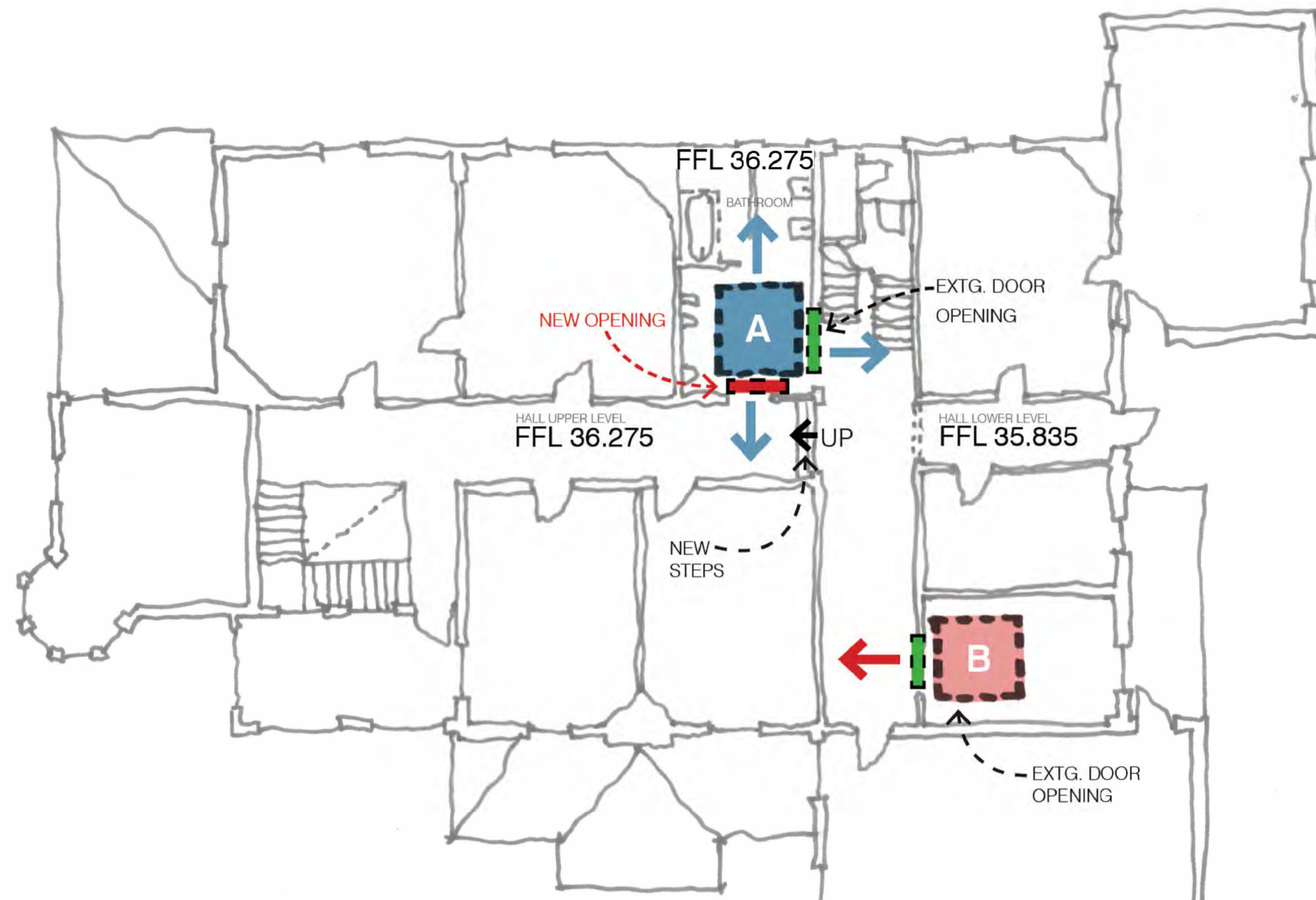


SITE PHOTO #1  
• GROUND FLOOR HALLWAY. PROPOSED LIFT LOCATION.



SITE PHOTO #2  
• LEVEL 01 LOWER LEVEL HALLWAY. PROPOSED LIFT LOCATION.

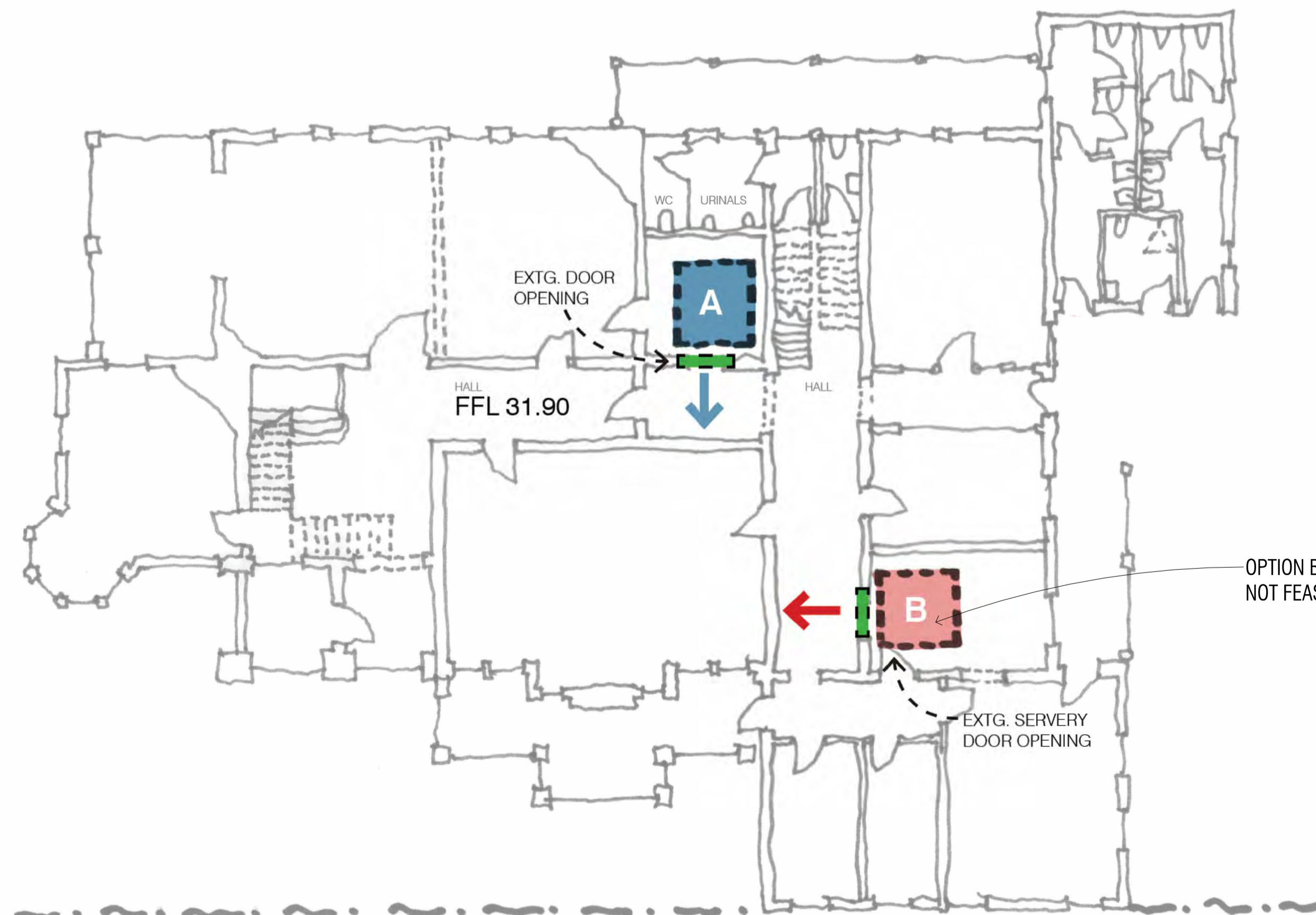
ALBERT ST



CLARENDON ST

LIFT LOCATION ANALYSIS - FIRST FLOOR PLAN

ALBERT ST



CLARENDON ST

LIFT LOCATION ANALYSIS - GROUND FLOOR PLAN

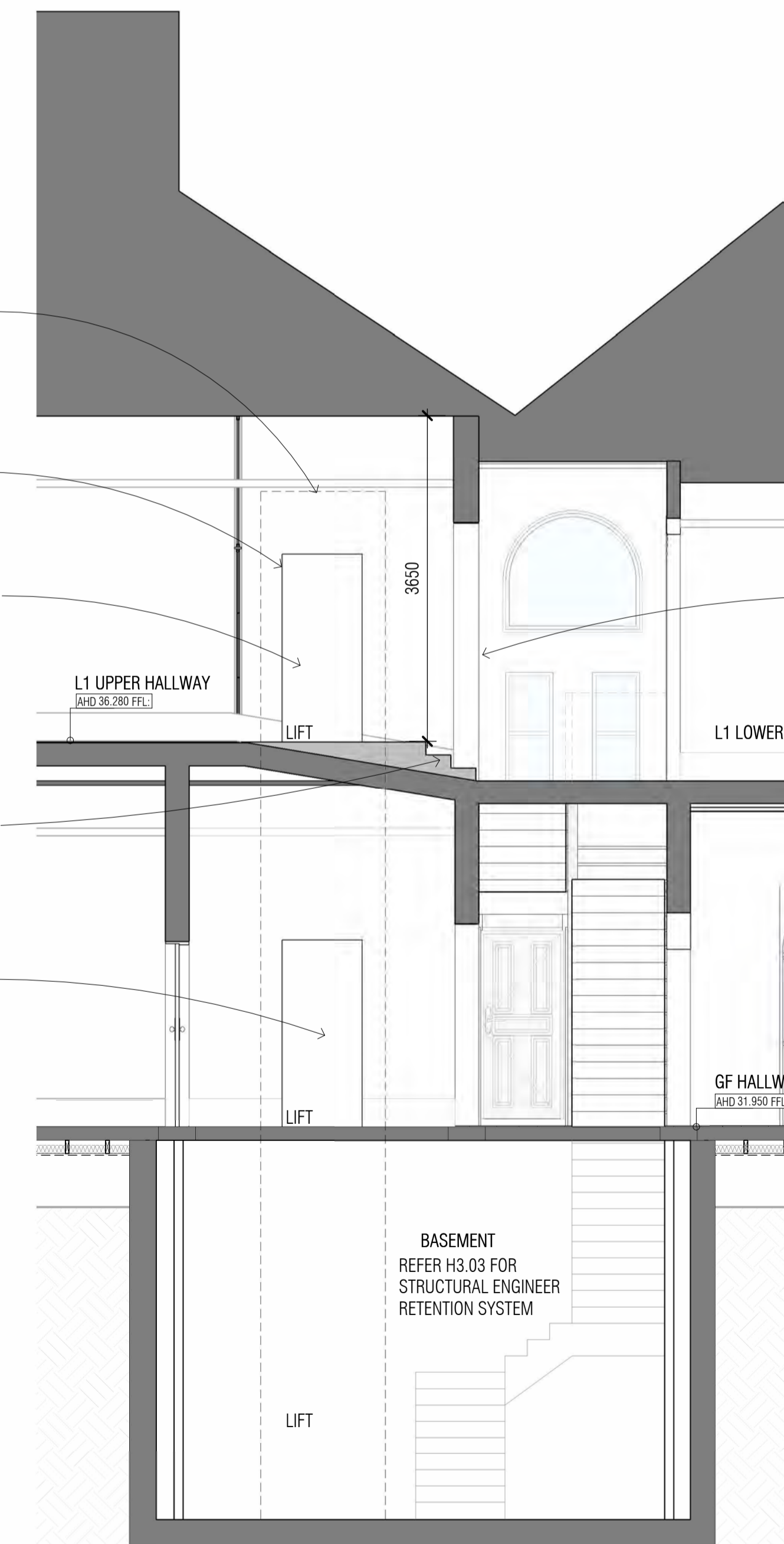
LIFT OVERTURN DASHED.  
TO BE CONCEALED BELOW  
EXISTING CEILING HEIGHT.  
REFER DASHED LINE FOR  
CLEARANCE.

PLATINUM LIFT "MAXI"  
CABIN 1600 x 1400  
SHAFT 2030 x 1910  
CLEAR 900mm DOOR

PROPOSED LIFT LOCATION  
WITHIN NEW OPENING.  
ACCESS TO UPPER LEVEL  
AS PER OPTION A ON  
FLOOR PLAN.

NEW STEPS OVER EXISTING  
NON-COMPLIANT RAMP.

PROPOSED LIFT  
LOCATION POSITIONED  
WITHIN EXTG. OPENING.



SECTION - PROPOSED LIFT LOCATION

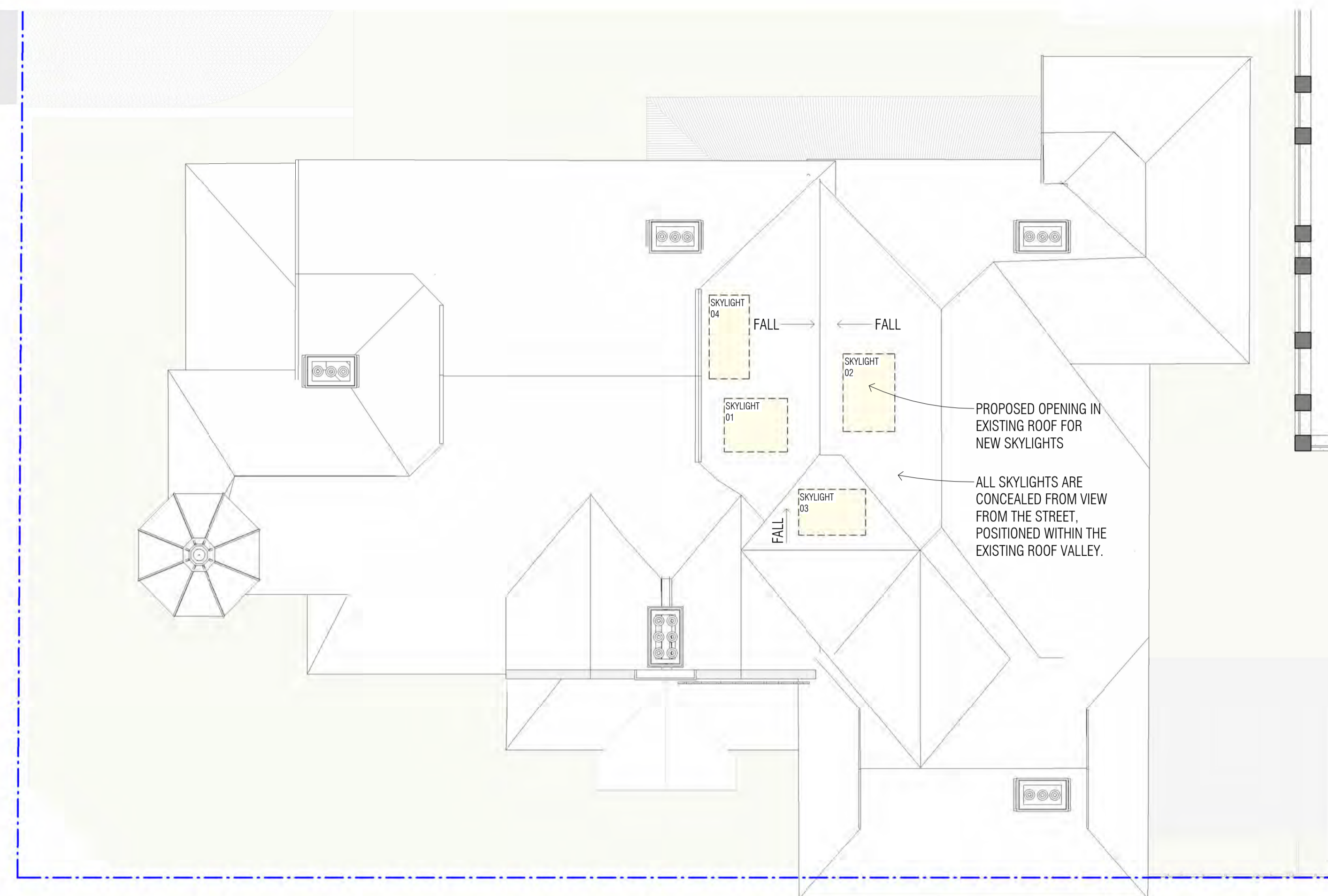
# PROPOSED - LIFT LOCATION ANALYSIS

| A  | HV RR 01                          | NOV 2024  |
|--|-----------------------------------|-----------|
|  | HV LODGE                          | SEPT 2024 |
| REVISION   | DESCRIPTION                       | DATE      |
| REVISION SCHEDULE  |                                   |           |
| CLIENT   | KFO                               |           |
| PROJECT  | 1-19 CLARENDON ST                 |           |
| DRAWING  | PROPOSED LIFT LOCATION ANALYSIS   |           |
| ADDRESS  | 1-19 CLARENDON ST, EAST MELBOURNE |           |
| SCALE  | AS SHOWN                          |           |
| DATE   | AUG '24                           |           |
| SHEET SIZE   | A3                                |           |
| FILE   | b.e                               |           |
| <b>be</b> architecture                                   |                                   |           |
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ALBERT STREET



ROOF PLAN - PROPOSED

CLARENDON STREET

SKYLIGHT 01  
OPENING ON TILE ROOF  
NOM. 1.5m W x 1.9m L  
DOUBLE GLAZED

TRUNCATED FORM TO CEILING  
OPENING - 1 x 3.65 x 1m  
REFER FLOOR PLAN

PROPOSED SKYLIGHTS ARE CONCEALED FROM VIEW FROM THE STREET, POSITIONED WITHIN THE EXISTING ROOF VALLEY.

SKYLIGHT 03  
OPENING ON TILE ROOF  
NOM. 1.9m W x 1.4m L  
DOUBLE GLAZED

TRUNCATED FORM TO CEILING  
OPENING - 1 x 3 x 1m  
REFER FLOOR PLAN

SKYLIGHT 02  
OPENING ON TILE ROOF  
NOM. 2.2m WIDE x 1.9m L  
DOUBLE GLAZED

TRUNCATED FORM TO CEILING  
OPENING - 1 x 3 x 1m  
REFER FLOOR PLAN

SKYLIGHT SECTION 2



SITE PHOTO #1



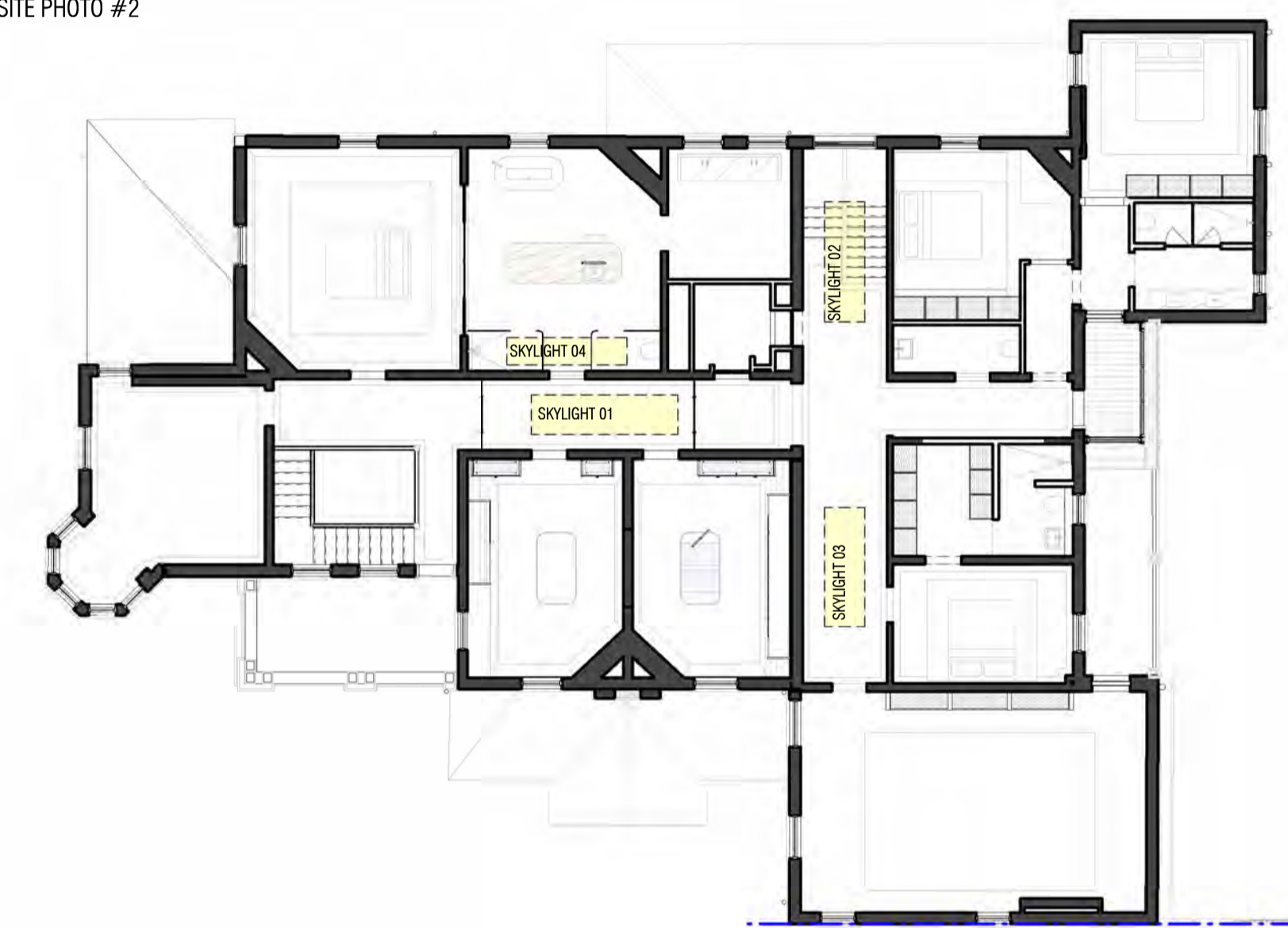
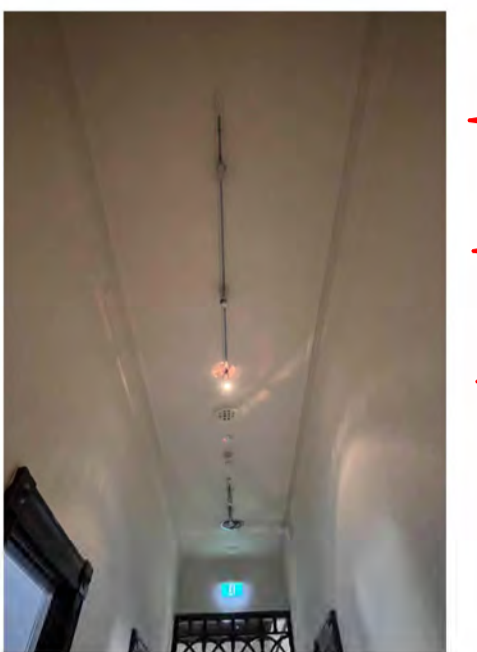
SITE PHOTO #2

SKYLIGHTS PROPOSED TO BE DISCREETLY POSITIONED WITHIN EXISTING ROOF VALLEY, TO ENSURE THEY REMAIN UNSEEN FROM ALBERT STREET.

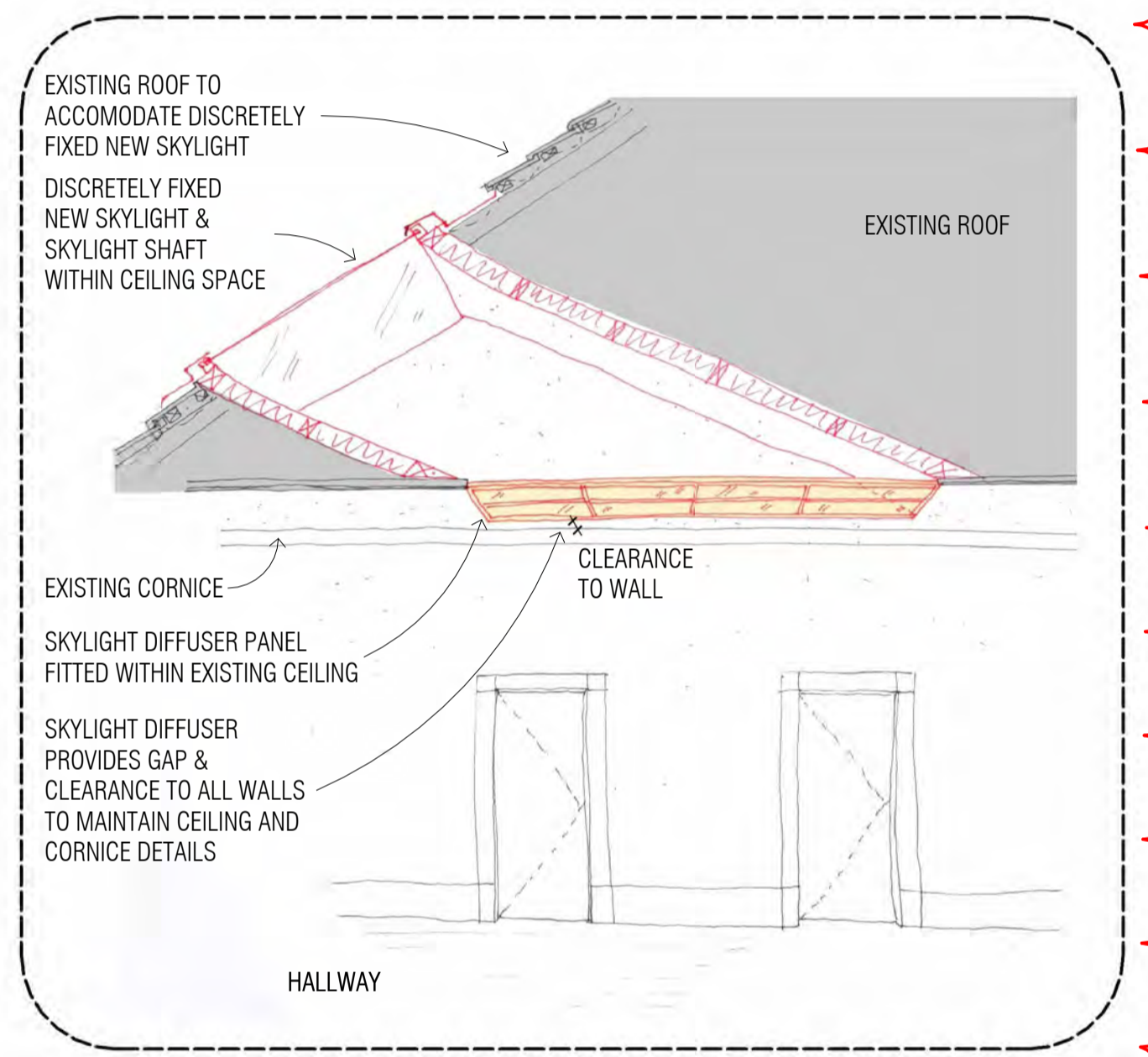


EXISTING CONDITIONS - FIRST FLOOR HALLWAY CEILING

- EXISTING PLASTER CEILING
- NO DECORATIVE MOLDINGS
- EXISTING CORNICES
- NON-ORIGINAL LIGHTING



REFLECTED CEILING PLAN - LEVEL 01 - SKYLIGHT LOCATIONS



SKYLIGHT SKETCH - SKYLIGHT 01 DESIGN INTENT (SKYLIGHT 02-04 SIMILAR DESIGN INTENT)

SKYLIGHT 04  
OPENING ON TILE ROOF  
NOM. 2.4m WIDE x 1.35m L  
DOUBLE GLAZED

TRUNCATED FORM TO CEILING  
OPENING - 1 x 3.7 x 1.2m  
REFER FLOOR PLAN

PROPOSED SKYLIGHTS ARE CONCEALED FROM VIEW FROM THE STREET, POSITIONED WITHIN THE EXISTING ROOF VALLEY.



SKYLIGHT SECTION 3

PROPOSED - ROOF PLAN & SKYLIGHT SECTIONS

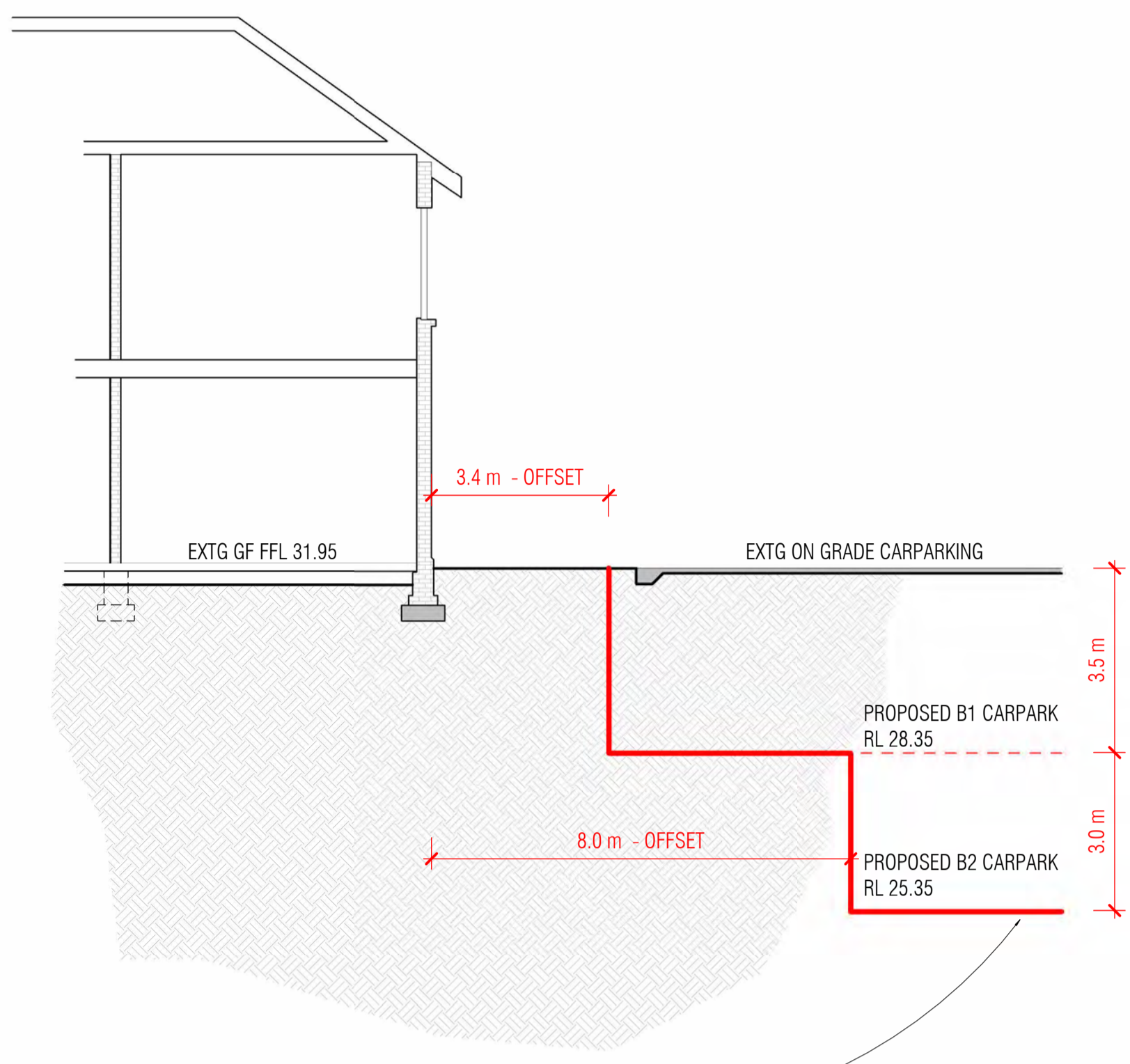
| A  | HV RFI 01                           | NOV 2024  |
|--|-------------------------------------|-----------|
| -  | HV LODGE                            | SEPT 2024 |
| REVISION   | DESCRIPTION                         | DATE      |
| REVISION SCHEDULE  |                                     |           |
| CLIENT   | KFO                                 |           |
| PROJECT  | 1 - 19 CLARENDON ST                 |           |
| DRAWING PROPOSED ROOF PLAN & SKYLIGHT SECTIONS           |                                     |           |
| ADDRESS  | 1 - 19 CLARENDON ST, EAST MELBOURNE |           |
| SCALE  | AS SHOWN                            |           |
| DATE   | AUG '24                             |           |
| SHEET SIZE   | A3                                  |           |
| FILE   | b.e                                 |           |
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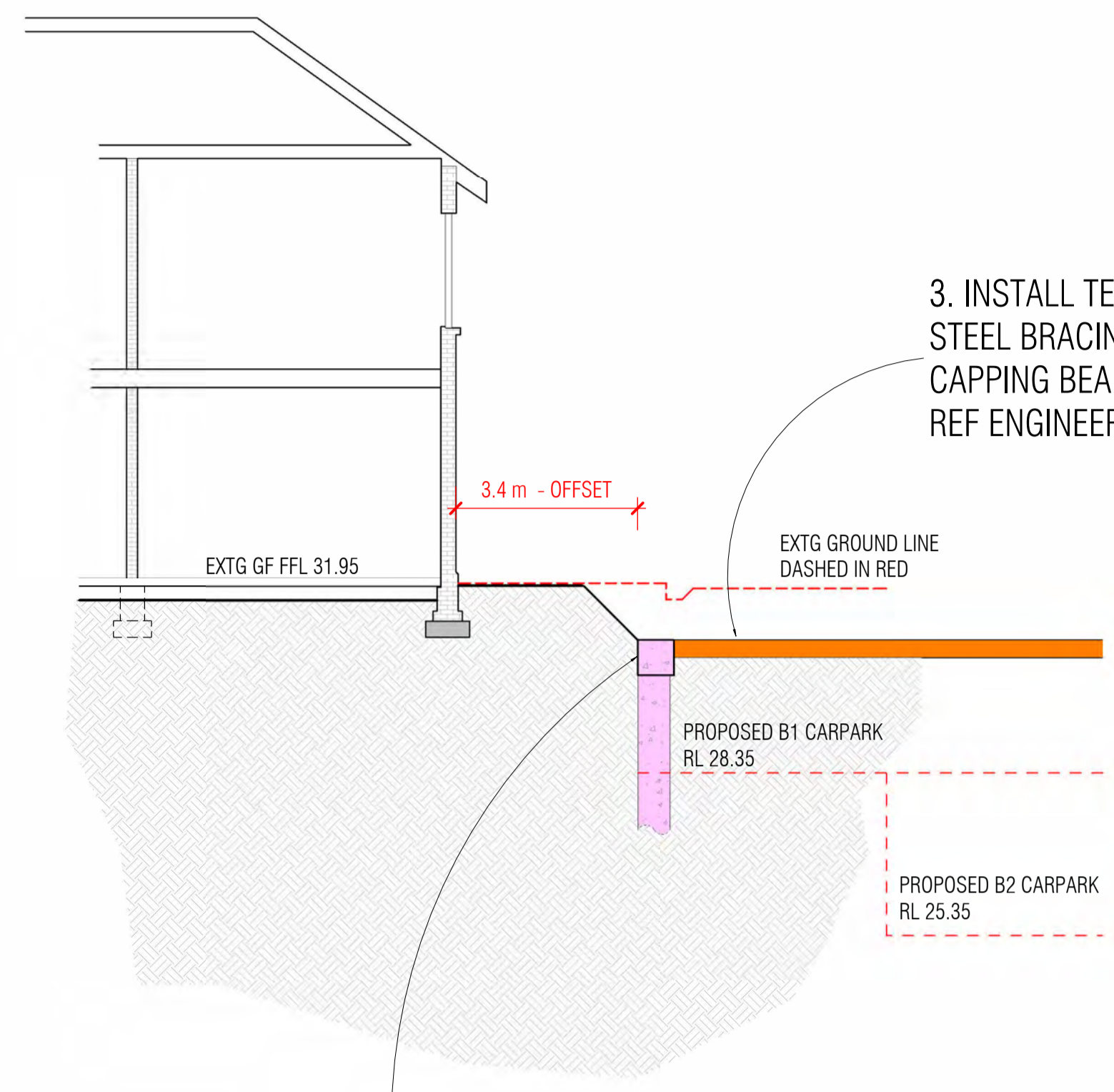
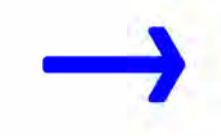
BASEMENT RETENTION - WORK OUTSIDE ST HILDA HOUSE

NOTE: ALL WORKS BASED ON STRUCTURAL ENGINEERS DESIGN

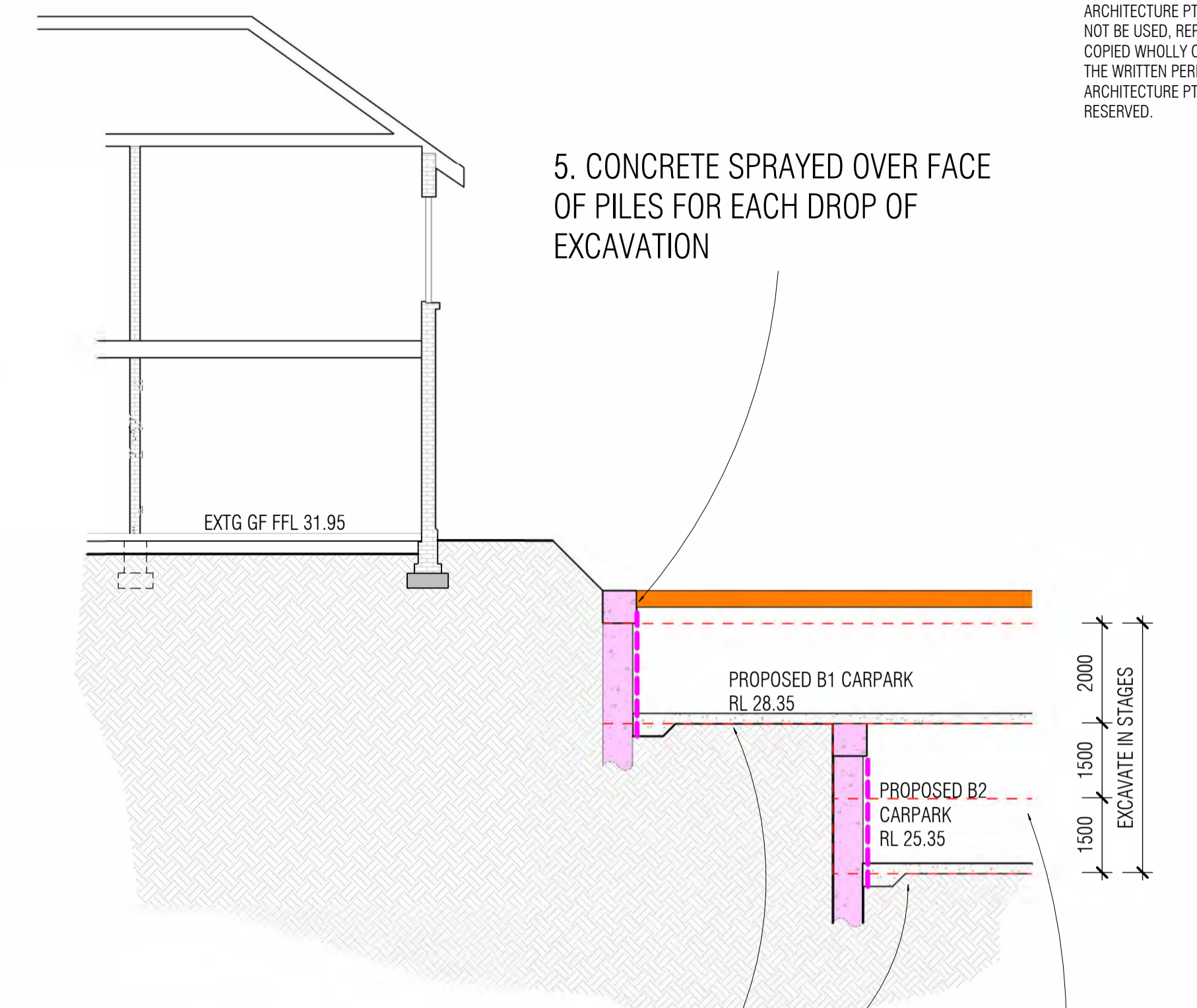
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1. PROPOSED BASEMENT EXCAVATION



2. CONSTRUCT BORED PIERS AND CAPPING BEAM TO PERIMETER OF BASEMENT



3. INSTALL TEMPORARY STEEL BRACING AT CAPPING BEAM LEVEL REF ENGINEERING

5. CONCRETE SPRAYED OVER FACE OF PILES FOR EACH DROP OF EXCAVATION

4. BULK EXCAVATION IN 1.5 ~ 2M DROPS

7. CONSTRUCT BASEMENT SLABS AS LATERAL SUPPORT



REFERENCE PHOTO - BASEMENT RETENTION WORKS OUTSIDE OF EXISTING HERITAGE HOUSE. CAPPING BEAM AND BORED PIERS INSTALLED



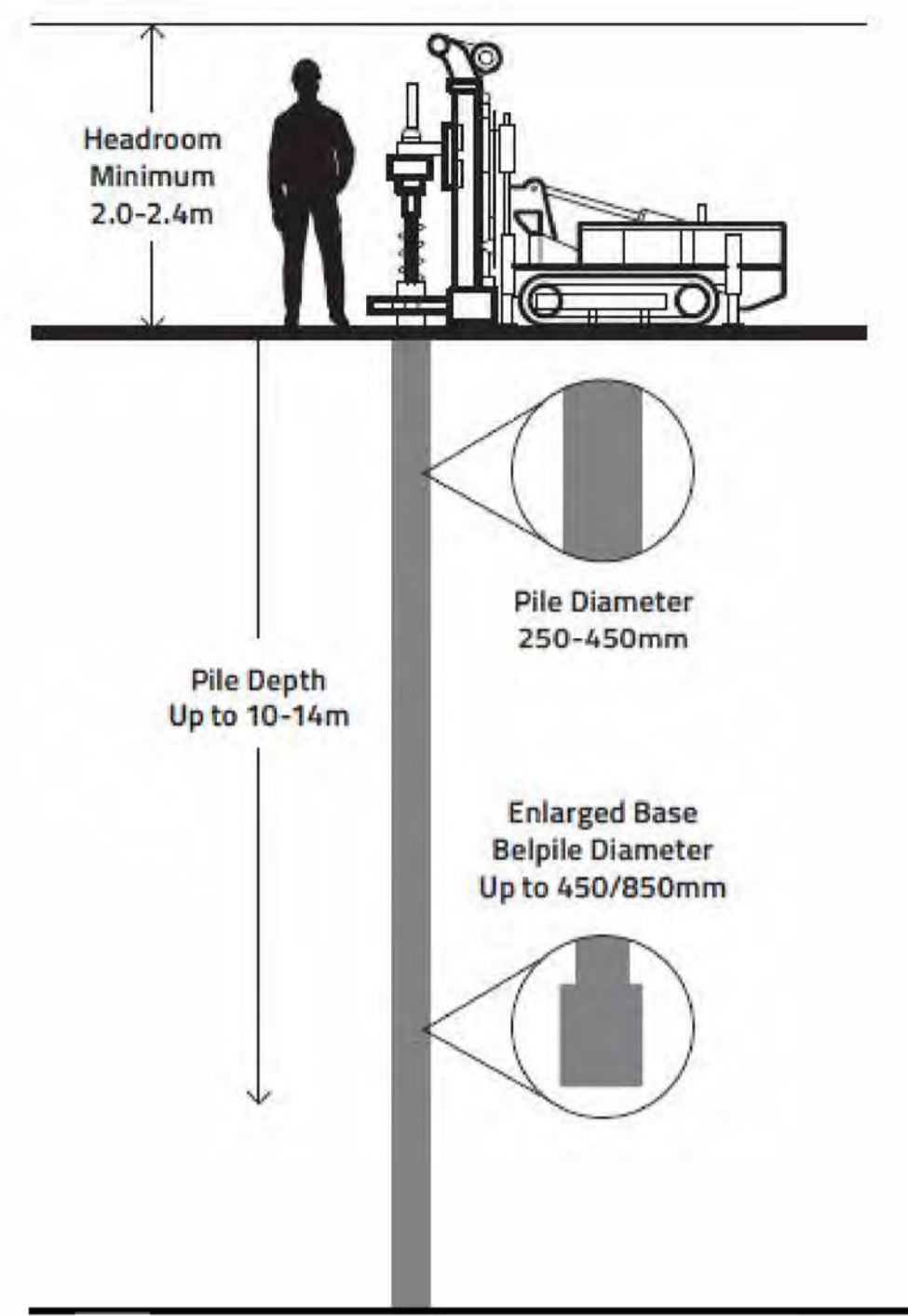
REFERENCE PHOTO - SHOTCRETE WALL SPRAYED TO BASEMENT AFTER EXCAVATION COMPLETED

| A  | HW RFI 01                                  | NOV 2024  |
|--|--|-----------|
| -  | HW LODGE                                   | SEPT 2024 |
| REVISION   | DESCRIPTION                                | DATE      |
| REVISION SCHEDULE  |  |           |
| CLIENT   | KFO  |           |
| PROJECT  | 1-19 CLARENDON ST                          |           |
| DRAWING  | SEQUENCE OF WORKS - OUTSIDE ST HILDA HOUSE |           |
| ADDRESS  | 1-19 CLARENDON ST, EAST MELBOURNE          |           |
| SCALE  | AS SHOWN                                   |           |
| DATE   | AUG 24                                     |           |
| SHEET SIZE   | A3   |           |
| FILE   | b.e  |           |
| <b>be</b> architecture                                   |  |           |
| 100 Stephenson Street, Cremorne VIC 3121 P: 03 9416 1600 | NORTH                                      |           |
| REVISION   |  | A         |
| JOB NO:  | 2309                                       | H33       |

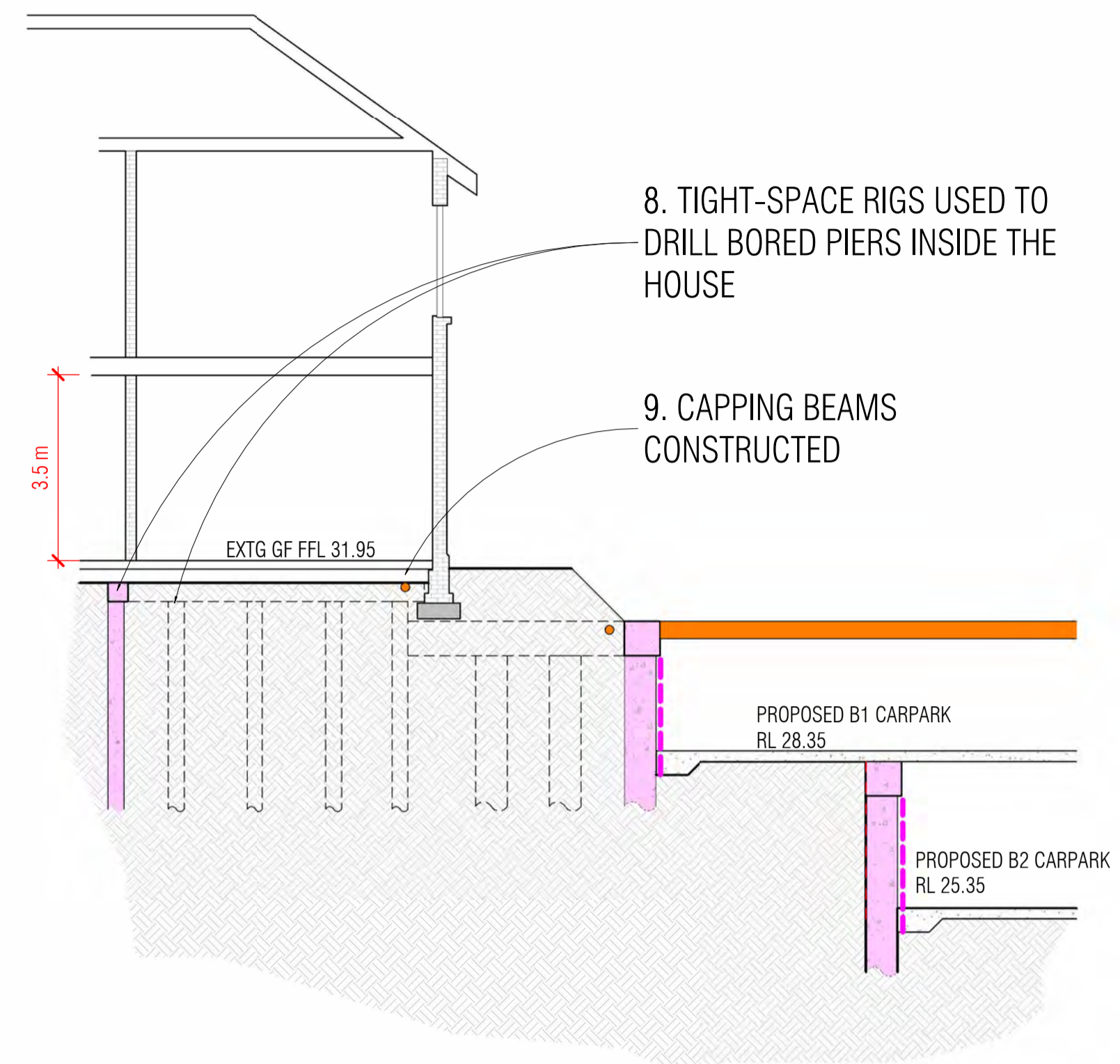
SEQUENCE OF WORKS - OUTSIDE OF ST HILDA HOUSE



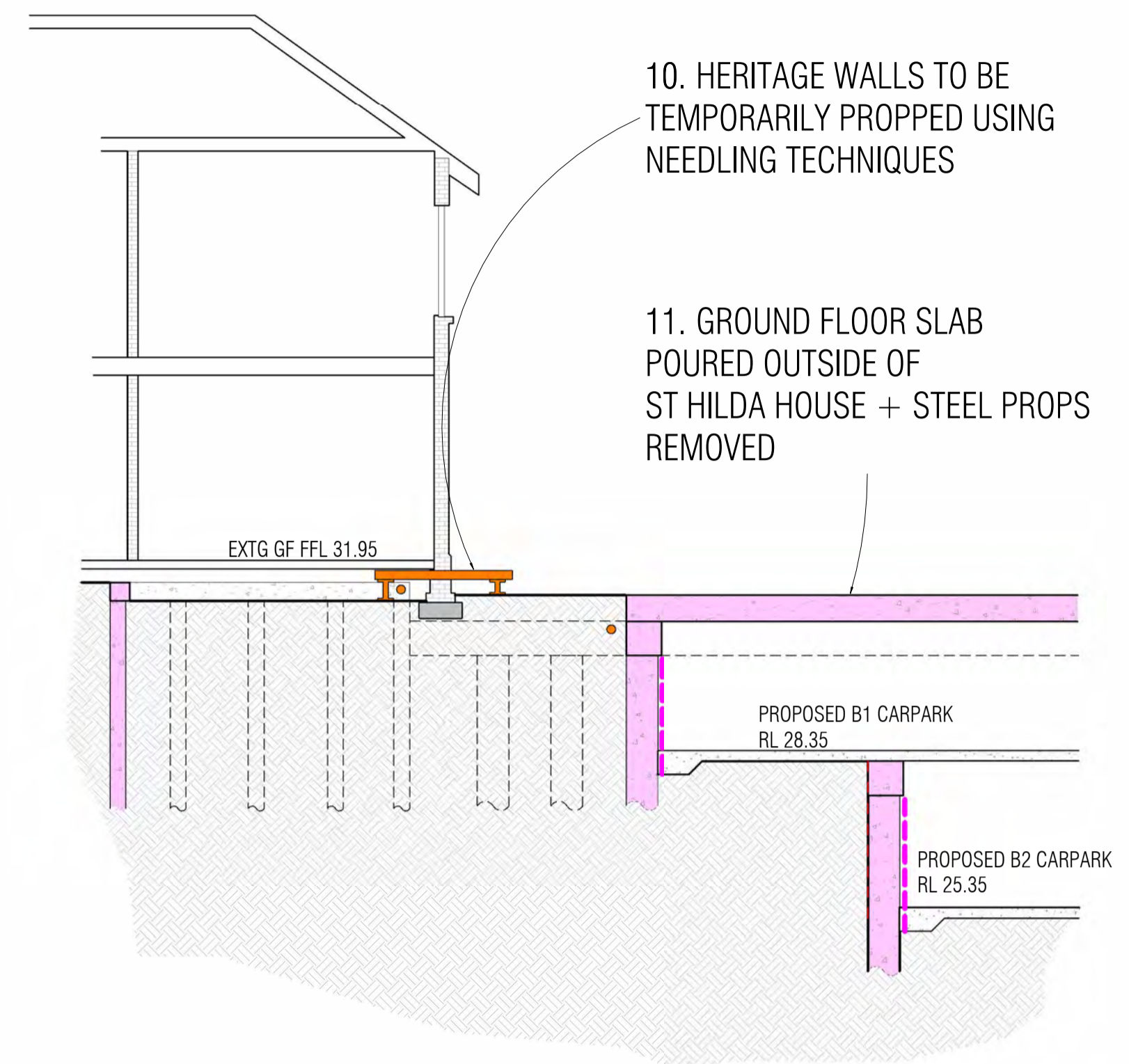
BASEMENT RETENTION - WORK INSIDE ST HILDA HOUSE TOP DOWN CONSTRUCTION



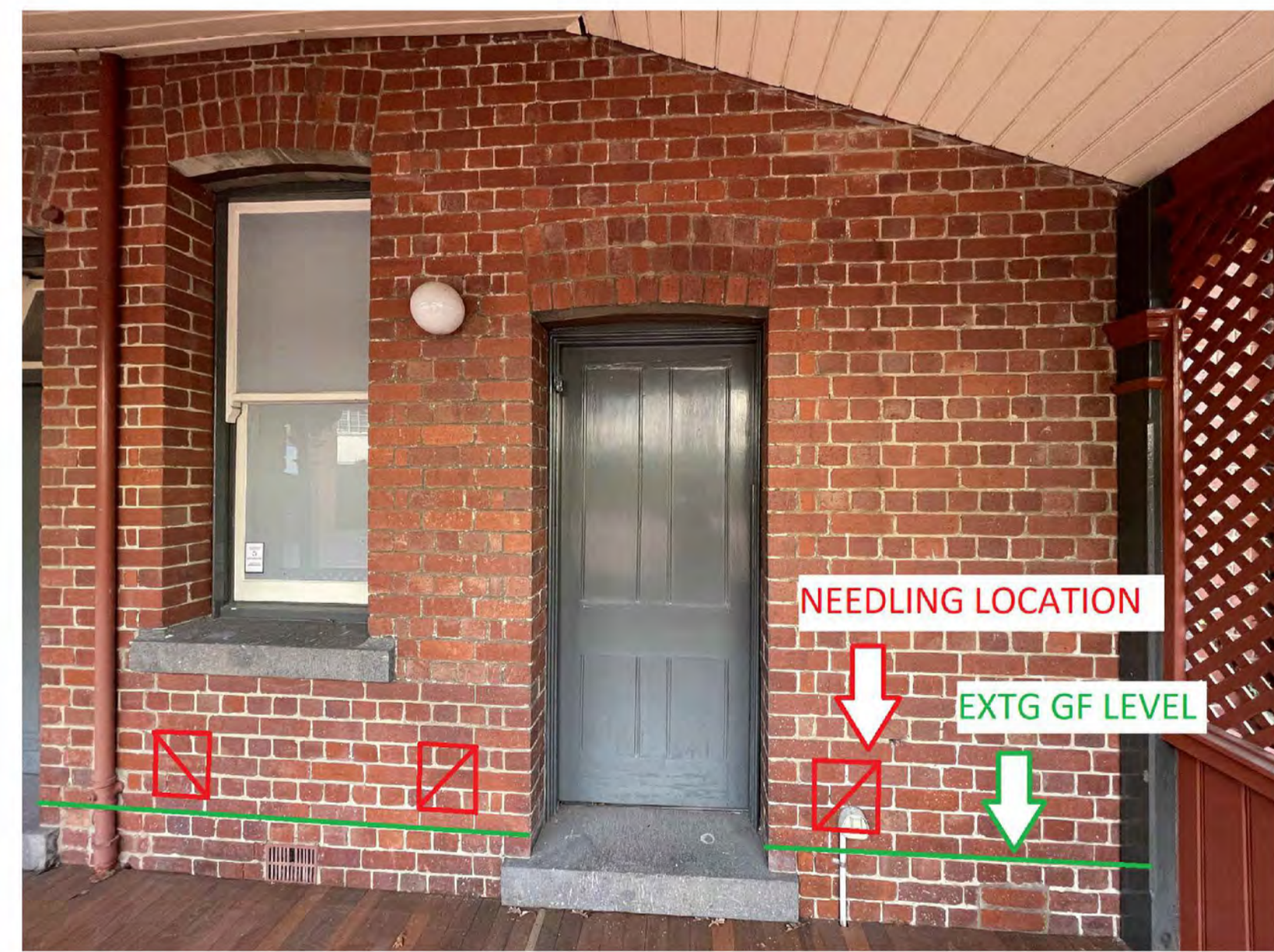
REFERENCE IMAGE - TIGHT-SPACE RIG (CFP) MIN 2 ~ 2.4M HEADROOM



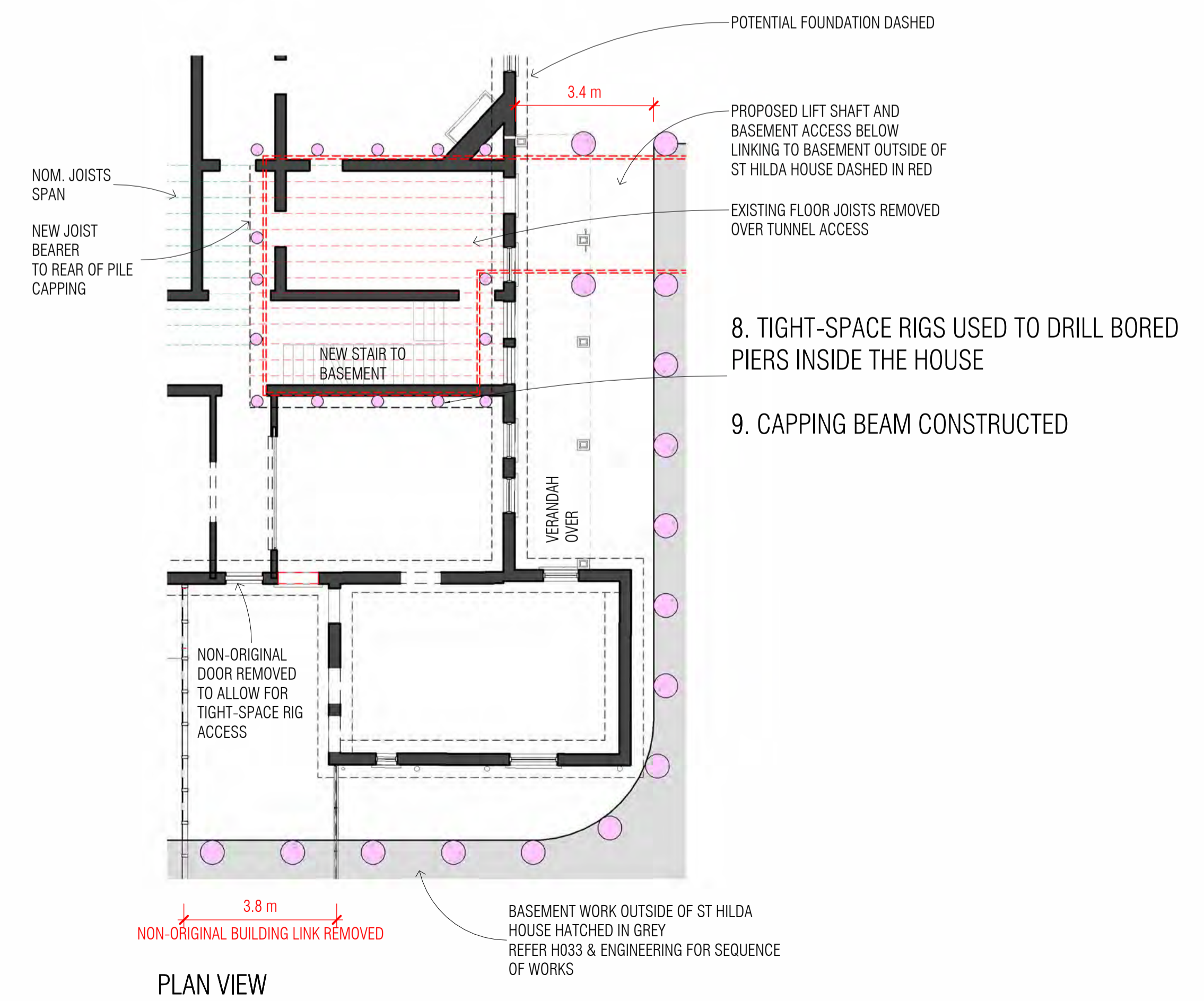
SECTIONAL VIEW



REFERENCE IMAGE - HERITAGE WALLS TEMPORARILY PROPPED USING NEEDLING TECHNIQUES AT GROUND LEVEL



LOCATION OF NEEDLING THROUGH EXISTING BRICK WALL SHOWN



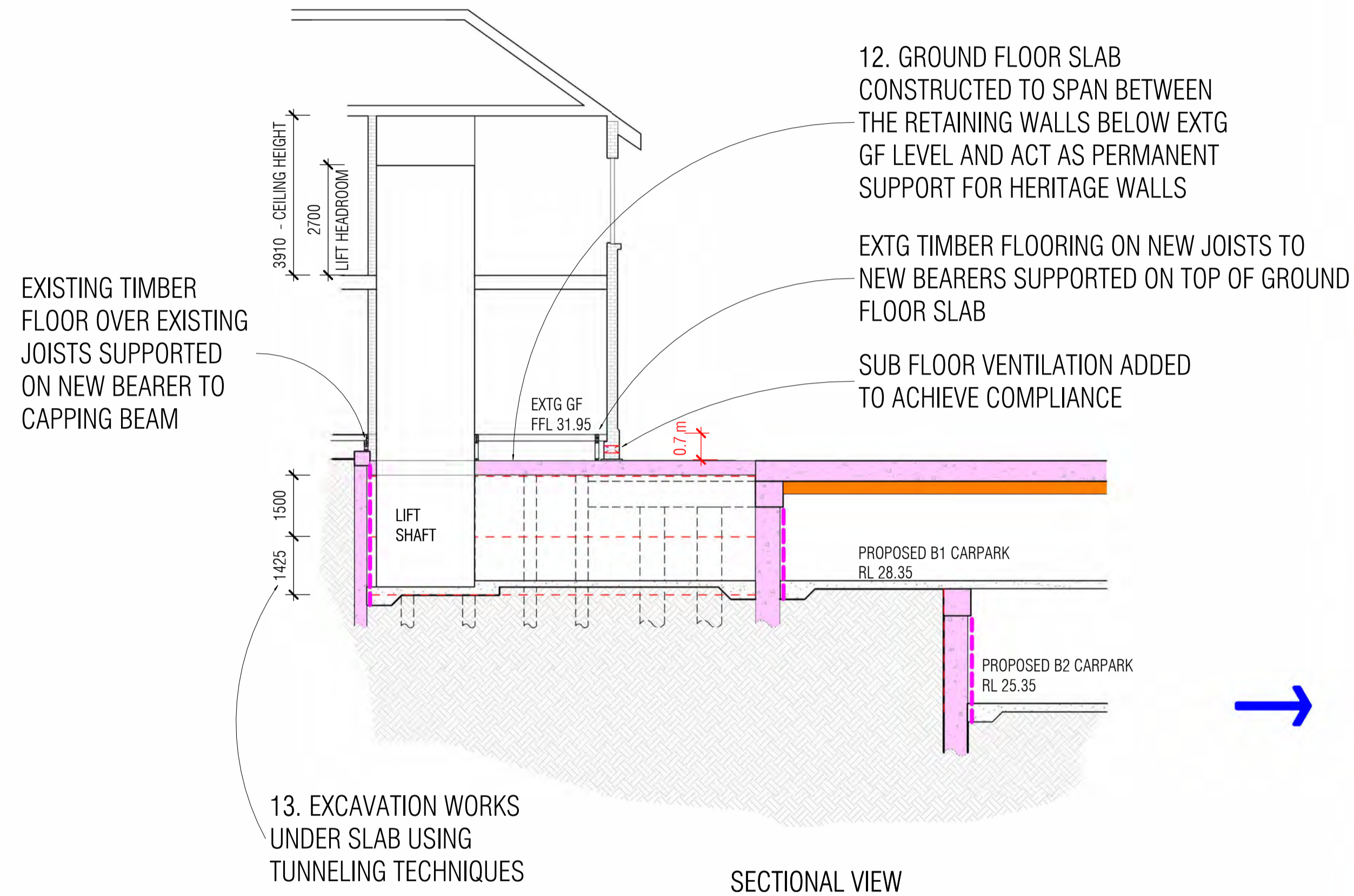
PLAN VIEW

| A  | HW RFI 01                                 | NOV 2024  |
|--|---|-----------|
| -  | HW LODGE                                  | SEPT 2024 |
| REVISION   | DESCRIPTION                               | DATE      |
| REVISION SCHEDULE  |   |           |
| CLIENT   | KFO                                       |           |
| PROJECT  | 1-19 CLARENDON ST, EAST MELBOURNE         |           |
| DRAWING  | SEQUENCE OF WORKS - INSIDE ST HILDA HOUSE |           |
| ADDRESS  | 1-19 CLARENDON ST, EAST MELBOURNE         |           |
| SCALE  | AS SHOWN                                  |           |
| DATE   | AUG 24                                    |           |
| SHEET SIZE   | A3  |           |
| FILE   | b.e                                       |           |
| <b>be</b> architecture                                   |   |           |
| 100 Stephenson Street, Cremorne VIC 3121 P: 03 9416 1600 | NORTH                                     |           |
| REVISION A   |   |           |
| JOB NO: 2309   | H34                                       |           |

SEQUENCE OF WORKS - INSIDE OF ST HILDA HOUSE



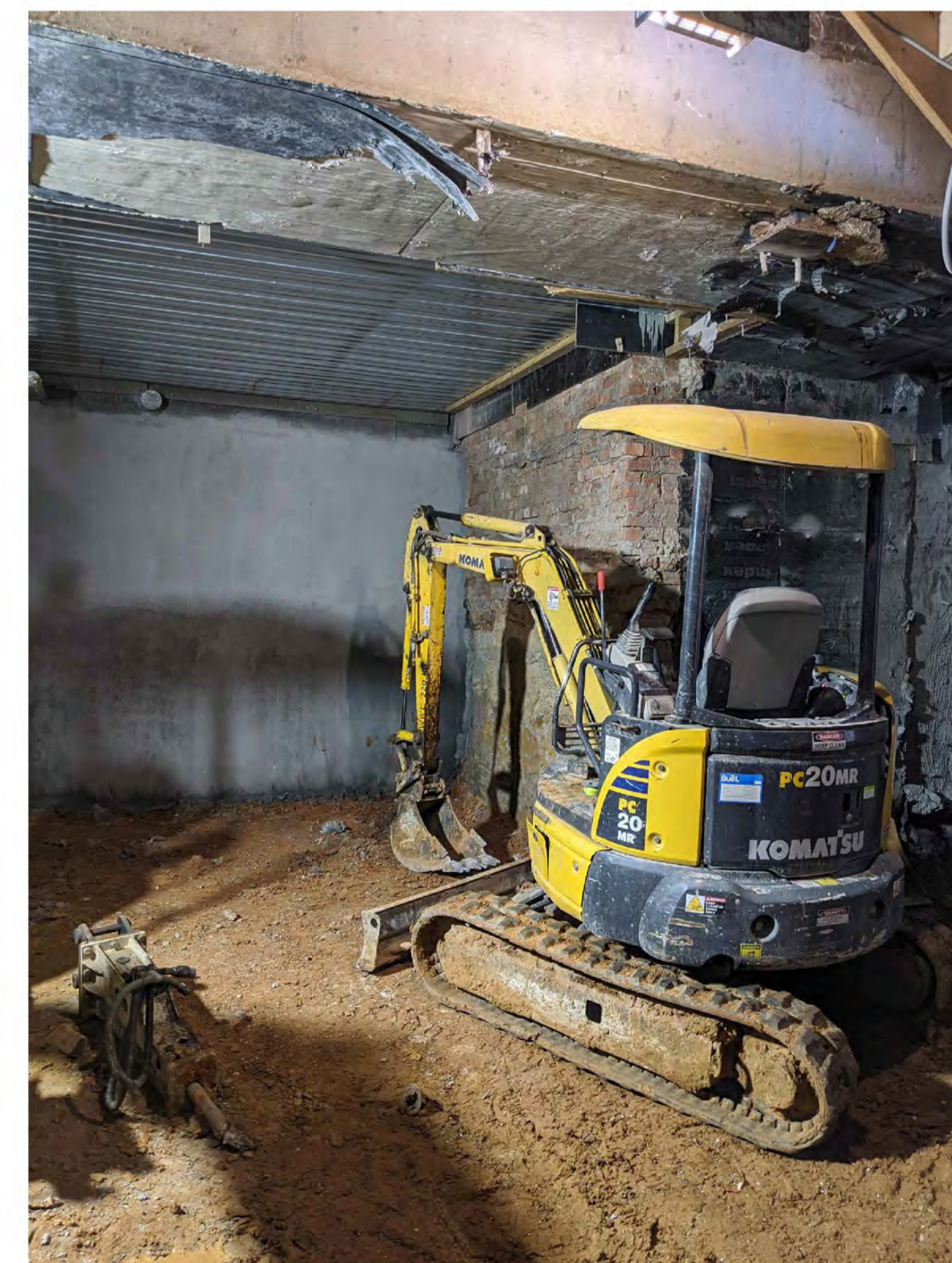
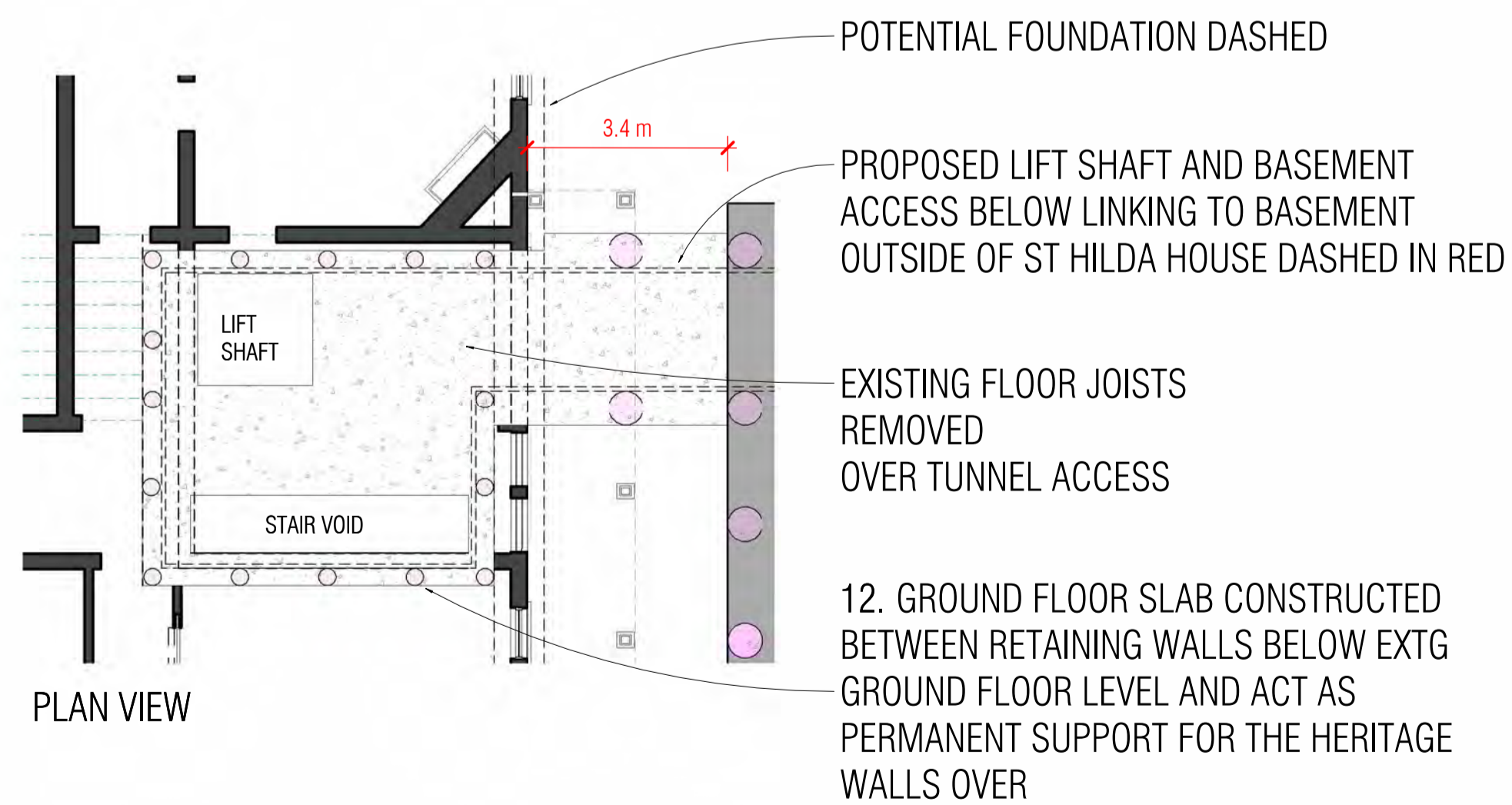
BASEMENT RETENTION - WORK INSIDE ST HILDA HOUSE  
TOP DOWN CONSTRUCTION



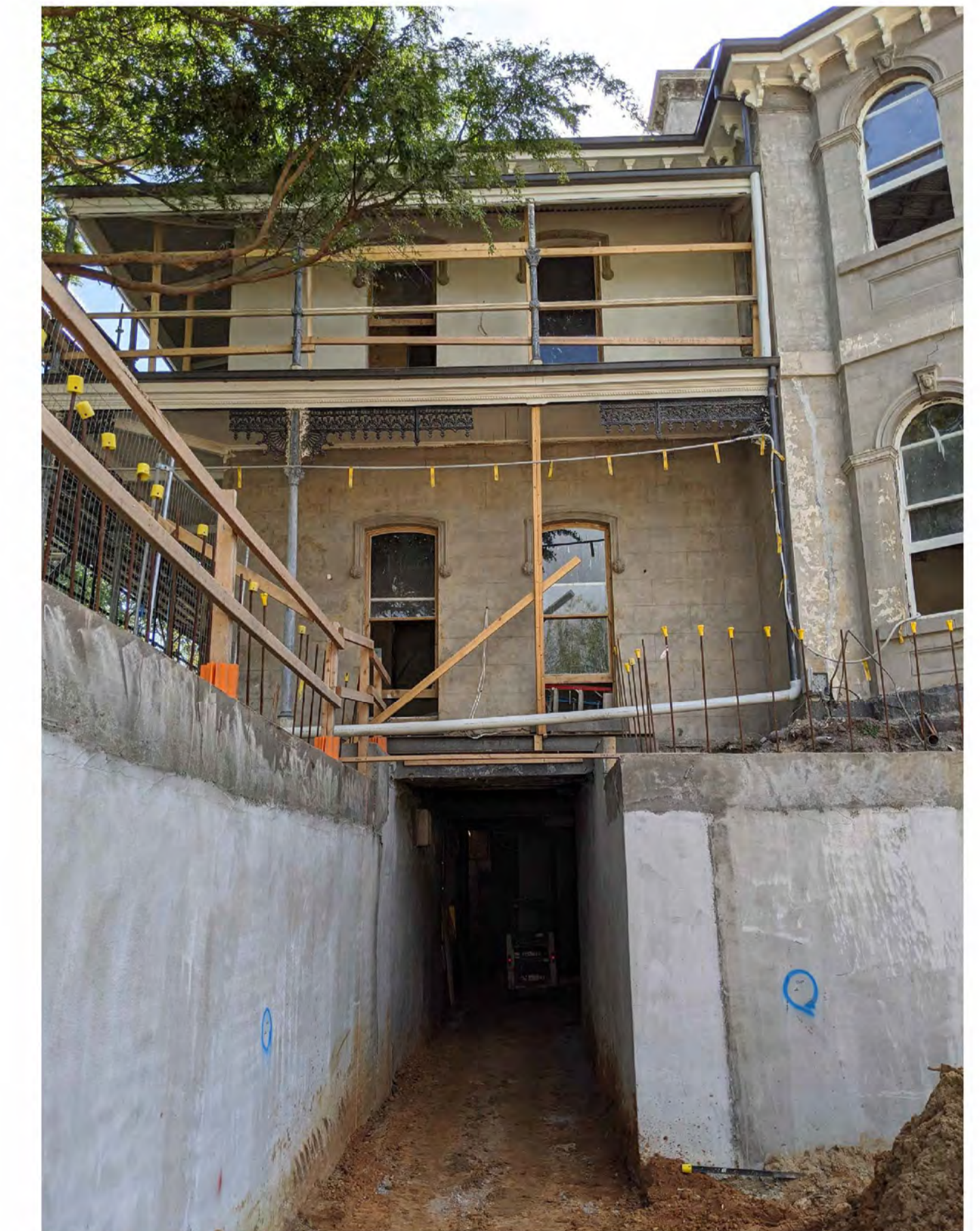
REFERENCE IMAGE - TOP DOWN CONSTRUCTION  
BORED PILES CONSTRUCTED WITH CAPPING BEAM AND  
GROUND FLOOR SLAB SPANING BETWEEN FOR BRACING



REFERENCE IMAGE - GROUND FLOOR SLAB PROPPED TO  
BASEMENT DURING EXCAVATION



REFERENCE IMAGE - TIGHT SPACE EXCAVATOR USED FOR  
EXCAVATION IN BASEMENT TUNNEL

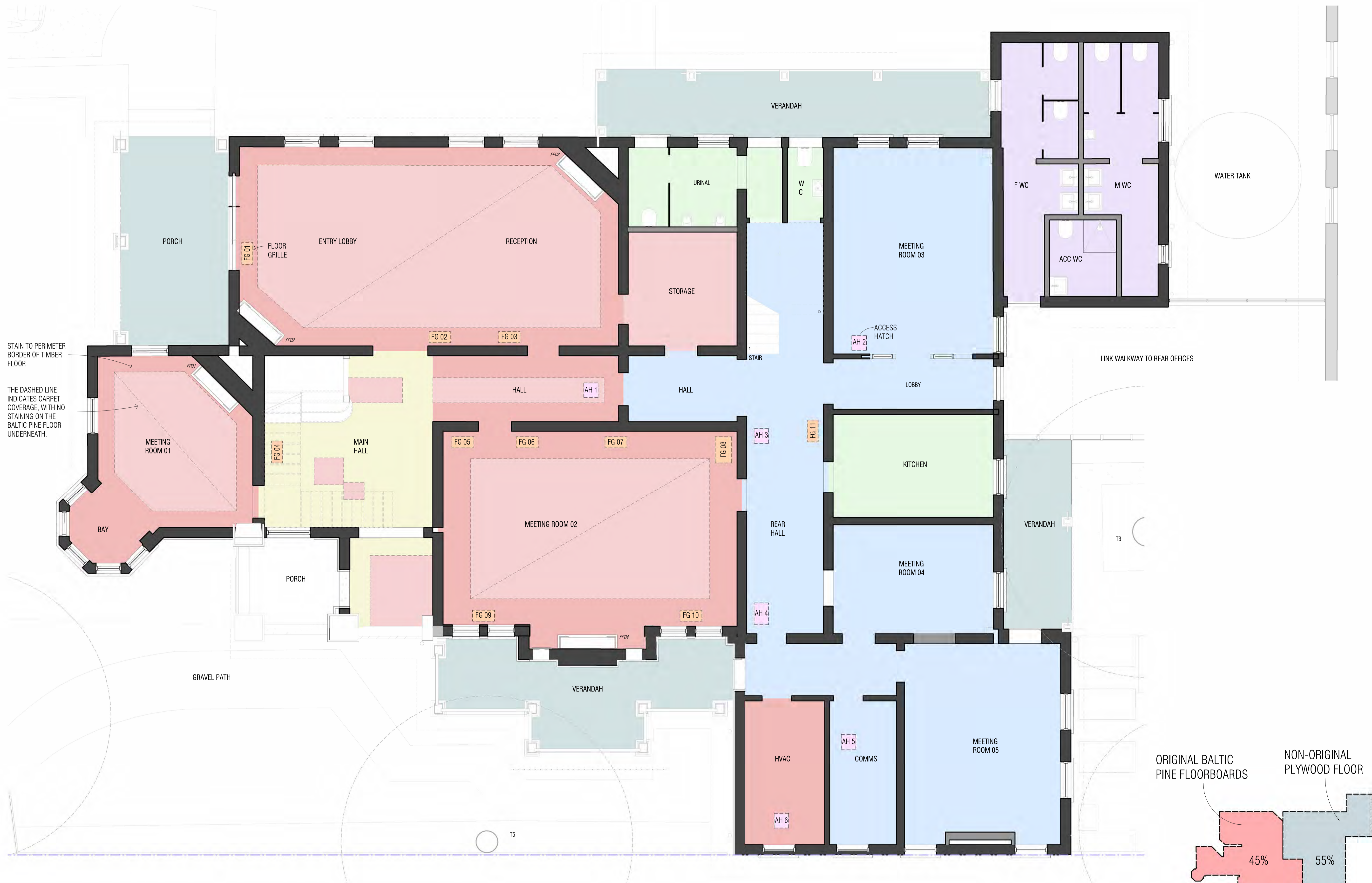


SEQUENCE OF WORKS - INSIDE OF ST HILDA HOUSE

| A  | HW RFI 01                                    | NOV 2024  |
|--|--|-----------|
| -  | HW LODGE                                     | SEPT 2024 |
| REVISION   | DESCRIPTION                                  | DATE      |
| REVISION SCHEDULE  |  |           |
| CLIENT   | KFO  |           |
| PROJECT  | 1-19 CLARENDON ST                            |           |
| DRAWING  | SEQUENCE OF WORKS - INSIDE OF ST HILDA HOUSE |           |
| ADDRESS  | 1-19 CLARENDON ST, EAST MELBOURNE            |           |
| SCALE  | AS SHOWN                                     |           |
| DATE   | AUG '24                                      |           |
| SHEET SIZE   | A3   |           |
| FILE   | b.e  |           |
| <b>be</b> architecture                                   |  |           |
| 100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600 | NORTH  |           |
| REVISION A   |  |           |
| JOB NO: 2309   | H95  |           |



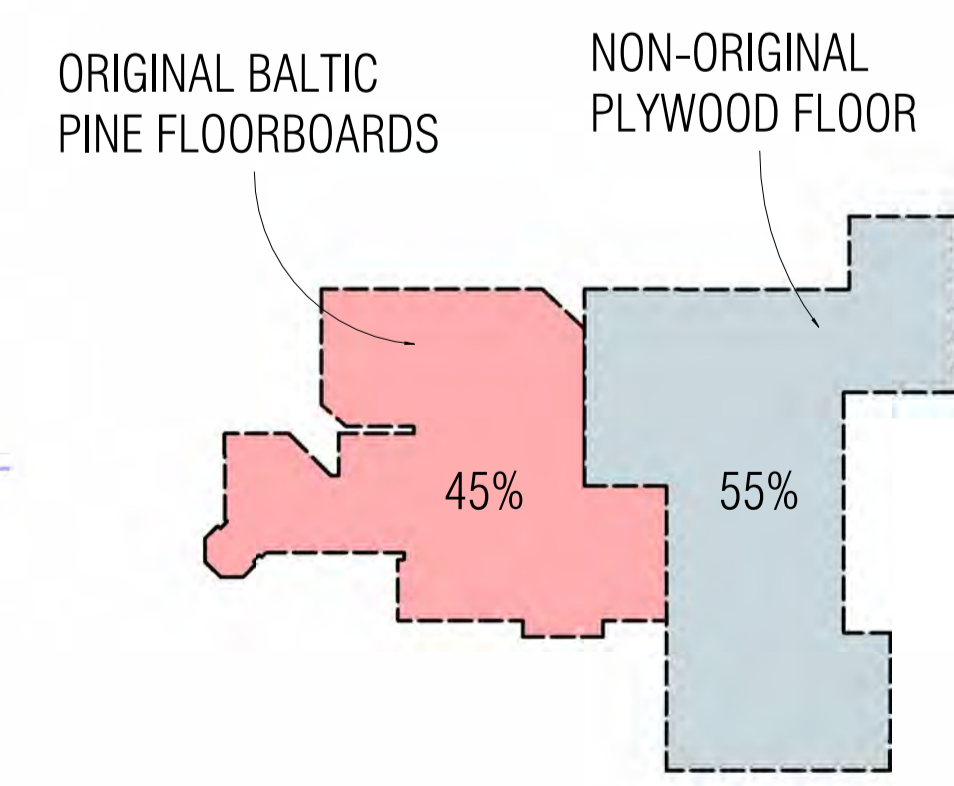
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STAIN TO PERIMETER BORDER OF TIMBER FLOOR

THE DASHED LINE INDICATES CARPET COVERAGE, WITH NO STAINING ON THE BALTIC PINE FLOOR UNDERNEATH.

- FLOOR FINISHES**
- CARPET (NON-ORIGINAL)
  - EXTG. TIMBER FLOOR (RAW)
  - EXTG. TIMBER FLOOR (STAIN)
  - JARRAH FLOOR DECK (NON-ORIGINAL)
  - LINO (ORIGINAL)
  - PLYWOOD
  - TILE (NON-ORIGINAL)
  - VINYL (NON-ORIGINAL)



EXISTING GF FLOORING AREA LEGEND

# EXISTING FLOOR FINISHES - GROUND FLOOR

| REVISION | DESCRIPTION | DATE      |
|----------|-------------|-----------|
| A        | HW RFI 01   | NOV 2024  |
| -        | HW LODGE    | SEPT 2024 |

REVISION SCHEDULE

CLIENT: KFO

PROJECT: 1-19 CLARENDON ST

DRAWING: EXISTING - FLOOR FINISHES GROUND FLOOR

ADDRESS: 1-19 CLARENDON ST, EAST MELBOURNE

SCALE: AS SHOWN

DATE: AUG '24

SHEET SIZE: A3

FILE: b.e

**be**architecture  
100 Stephenson Street, Cremorne  
VIC 3121  
P: 03 9416 1600



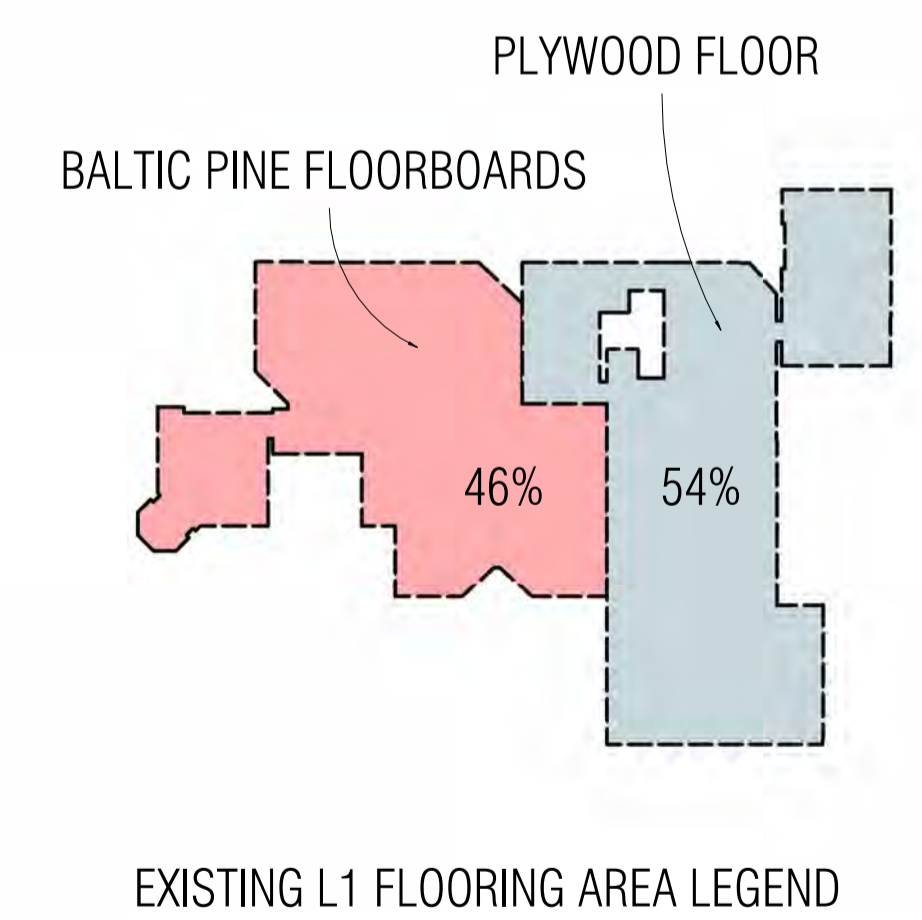
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DASHED LINE INDICATES  
CARPET OVER

FLOOR FINISHES

- CARPET  
(NON-ORIGINAL)
- EXTG. TIMBER  
FLOOR  
(STAIN)
- JARRAH  
FLOOR DECK  
(NON-ORIGINAL)
- VINYL  
(NON-ORIGINAL)



| REVISION | DESCRIPTION | DATE      |
|----------|-------------|-----------|
| A        | HW RFI 01   | NOV 2024  |
| -        | HW LODGE    | SEPT 2024 |

|  |                                    |
|--|------------------------------------|
| CLIENT   | KFO                                |
| PROJECT  | 1-19 CLARENDON ST                  |
| DRAWING  | EXISTING - FLOOR FINISHES LEVEL 01 |
| ADDRESS  | 1-19 CLARENDON ST, EAST MELBOURNE  |
| SCALE  | AS SHOWN                           |
| DATE   | AUG '24                            |
| SHEET SIZE   | A3                                 |
| FILE   | b.e                                |
| <b>be</b> architecture                                   |                                    |
| 100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600 | NORTH                              |

|          |      |
|----------|------|
| REVISION | A    |
| JOB NO:  | 2309 |

EXISTING FLOOR FINISHES - LEVEL 01

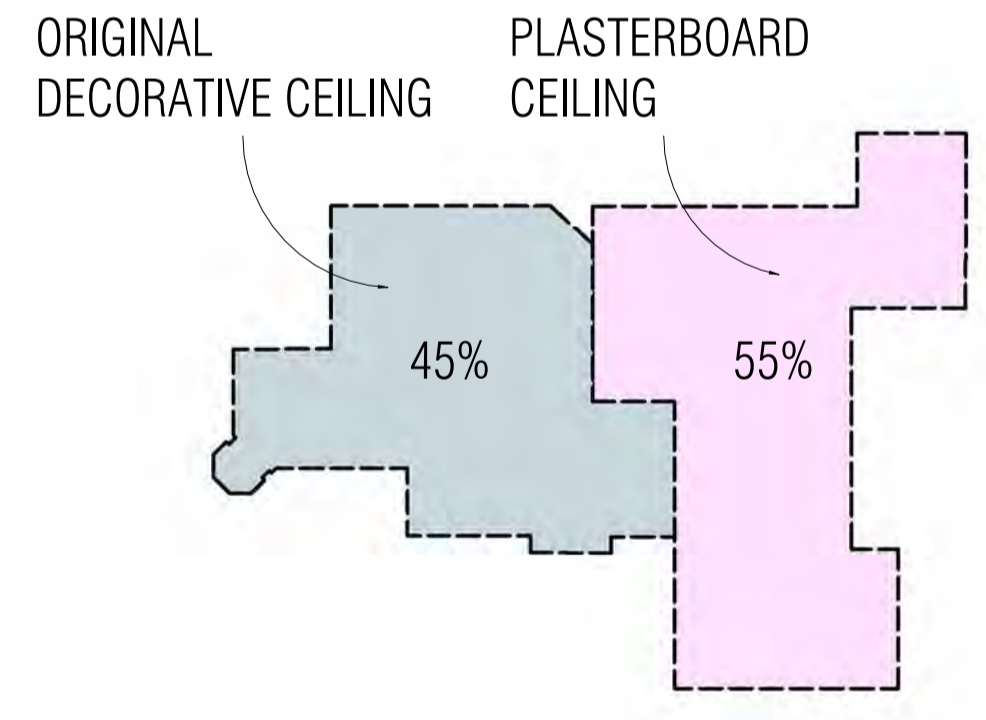


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- CEILING FINISH**
- CORNICE & PLASTERBOARD
  - DECORATIVE CEILING
  - EXTG. RENDER
  - SQUARE-SET PLASTERBOARD
  - TIMBER CEILING (ORIGINAL)
  - TIMBER LINED CEILING (EXTERNAL)

- REFLECTED CEILING PLAN LEGEND**
- BEAM OR DETAIL
  - ACCESS HATCH
  - VENT
  - MECHANICAL EQUIPMENT
  - LIGHTING



EXISTING L1 CEILING AREA LEGEND

NOV 2024  
SEPT 2024

| REVISION | DESCRIPTION | DATE |
|----------|-------------|------|
|          |             |      |

REVISION SCHEDULE

CLIENT KFO

PROJECT 1-19 CLARENDON ST FLOOR

DRAWING EXISTING - RCP GROUND FLOOR

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

**be**architecture  
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REVISION A  
JOB NO: 2309

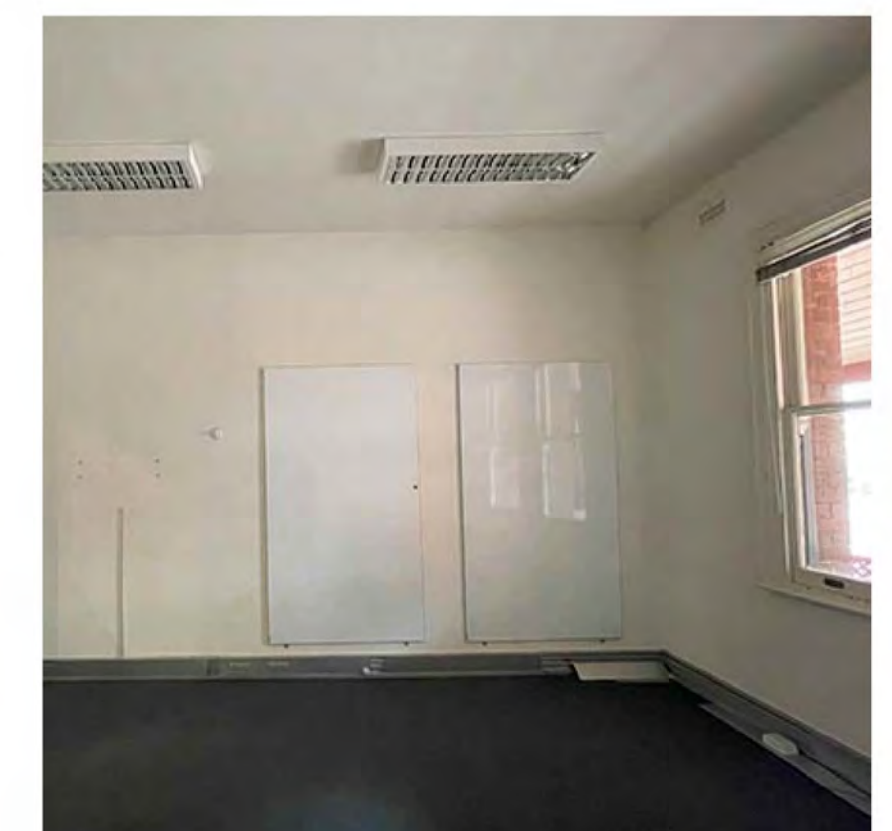
ORIGINAL CORNICE DETAILING



ROOM: MEETING ROOM 02  
CORNICE: ORIGINAL CORNICE



ROOM: ENTRY LOBBY  
CORNICE: ORIGINAL CORNICE

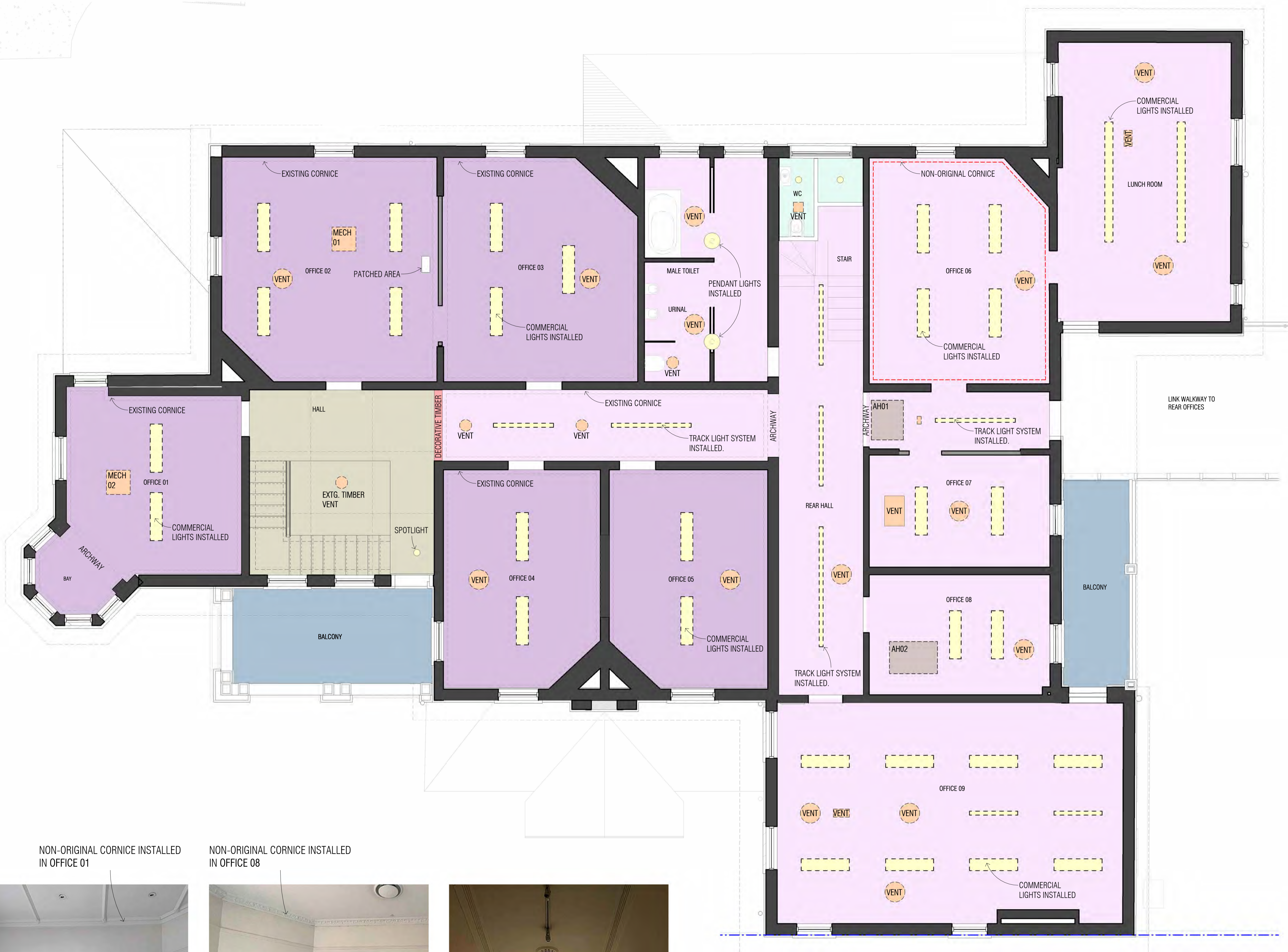


PROPOSED ROOM: MEETING ROOM 03  
NO CORNICE: SQUARE-SET PLASTERBOARD

EXISTING - RCP GROUND FLOOR PLAN



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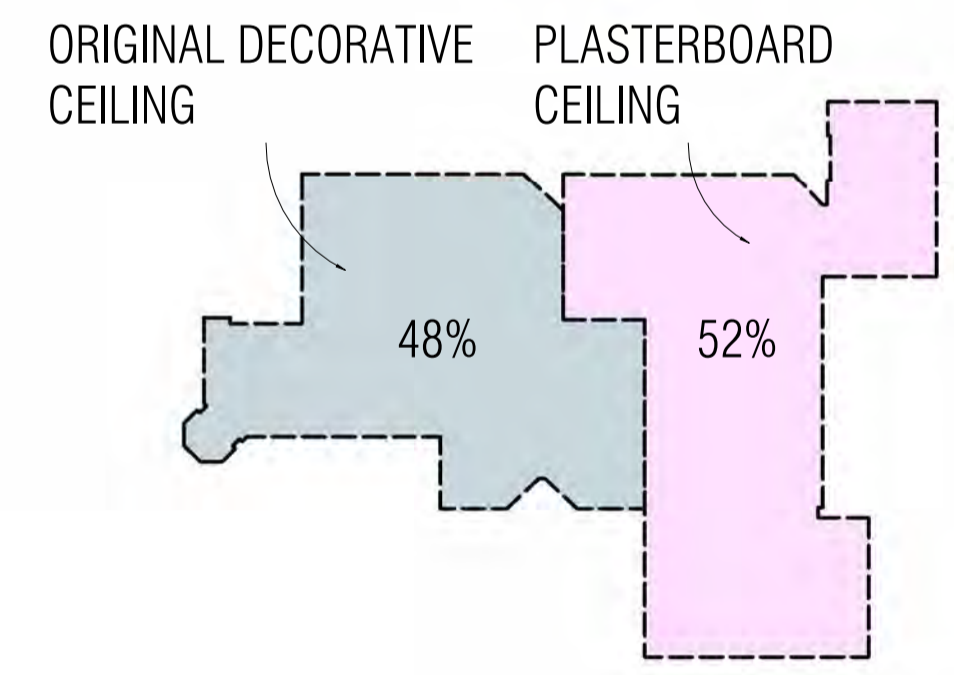


CEILING FINISH

- CORNICE & PLASTERBOARD
- EXTG. TIMBER CEILING (PAINTED)
- SQUARE-SET PLASTERBOARD
- TIMBER CEILING
- TIMBER LINED CEILING (EXTERNAL)

REFLECTED CEILING PLAN LEGEND

- BEAM OR DETAIL
- ACCESS HATCH
- VENT
- MECHANICAL EQUIPMENT
- LIGHTING



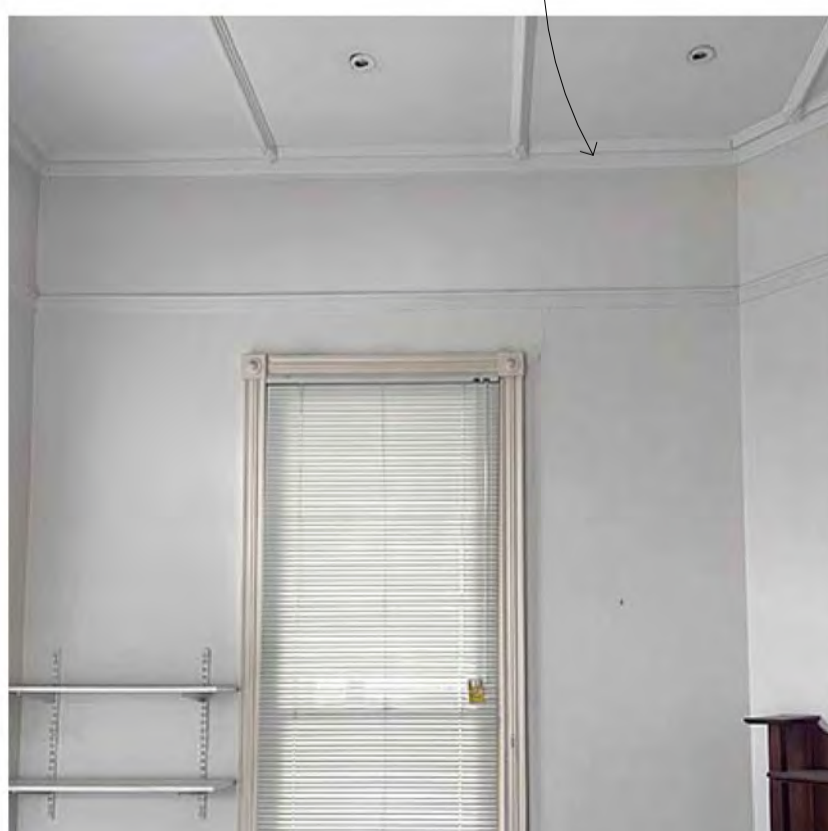
EXISTING L1 CEILING AREA LEGEND

REVISED BY: b.e.  
DATE: 2024  
NOV 2024  
SEPT 2024

| REVISION                        | DESCRIPTION                       | DATE |
|---------------------------------|-----------------------------------|------|
| REVISION SCHEDULE               |                                   |      |
| CLIENT                          | KFO                               |      |
| PROJECT                         | 1-19 CLARENDON ST                 |      |
| DRAWING EXISTING - RCP LEVEL 01 |                                   |      |
| ADDRESS                         | 1-19 CLARENDON ST, EAST MELBOURNE |      |
| SCALE                           | AS SHOWN                          |      |
| DATE                            | AUG 24                            |      |
| SHEET SIZE                      | A3                                |      |
| FILE                            | b.e                               |      |

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100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600  
NORTH  
REVISION A  
JOB NO: 2309

NON-ORIGINAL CORNICE INSTALLED IN OFFICE 01



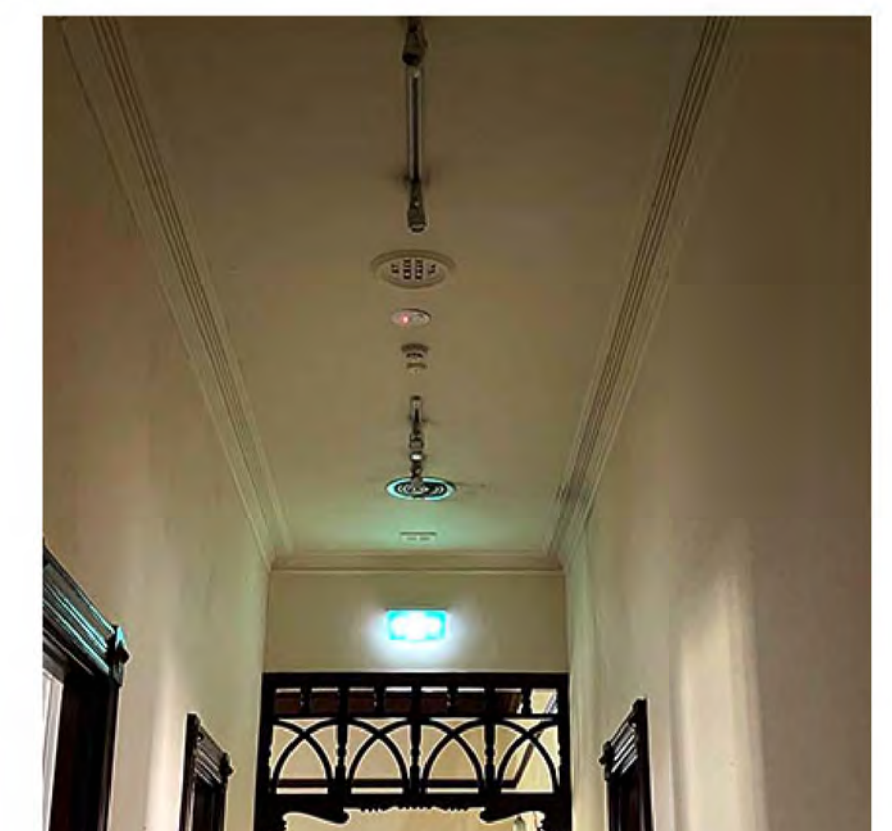
ROOM: OFFICE 01  
CORNICE: ORIGINAL CORNICE

NON-ORIGINAL CORNICE INSTALLED IN OFFICE 08



ROOM: OFFICE 08  
CORNICE: NON-ORIGINAL CORNICE

NON-ORIGINAL CORNICE INSTALLED IN HALL



ROOM: HALL  
CORNICE: ORIGINAL CORNICE

EXISTING - RCP LEVEL 01 FLOOR PLAN



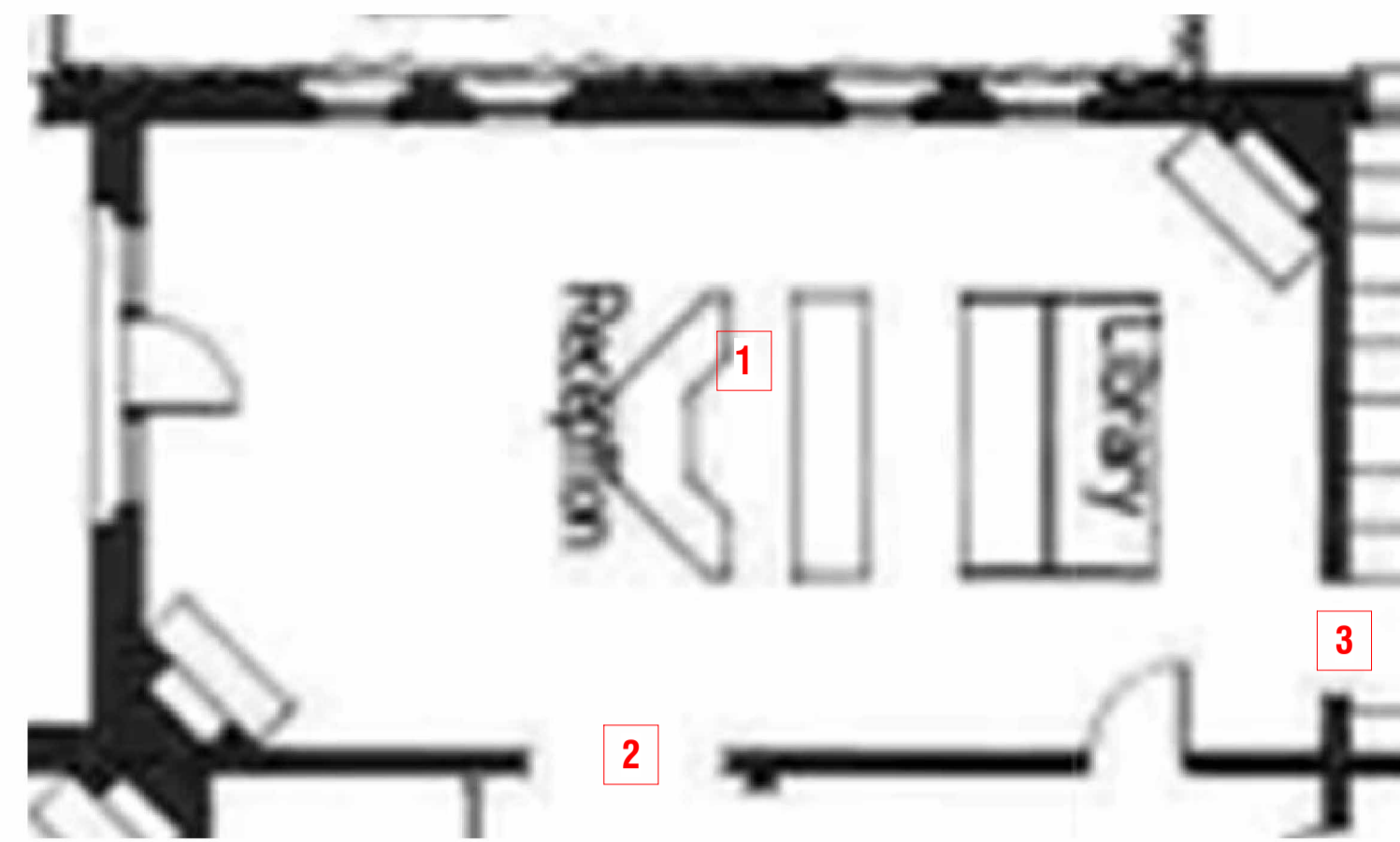
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LEGEND

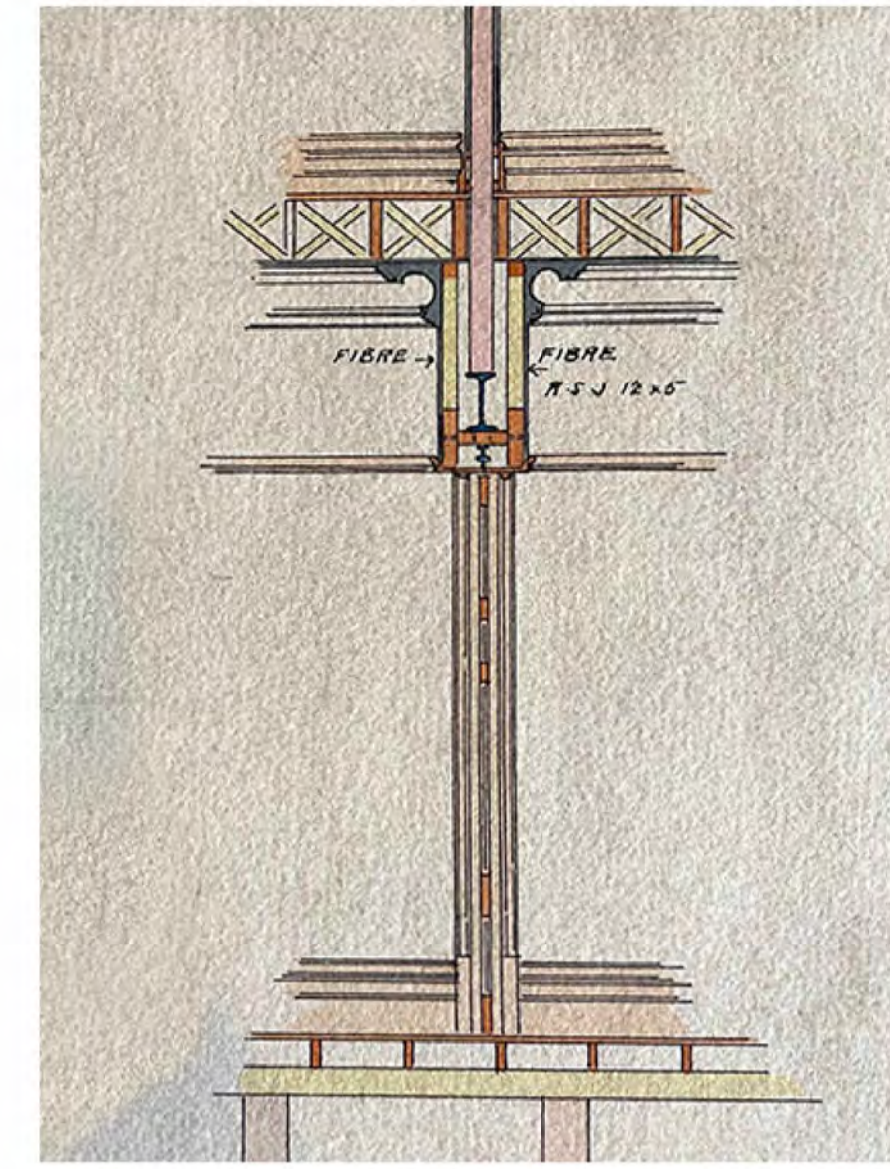
|              |  |
|--------------|--|
| RED<br>TEXT  | HISTORIC ALTERATION,<br>AND NEW PROPOSED TO<br>ORIGINAL ELEMENTS |
| BLUE<br>TEXT | PROPOSED ALTERATION<br>TO NON-ORIGINAL<br>ELEMENTS               |



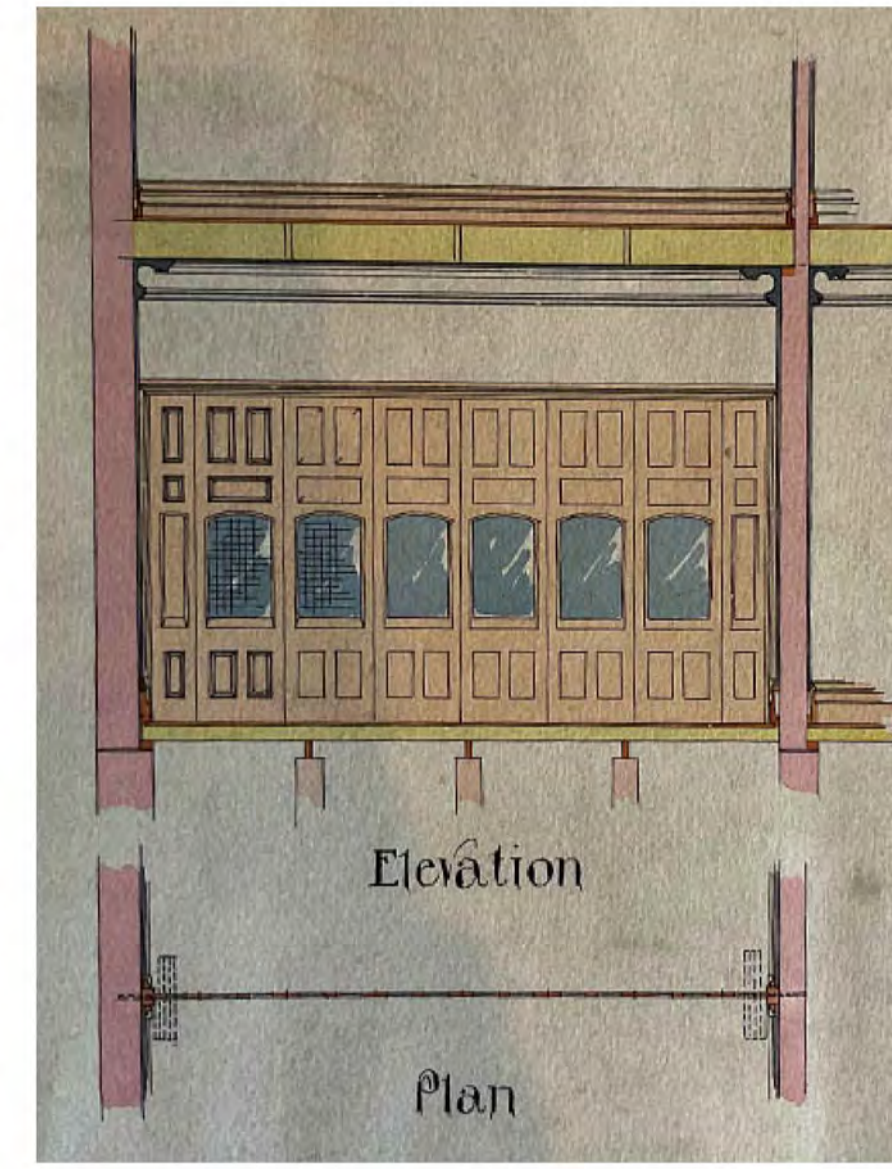
01. ORIGINAL ROOM PLAN  
YEAR: 1907
1. FOLDING DOORS TO THE STUDY SPACE AS PER THE ORIGINAL ELEVATION DRAWING
  2. THE ORIGINAL DESIGN FEATURED DOUBLE DOORS LEADING FROM THE MAIN HALL



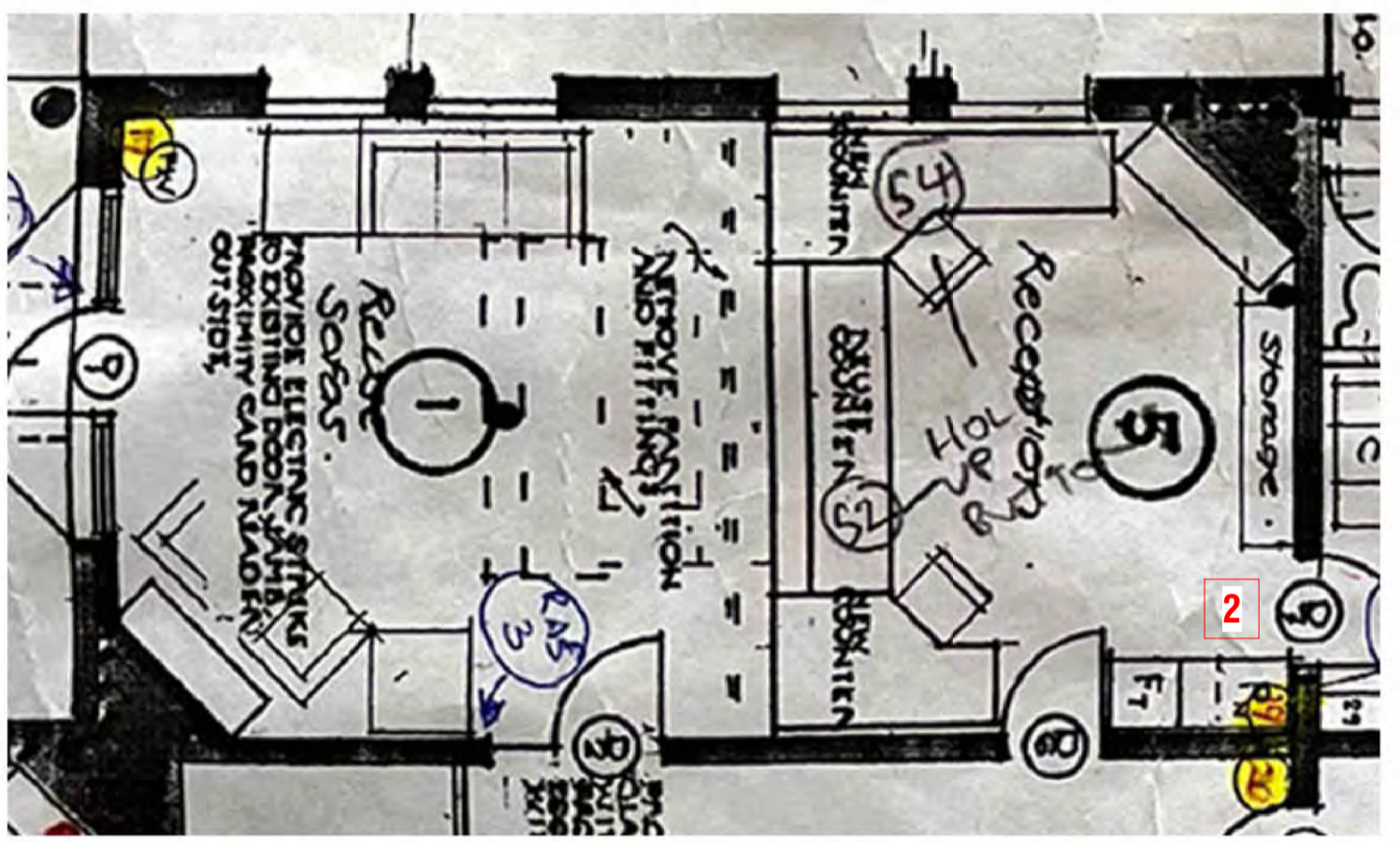
02. BATES SMART PLAN  
YEAR: 1981
1. FOLDING DOORS UNDER BEAM SEEM TO HAVE BEEN REMOVED
  2. DOUBLE DOORS REMOVED
  3. NEW OPENING ADDED



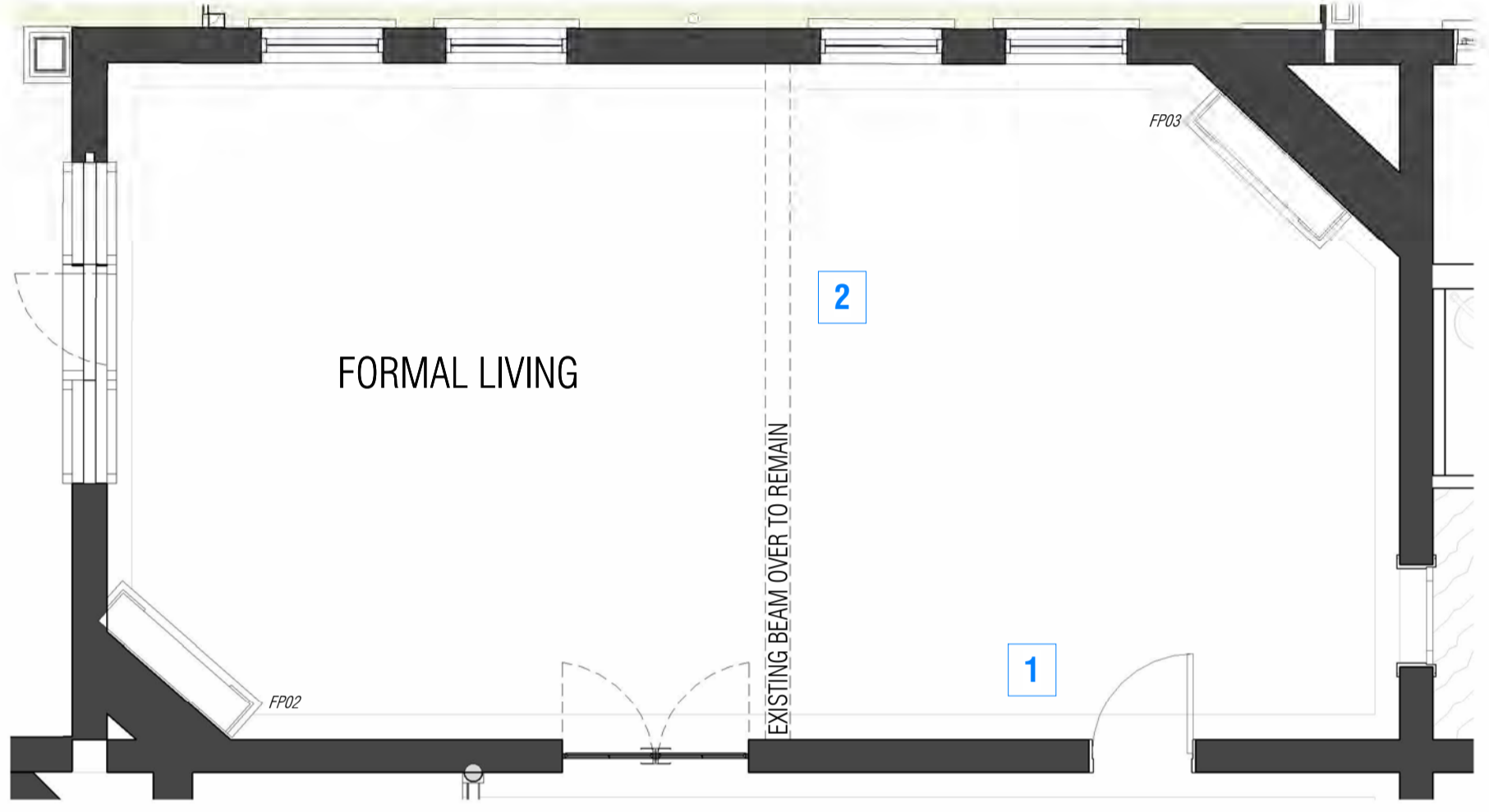
ORIGINAL DRAWING - SECTION THROUGH BEAM AND FOLDING DOORS



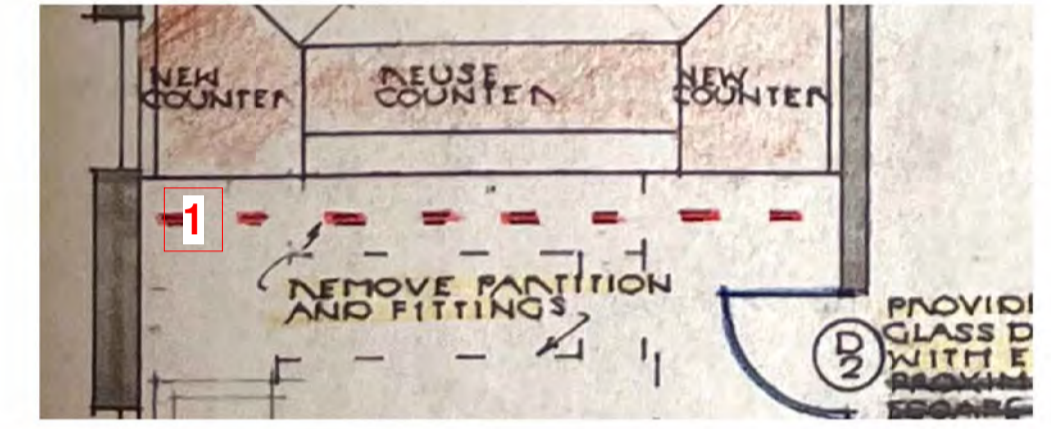
ORIGINAL DRAWING - ELEVATION TOWARD FOLDING DOORS



03. CURRENT ROOM PLAN  
YEAR: 2001
1. GLASS DOOR ADDED.
  2. NEW DOOR ADDED TO OPENING



04. PROPOSED ROOM PLAN - FORMAL LIVING  
YEAR: 2024
1. NEW BI-PART STEEL FRAMED GLAZED DOORS TO REPLACE PIVOT DOOR.
  2. NEW TIMBER STRIP FLOORING LAID OVER ORIGINAL BALTIC PINE FLOOR



- RENOVATION DRAWINGS: 2001
1. PARTITION AND FITTINGS REMOVED. UNSURE IF REFERS TO ORIGINAL PARTITION OR LATER ADDITION

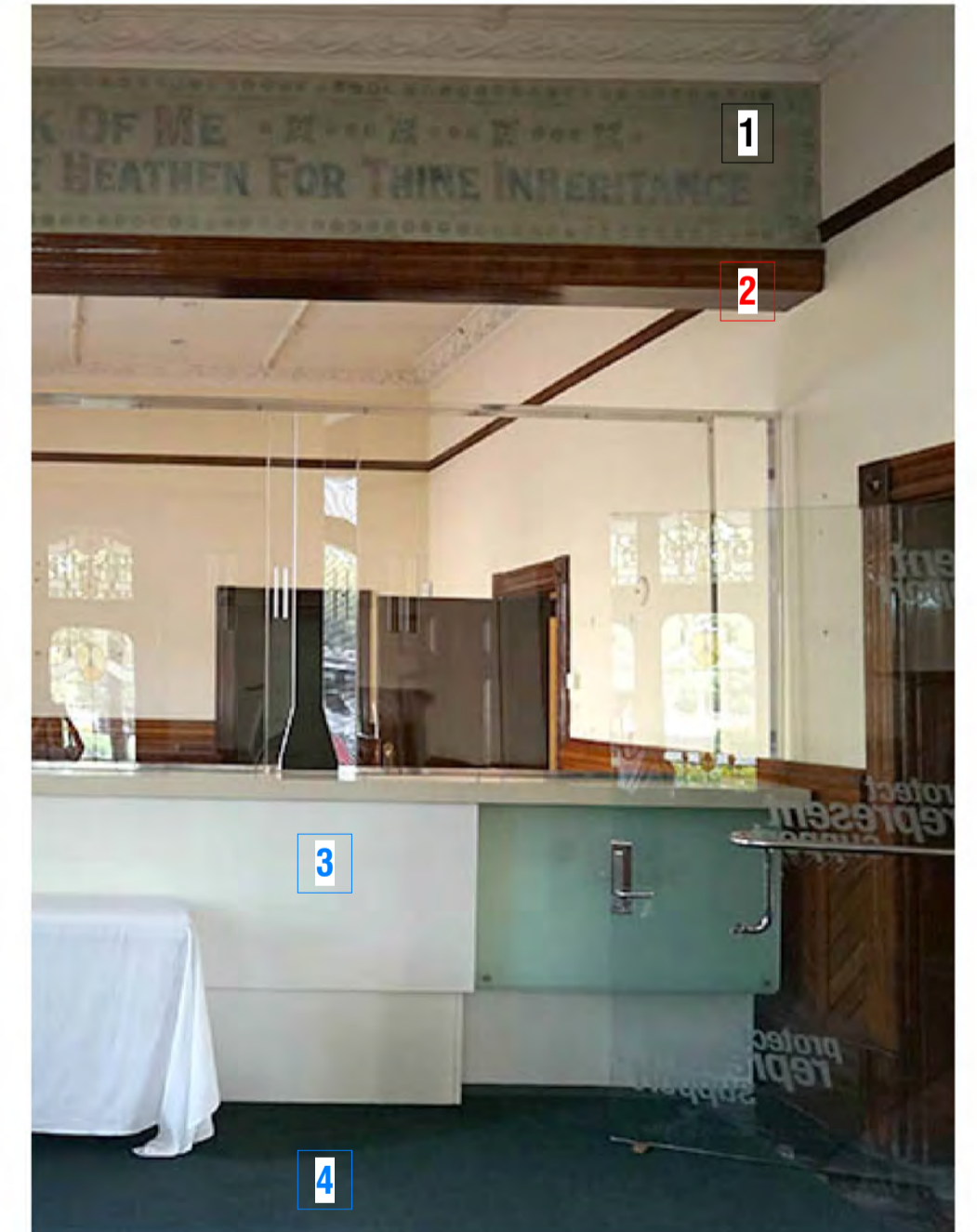


PHOTO - CURRENT VIEW TOWARDS RECEPTION DESK

1. MURAL TEXT TO BEAM. TBC IF ORIGINAL
2. CURRENT TIMBER BEAM TRIM. TBC IF ORIGINAL. NO PARTITION TRACK VISIBLE. APPEARS TO BE DIFFERENT TO ORIGINAL DRAWING. LOWER THAN DADO RAIL. FINISH: VARNISH.
3. LATER ADDITIONS TO BE REMOVED - RECEPTION DESK PARTITION SCREENS. GLASS PIVOT DOOR
4. NON-ORIGINAL CARPET OVER ORIGINAL BALTIC FLOORING. REMOVE RUG



PHOTO - CURRENT GLASS PIVOT DOOR

1. CURRENT PAINT COLOUR: LIGHT WHITE TONE PAINT. TYPE UNKNOWN. PROPOSED PAINT COLOUR: LIGHT TONE DISTEMPER PAINT
2. GLAZED PIVOT COMMERCIAL DOOR TO BE REPLACED
3. ORIGINAL ARCHITRAVE - RED CEDAR TIMBER. CURRENT FINISH: CLEAR VARNISH. TBC IF ORIGINAL
4. TIMBER WAINSCOTTING AND DADO RAIL / SKIRTING. TIMBER TYPE: HUON PINE. TBC IF ORIGINAL. CURRENT FINISH: CLEAR VARNISH. TBC IF ORIGINAL

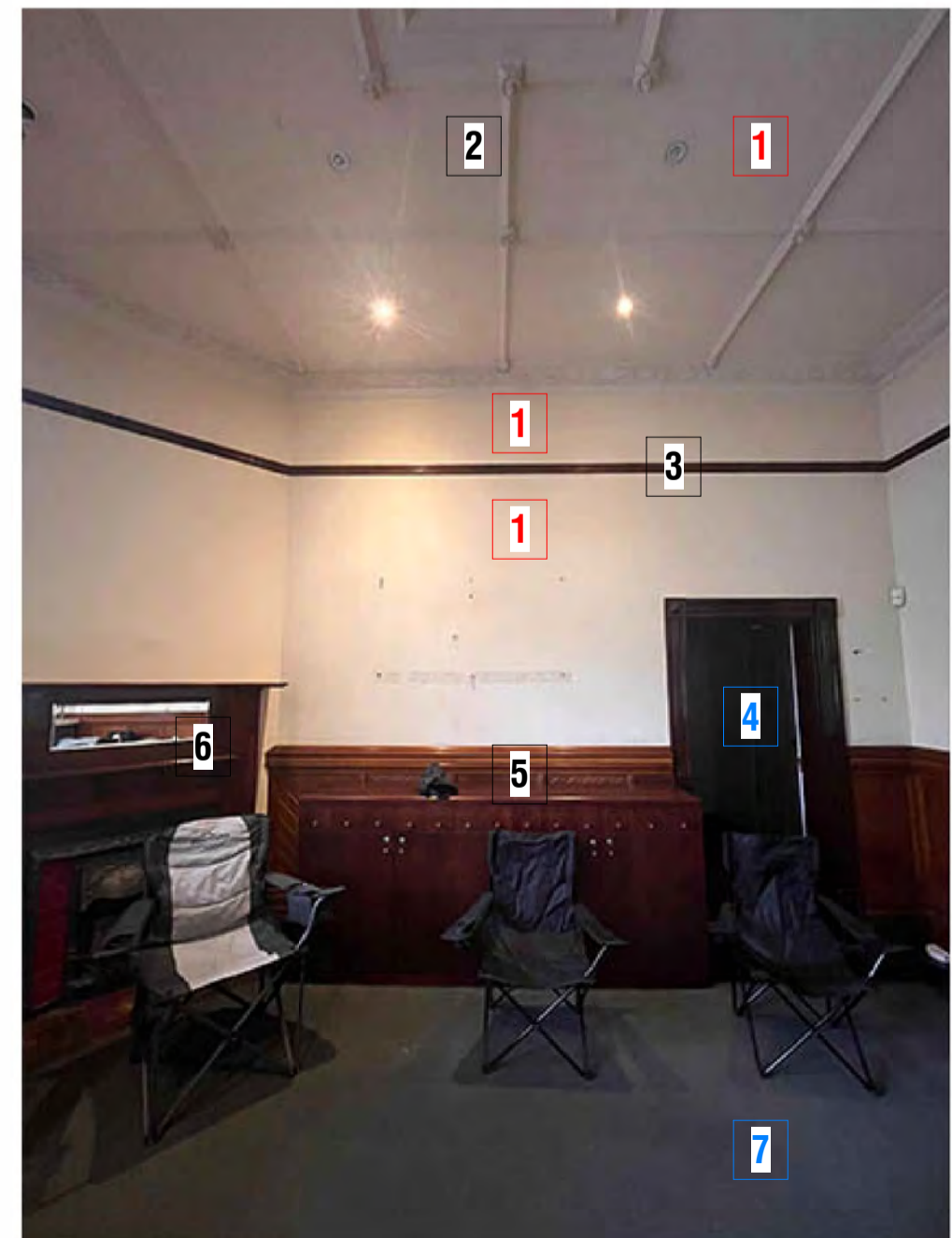
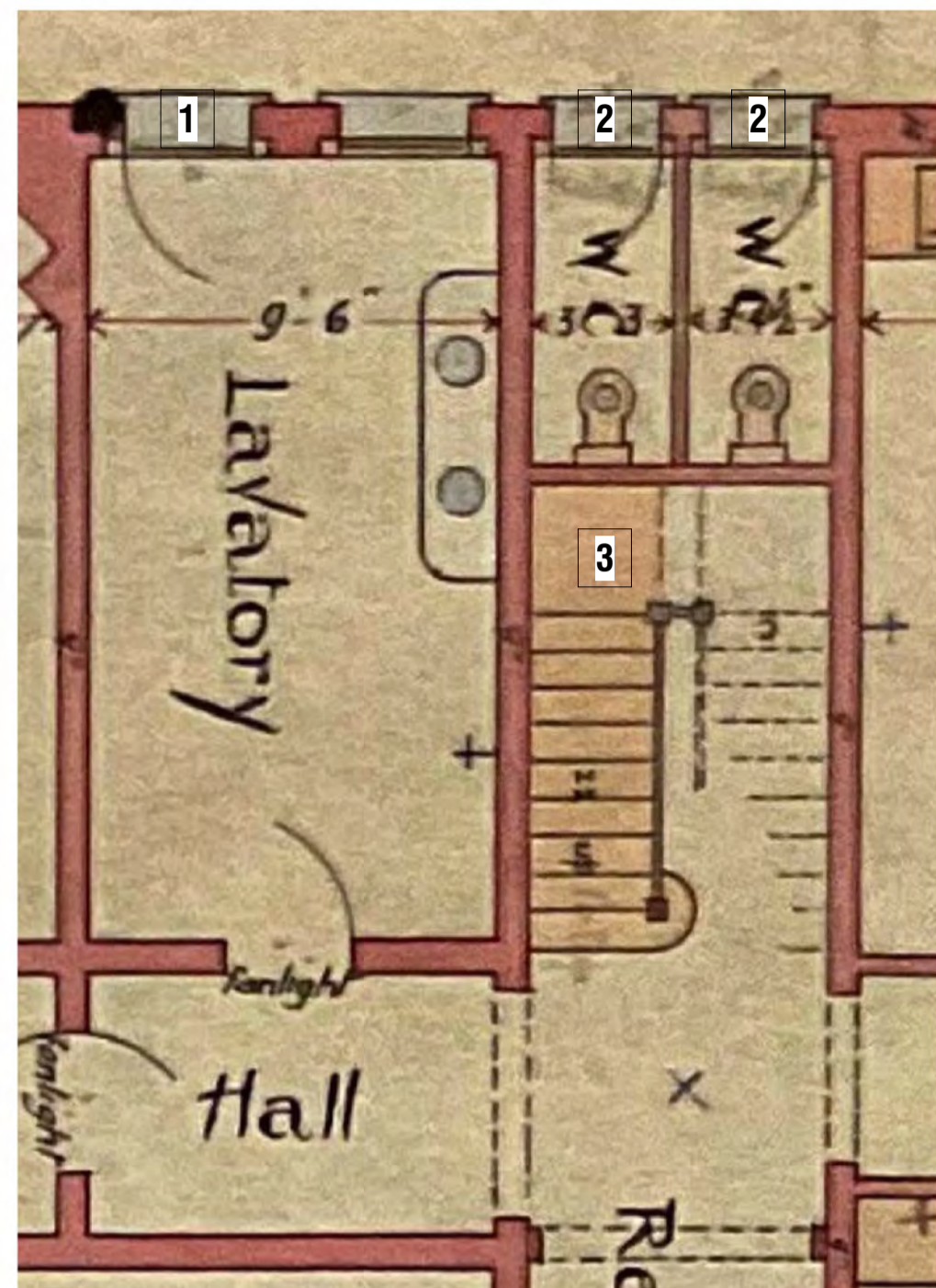


PHOTO - CURRENT ROOM BEHIND RECEPTION DESK

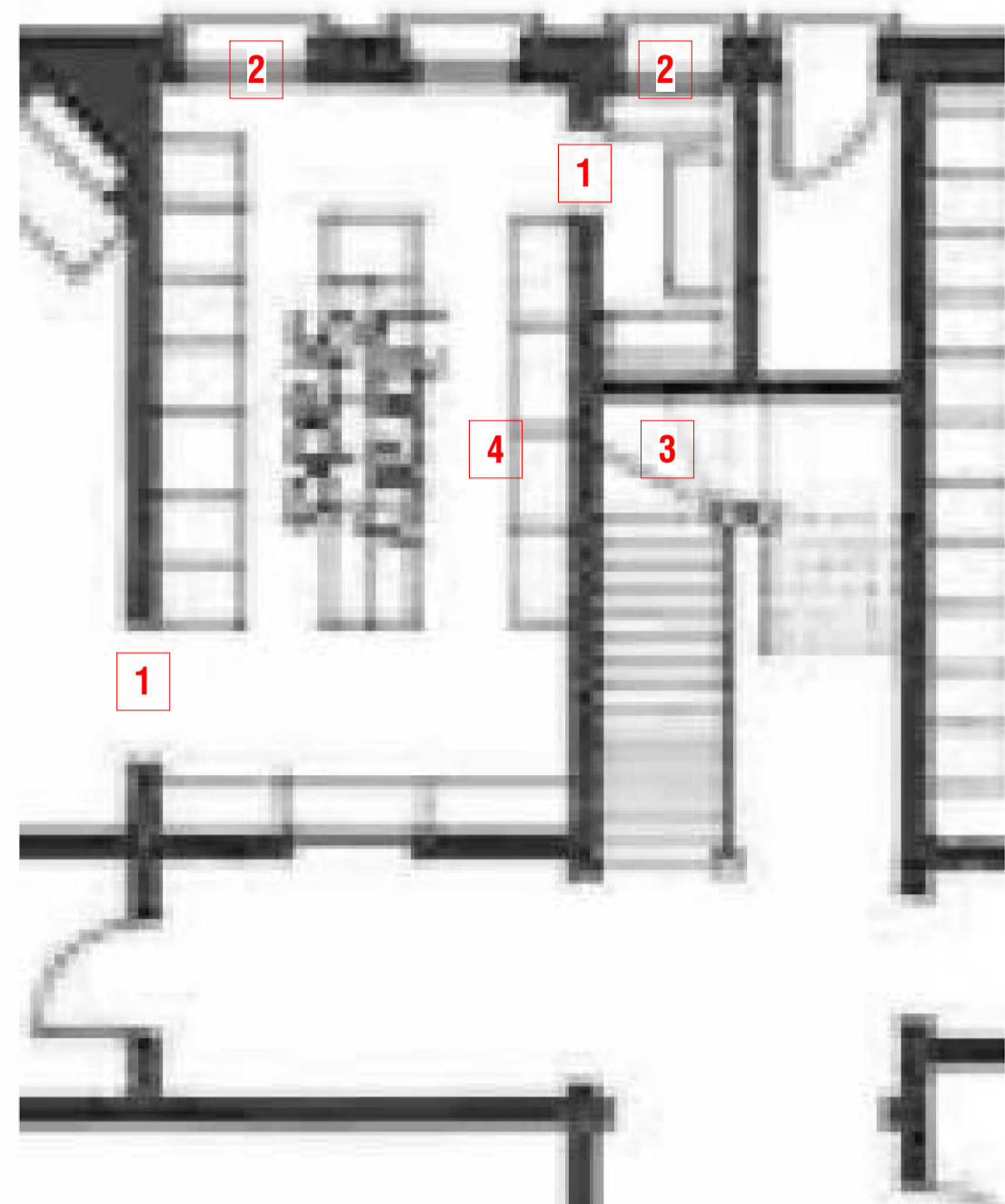
1. CURRENT PAINT COLOUR: LIGHT WHITE TONE PAINT. TYPE UNKNOWN. PROPOSED PAINT COLOUR: LIGHT TONE DISTEMPER PAINT
2. DECORATIVE CEILING BATTENS / CORNICES TO REMAIN
3. TIMBER DADO TO REMAIN. TIMBER TYPE: RED CEDAR. FINISH: CLEAR VARNISH. TBC IF ORIGINAL
4. NON-ORIGINAL DOOR AND ARCHITRAVE TO REMAIN. CURRENT FINISH: PAINTED. NOT ORIGINAL
5. TIMBER WAINSCOTTING AND DADO RAIL / SKIRTING. TIMBER TYPE: HUON PINE. TBC IF ORIGINAL. CURRENT FINISH: CLEAR VARNISH. TBC IF ORIGINAL
6. TIMBER SURROUND TO REMAIN
7. NON-ORIGINAL CARPET OVER ORIGINAL BALTIC FLOORING. REMOVE RUG





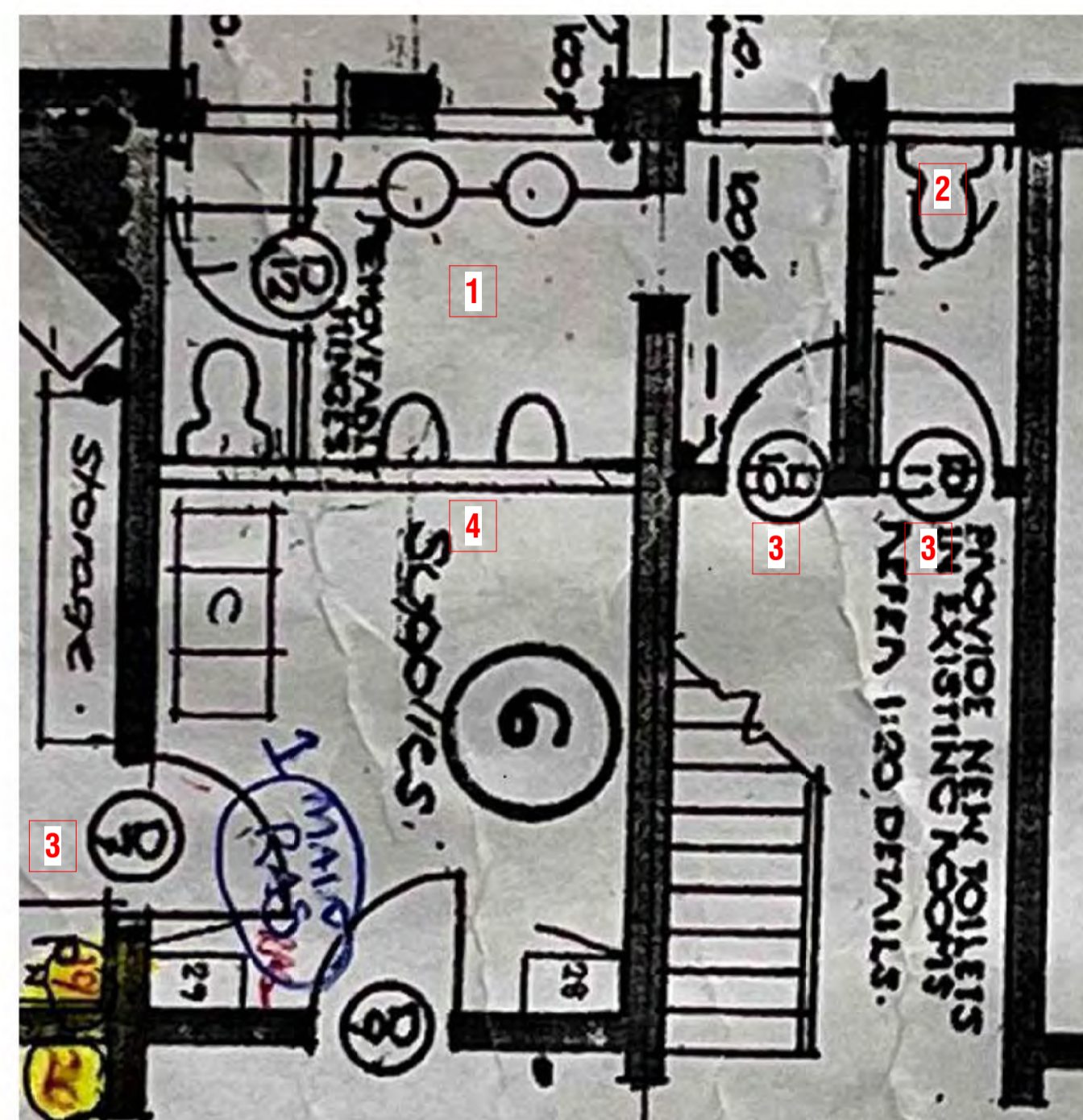
01. ORIGINAL ROOM PLAN  
YEAR: 1907

1. WC WAS ACCESSED FROM EXTERNAL DOORS ONLY
2. LAVATORY ACCESSED WITH EXTERNAL DOOR
3. NO WINDER TO STAIR



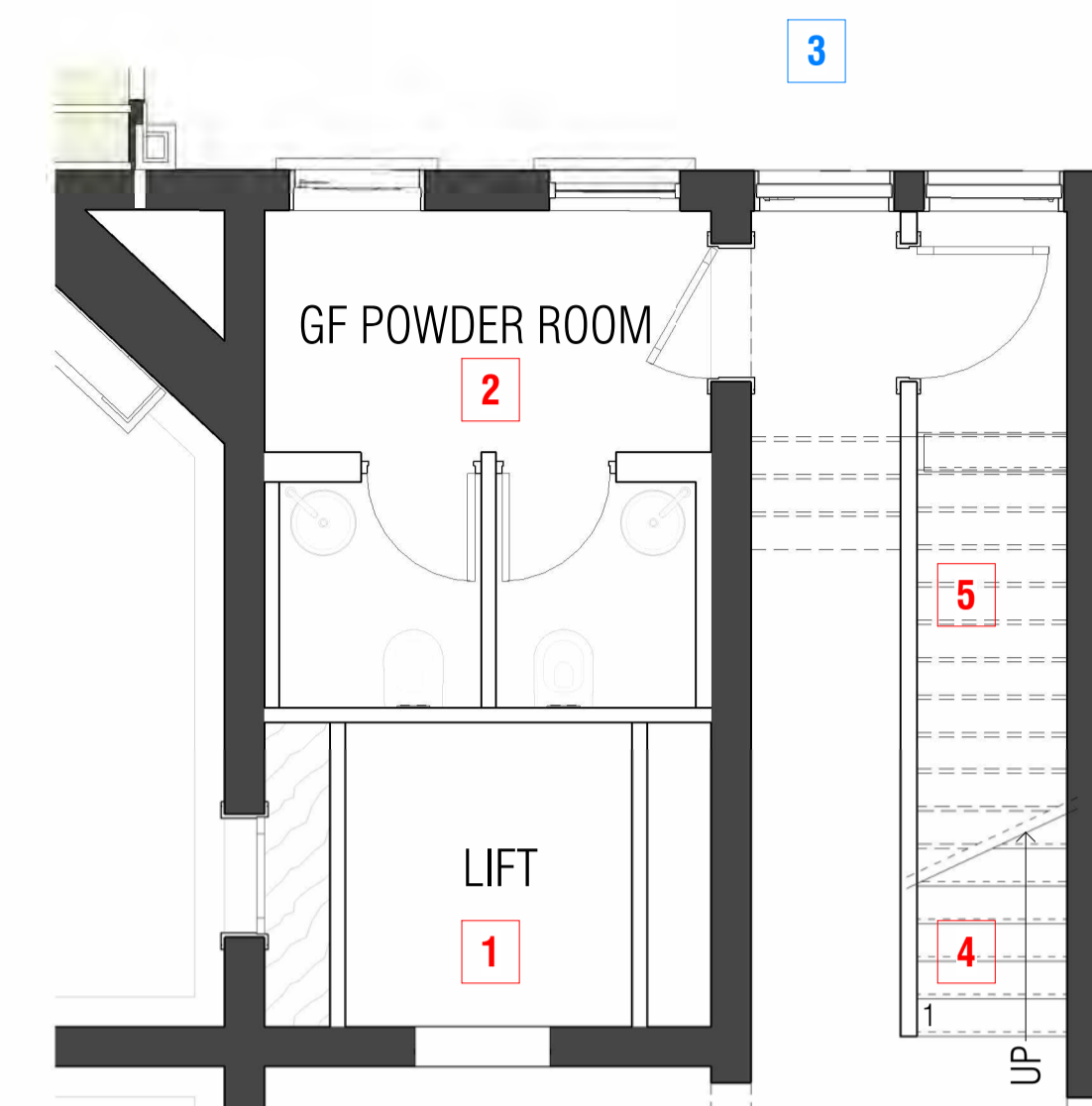
02. BATES SMART PLAN  
YEAR: 1981

1. NEW OPENINGS IN ORIGINAL WALL
2. EXISTING EXTERNAL DOOR BLOCKED OFF.
3. STAIR APPEAR TO BE ALTERED WITH WINDER ADDED
4. ORIGINAL VANITY / FIXTURES FITTINGS REMOVED



03. CURRENT ROOM PLAN  
YEAR: 2001

1. NEW URINAL BUILT WITH NEW VINYL FLOOR
2. NEW WC ADDED WITH NEW VINYL FLOORING. EXTERNAL DOOR BLOCKED OFF.
3. NEW DOORS ADDED. STAIR WINDER AND UNDERSIDE ALTERED.
4. NEW WALL BUILT DIVIDING UP ROOM



04. PROPOSED GF POWDER ROOM / LIFT / SECOND STAIR  
YEAR: 2024

1. TAKE EXISTING DOOR OFF FOR STORAGE. OPENING REMAINS. USED FOR NEW LIFT. REMOVE PARTIAL ORIGINAL FLOORING AND FLORO STRUCTURE TO ALLOW FOR NEW LIFT SHAFT OPENING
2. NEW GUEST POWDER ROOM WITH NEW TILED FLOORING.
3. REMOVE LATER WALL ADDITION AND REINSTATE DOOR TO EXTERIOR
4. MIRROR EXISTING STAIR AND RE-USE TO SUIT NEW LAYOUT.
5. REMOVE ORIGINAL FLOORING AND STRUCTURE TO ALLOW FOR NEW STAIR UP FROM BASEMENT FLOOR WITH NEW WALL AND DOOR TO STAIRWELL.

LEGEND

|           |  |
|-----------|--|
| RED TEXT  | HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS |
| BLUE TEXT | PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS               |

PHOTO - CURRENT URINAL CEILING



1. NON-ORIGINAL CEILING WITH ACCESS HATCH / LIGHT FIXTURES. REMOVE
2. NON-ORIGINAL WALL PARTITION. REMOVE

PHOTO - CURRENT URINAL ENTRY



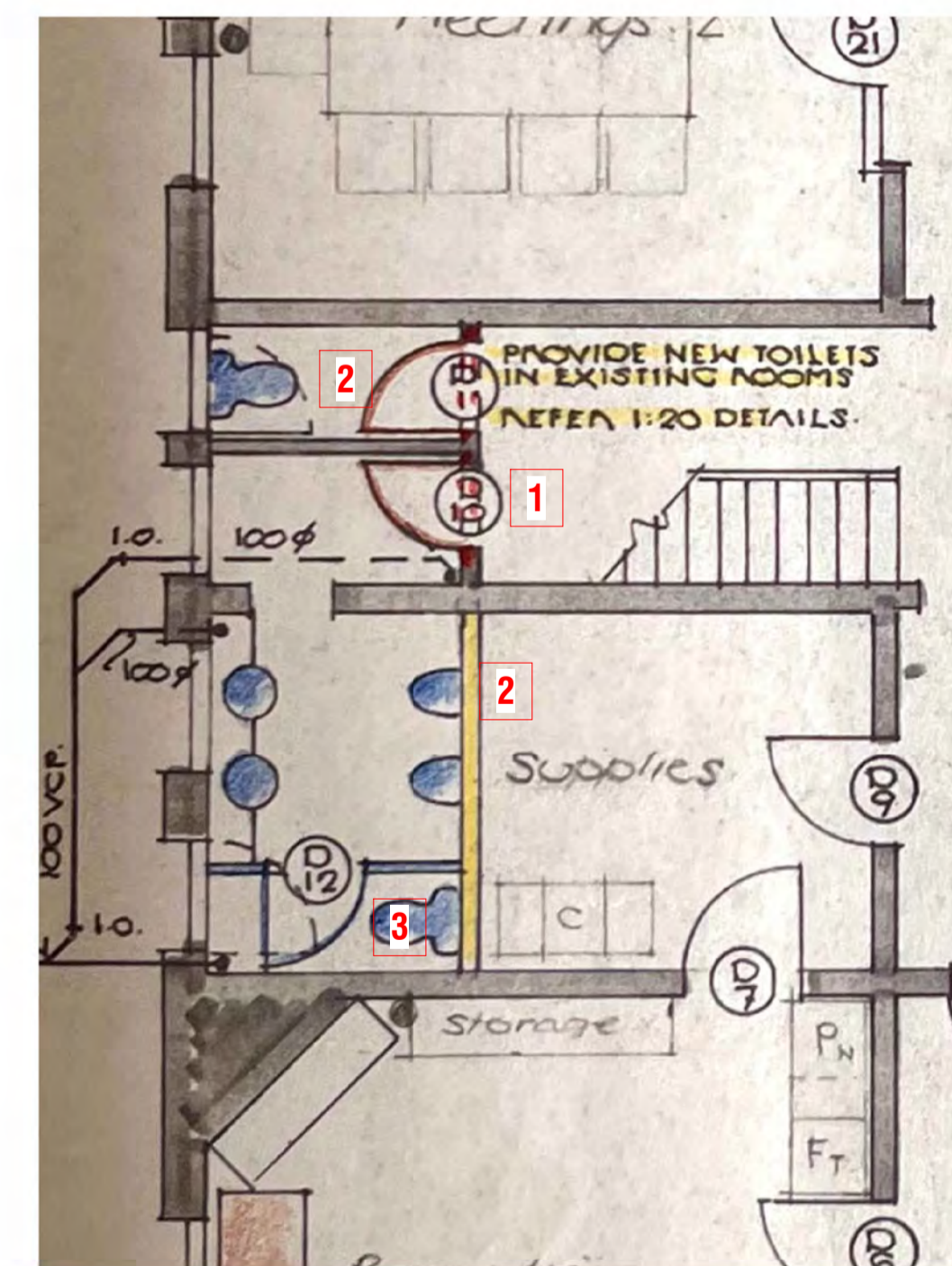
1. NON-ORIGINAL FALSE CEILING WITH ACCESS HATCH AND LIGHTING. REMOVE
2. NON-ORIGINAL WALL OPENING. TO REMAIN.
3. NON-ORIGINAL WALL BEHIND EXTERNAL DOOR. REMOVE
4. NON-ORIGINAL VINYL FLOORING IN BATHROOM AREA. REMOVE

PHOTO - CURRENT VIEW INTO URINAL



1. NON-ORIGINAL FALSE CEILING AND LIGHTS. REMOVE
2. NON-ORIGINAL WALL PARTITION. REMOVE
3. NON-ORIGINAL PARTITION BLOCKING BEHIND ORIGINAL EXTERNAL DOOR. REMOVE
5. NON-ORIGINAL URINAL / BATHROOM FIXTURES & FITTINGS / VINYL FLOORING. REMOVE

RENOVATION DRAWINGS: 2001



1. NON-ORIGINAL INTERNAL DOORS. REMOVE
2. NON-ORIGINAL WALL. REMOVE
3. NON-ORIGINAL URINAL / BATHROOM FIXTURES & FITTINGS. REMOVE

READ IN CONJUNCTION WITH SHEETS:  
H42 - REAR STAIR

| A                 | HW RFI 01   | NOV 2024  |
|-------------------|-------------|-----------|
| -                 | HW LODGE    | SEPT 2024 |
| REVISION          | DESCRIPTION | DATE      |
| REVISION SCHEDULE |             |           |

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - PROPOSED POWDER / LIFT

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

be architecture

100 Stephenson Street, Cremorne VIC 3121 P: 03 9416 1600

REVISION A

JOB NO: 2309

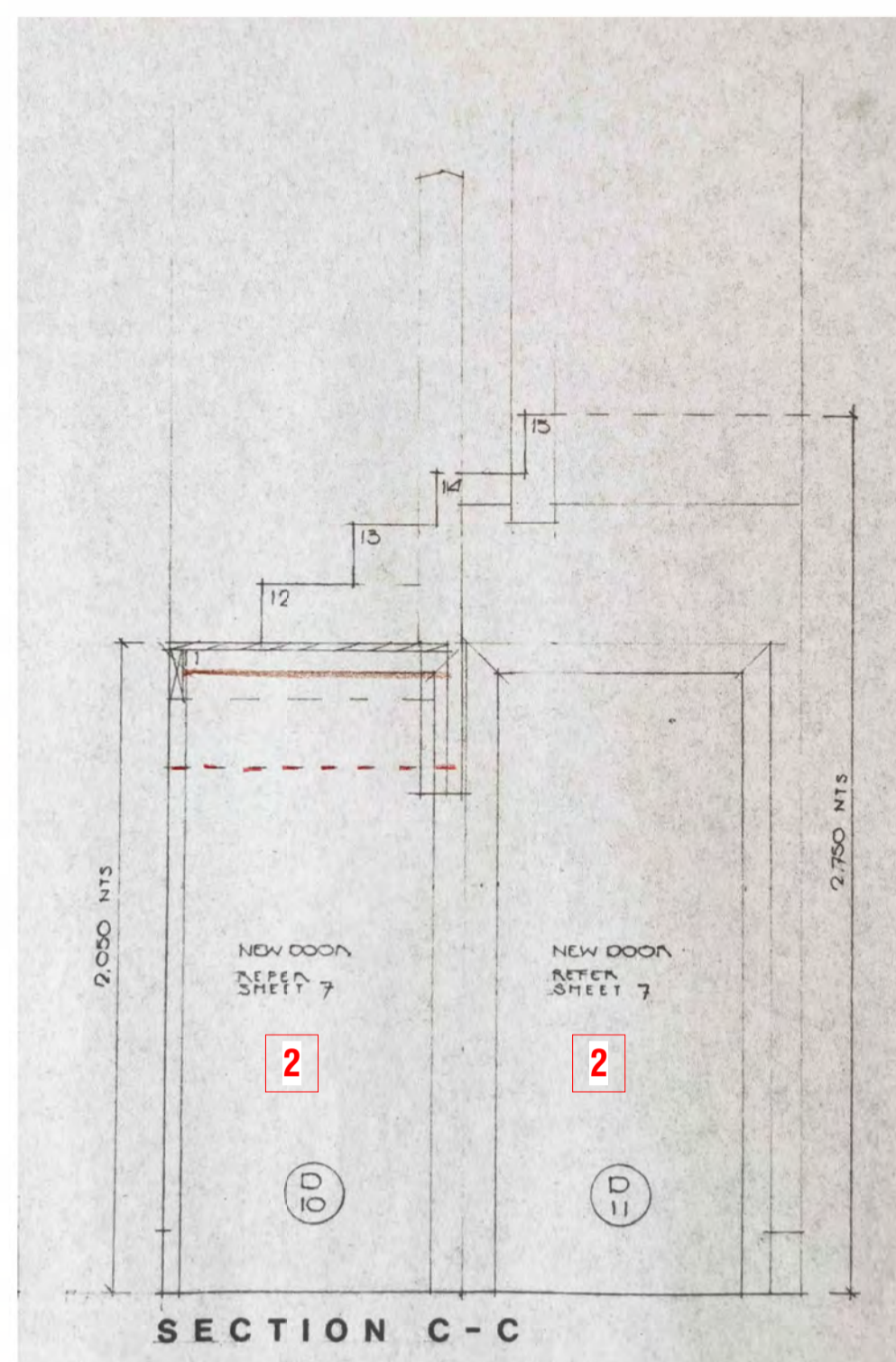
H41



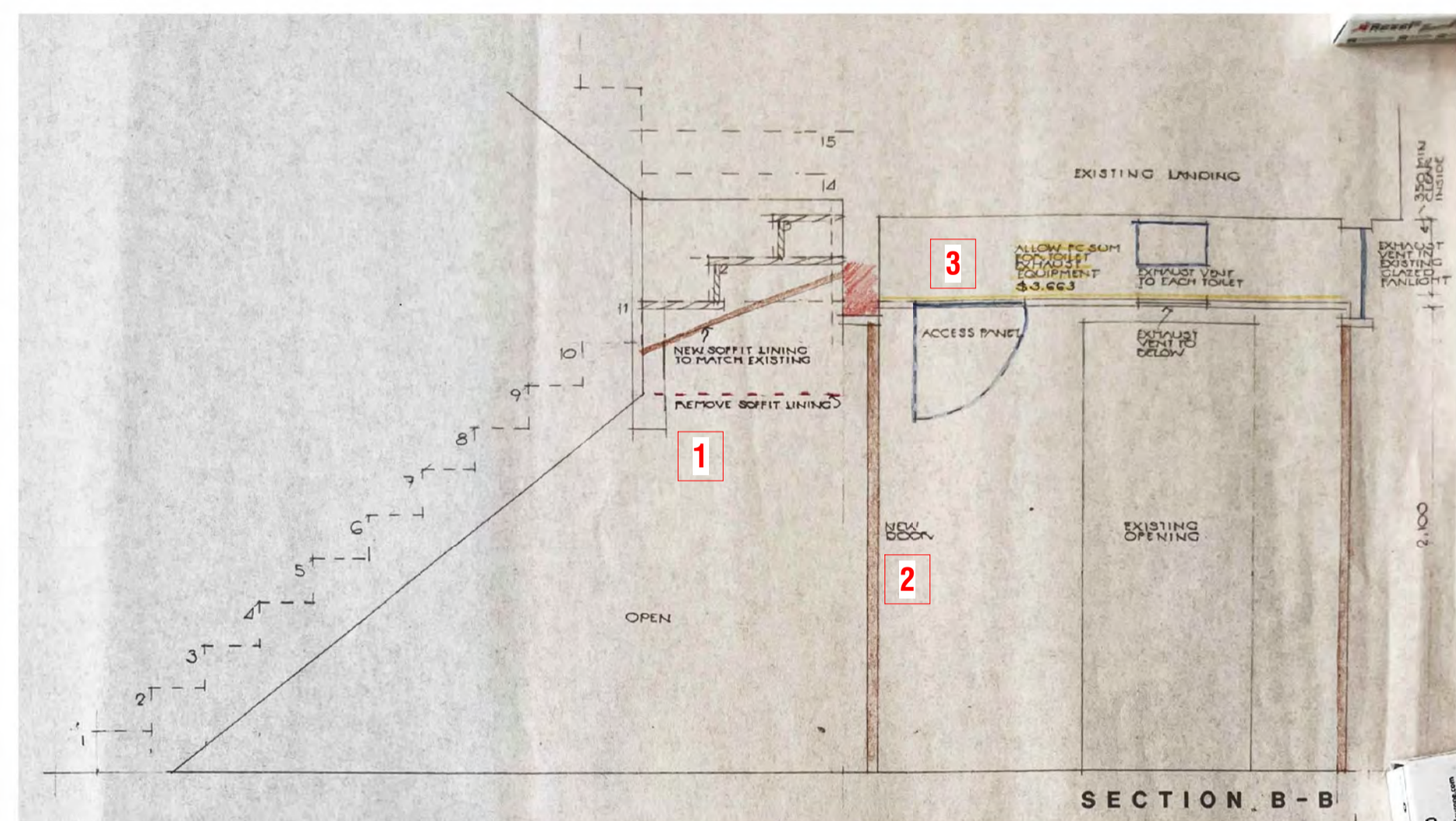
| LEGEND    |   |
|-----------|---|
| RED TEXT  | HISTORIC ALTERATION AND NEW PROPOSED TO ORIGINAL ELEMENTS |
| BLUE TEXT | PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS              |



ORIGINAL SECONDARY STAIR - ELEVATION  
YEAR: 1907

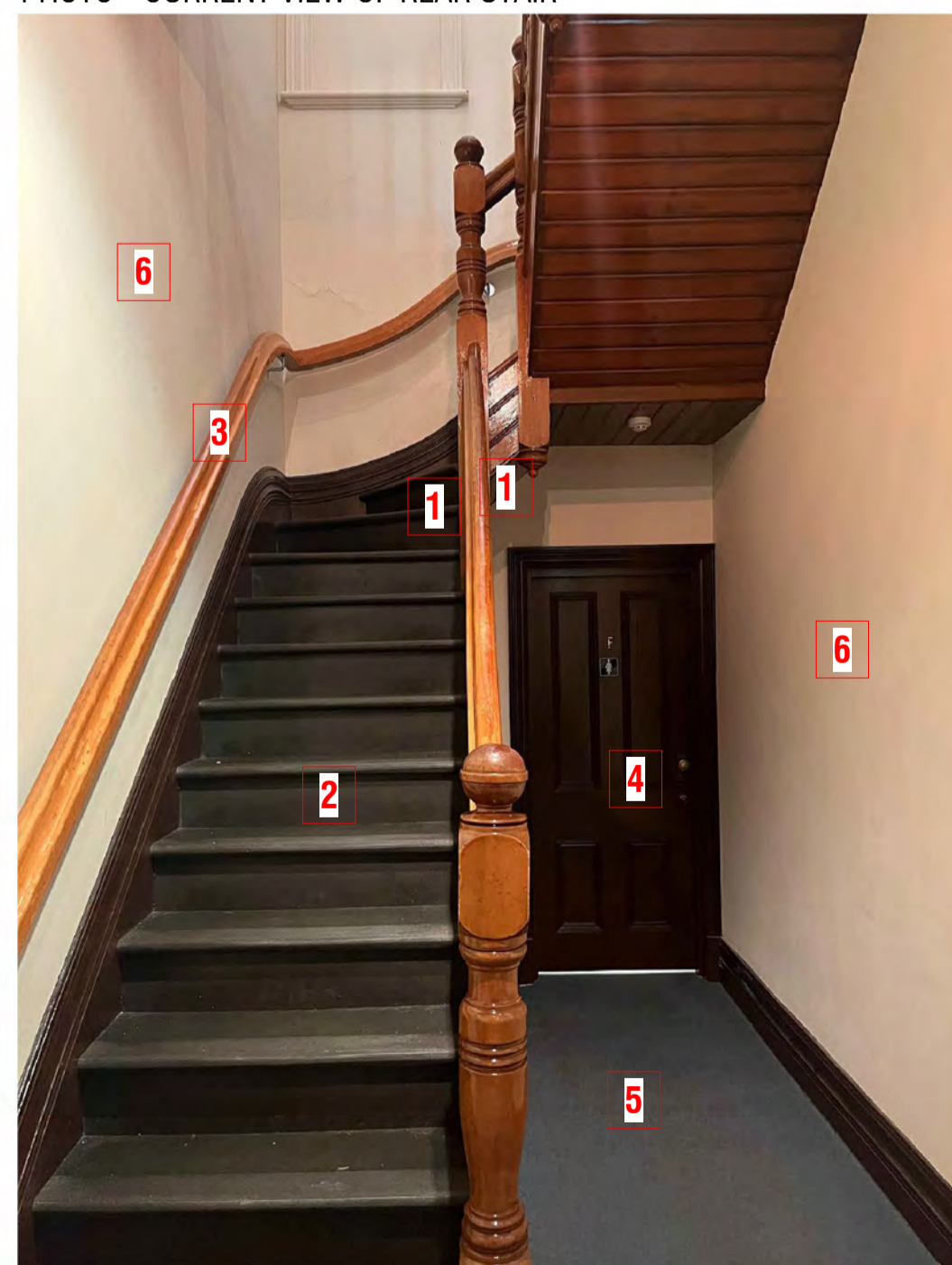


CURRENT PART SECTION / WALL ELEVATION UNDER STAIR  
YEAR: 2001



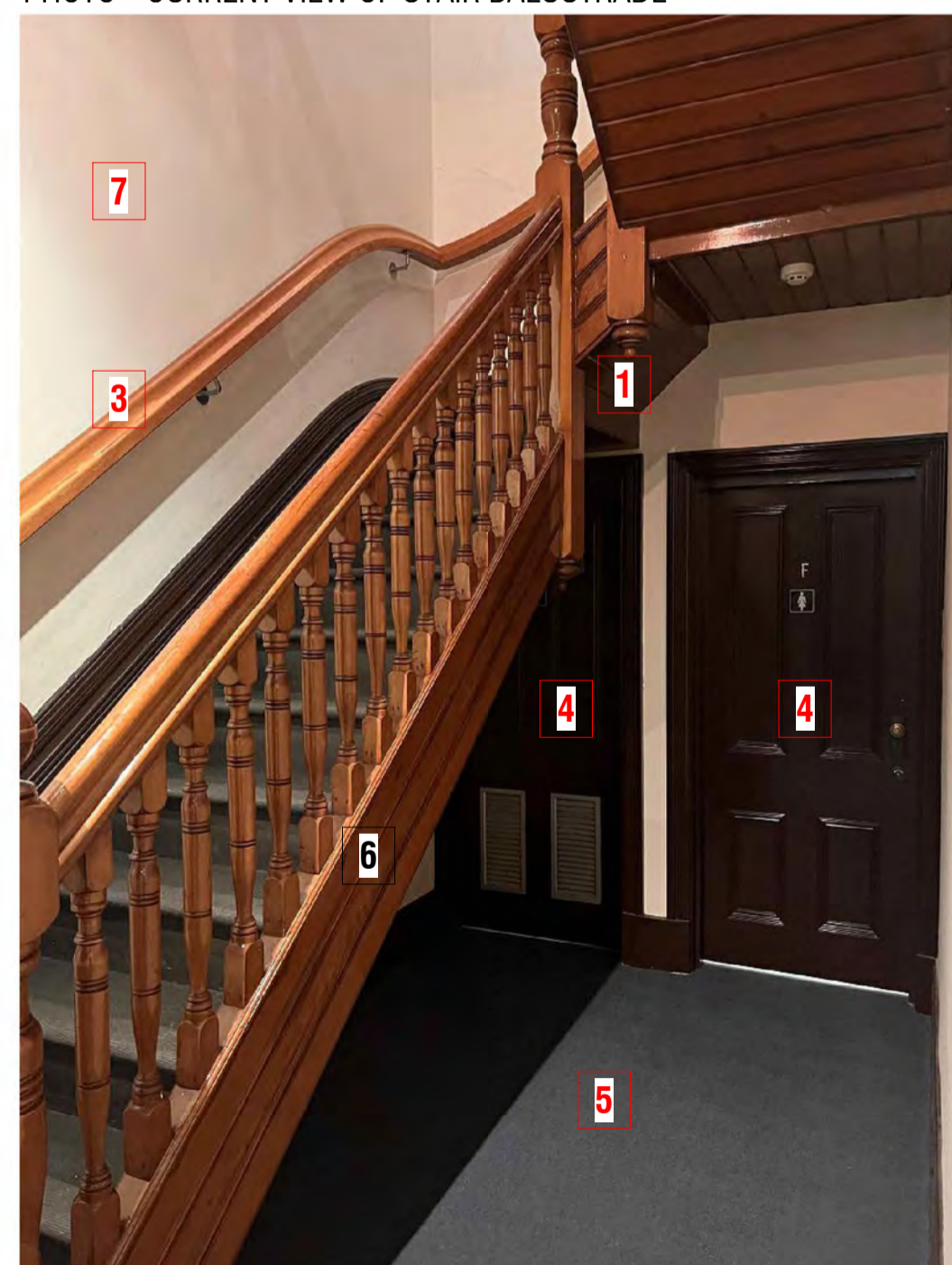
- 1. NON-ORIGINAL STAIR WINDER / SOFFIT. REMOVE
- 2. NON-ORIGINAL DOORS. REMOVE
- 3. NON-ORIGINAL CEILING. REMOVE
- 4. NON-ORIGINAL EXHAUST VENT. REMOVE

PHOTO - CURRENT VIEW OF REAR STAIR



- 1. POTENTIALLY NON-ORIGINAL STAIR WINDER AND SOFFIT
- 2. NON-ORIGINAL VINYL FLOORING COVER TO STAIR TREAD & RISERS
- 3. NON-ORIGINAL HANDRAIL
- 4. NON-ORIGINAL DOORS. REMOVE
- 5. NON-ORIGINAL CARPET. REMOVE

PHOTO - CURRENT VIEW OF STAIR BALUSTRADE



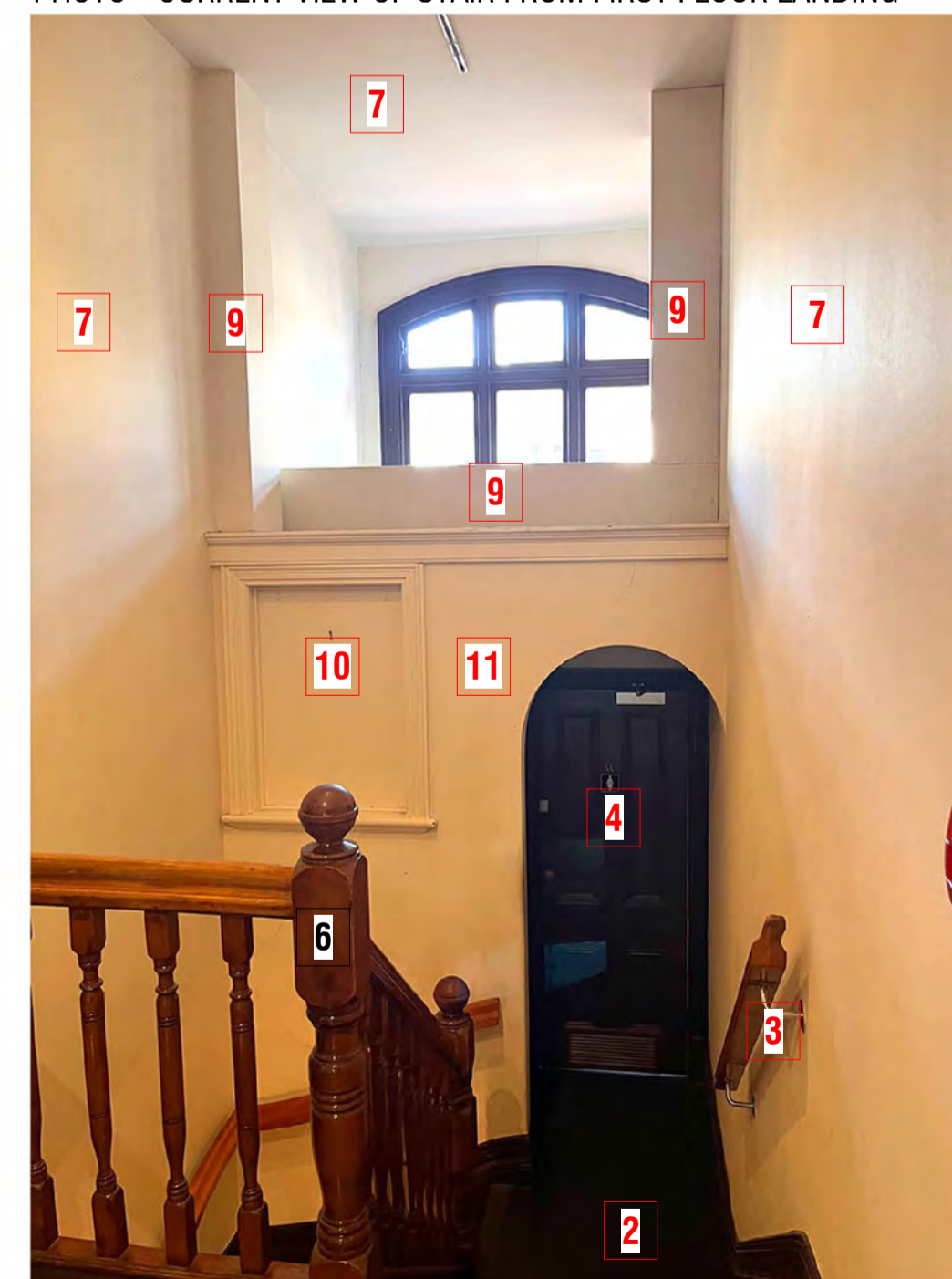
- 6. TIMBER BALUSTRADE / HANDRAIL / STRINGER.  
TBC IF ORIGINAL.  
TIMBER TYPE: HUON PINE  
TIMBER FINISH: VARNISH. TBC IF ORIGINAL

PHOTO - CURRENT VIEW OF STAIR FROM URINAL ENTRY



- 7. CURRENT PAINT COLOUR: LIGHT TONE PAINT. TYPE UNKNOWN.
- 8. PROPOSED PAINT COLOUR: LIGHT TONE DISTEMPER PAINT  
PAINT FINISH TO UNDERSIDE OF STAIR.  
DOES NOT APPEAR TO BE ORIGINAL

PHOTO - CURRENT VIEW OF STAIR FROM FIRST FLOOR LANDING



- 9. NON-ORIGINAL DUCTWORK. REMOVE
- 10. NON-ORIGINAL WALL OPENING. REMOVE
- 11. REMOVE WALL. POTENTIALLY ORIGINAL.

| REVISION | DESCRIPTION | DATE      |
|----------|-------------|-----------|
| A        | HV RFI 01   | NOV 2024  |
| -        | HV LODGE    | SEPT 2024 |

| REVISION SCHEDULE |                                   |
|-------------------|-----------------------------------|
| CLIENT            | KFO                               |
| PROJECT           | 1-19 CLARENDON ST                 |
| DRAWING           | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS           | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE             | AS SHOWN                          |
| DATE              | AUG '24                           |
| SHEET SIZE        | A3                                |
| FILE              | b.e                               |

| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
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| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

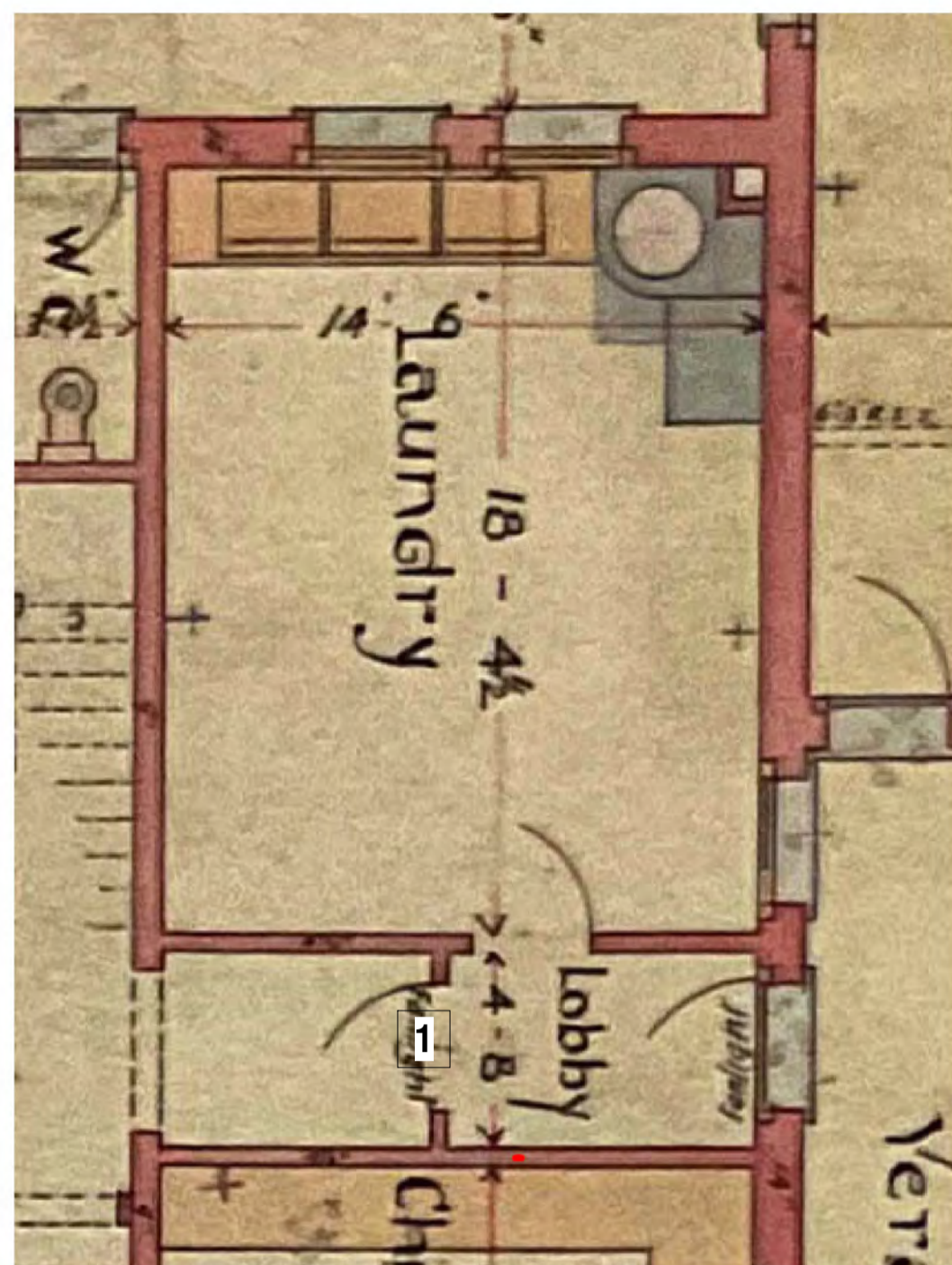
| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |

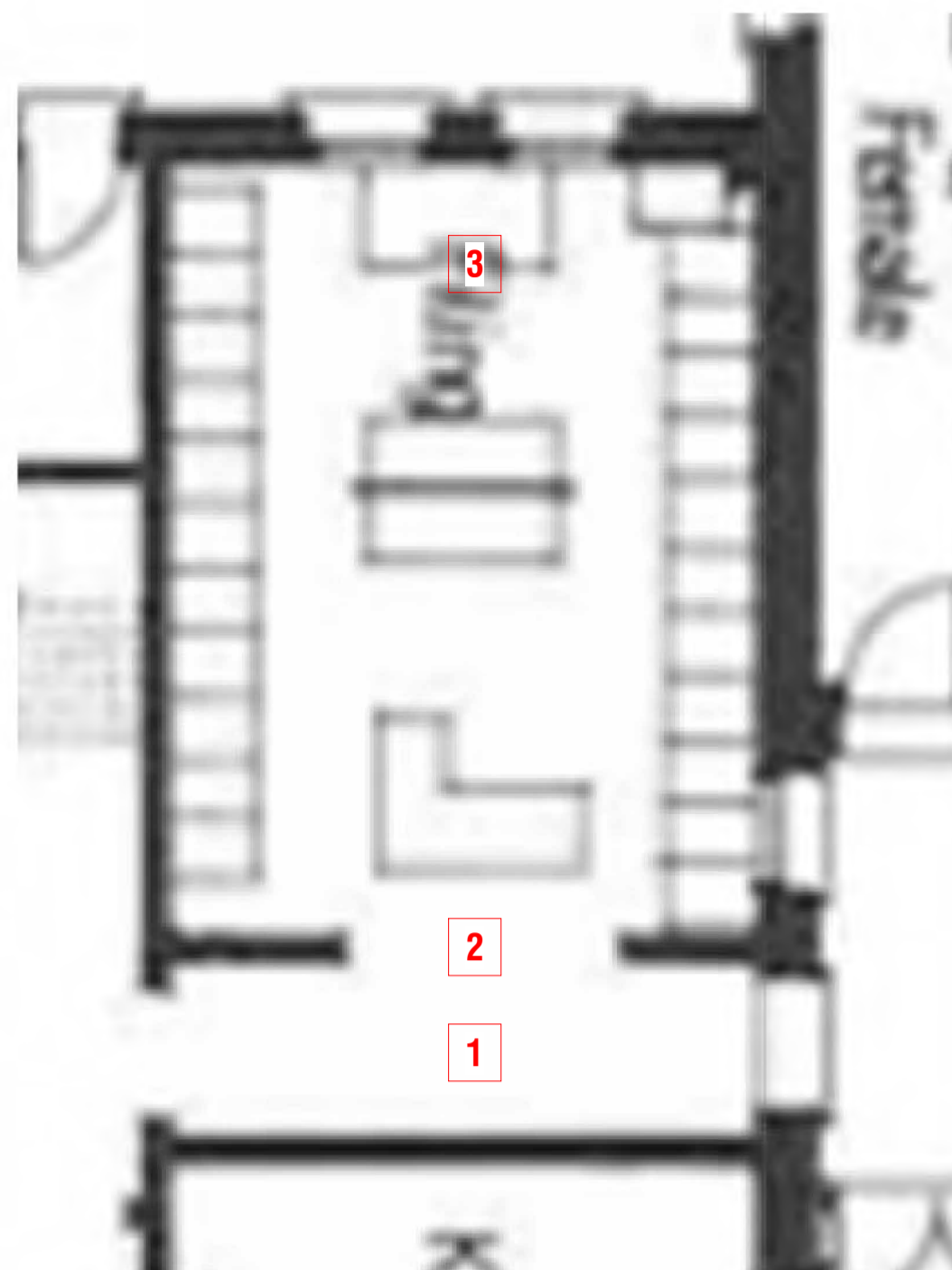
| CLIENT     | KFO                               |
|------------|-----------------------------------|
| PROJECT    | 1-19 CLARENDON ST                 |
| DRAWING    | ROOM ANALYSIS - REAR STAIR        |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE |
| SCALE      | AS SHOWN                          |
| DATE       | AUG '24                           |
| SHEET SIZE | A3                                |
| FILE       | b.e                               |





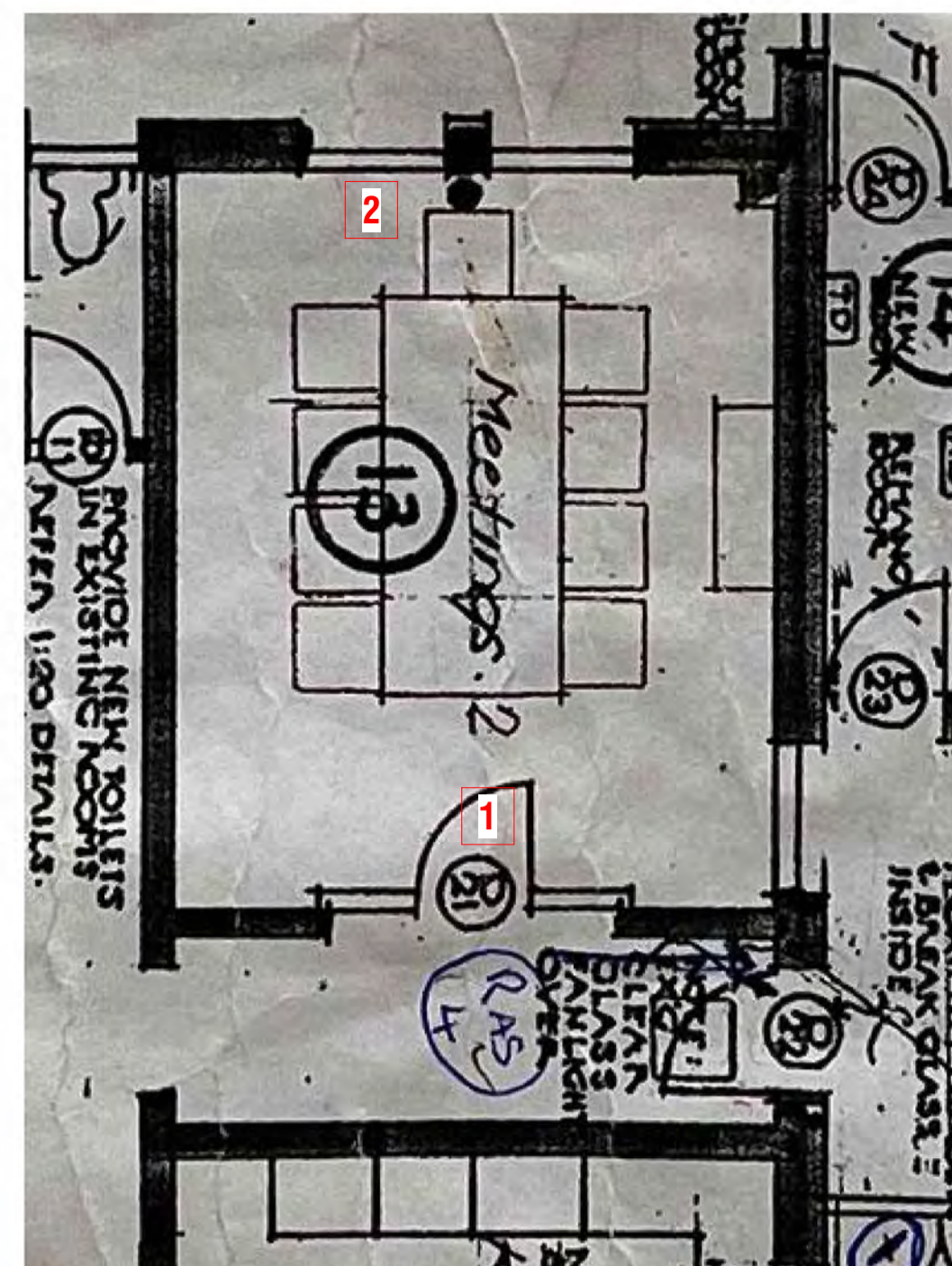
01. ORIGINAL ROOM PLAN  
YEAR: 1907

- HALLWAY WAS DIVIDED INTO 2 PARTS



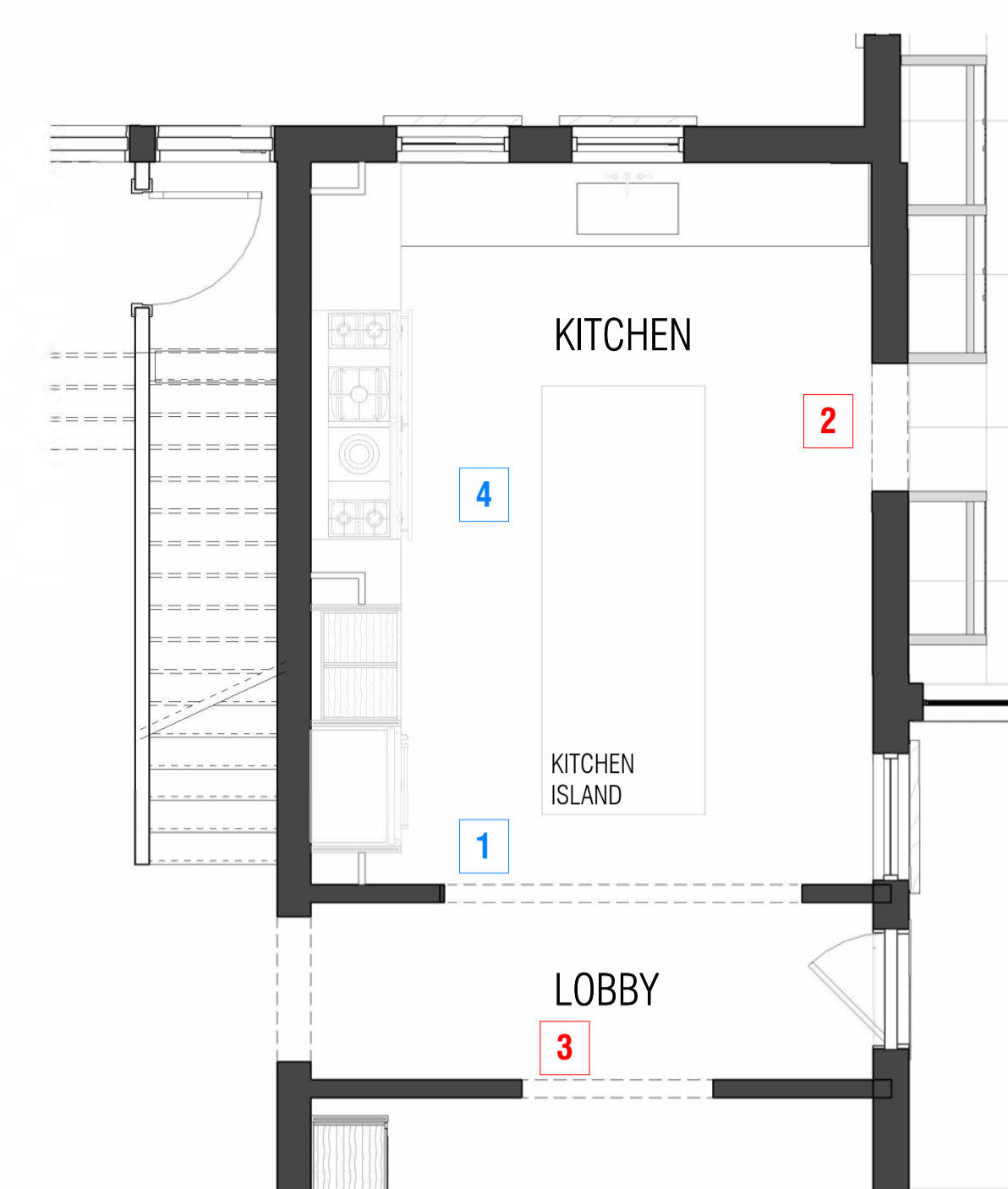
02. BATES SMART PLAN  
YEAR: 1981

- ORIGINAL WALL / DOOR DEMOLISEHD
- NEW OPENING TO ORIGINAL WALL. ORIGINAL DOOR REMOVED.
- ORIGINAL FIXTURES / FITTINGS REMOVED.



03. CURRENT ROOM PLAN  
YEAR: 2001

- NEW TIMBER FRAMED GLASS PARTITION AND DOOR INSTALLED TO NEW OPENING
- ORIGINAL FIXTURES / FITTINGS REMOVED.



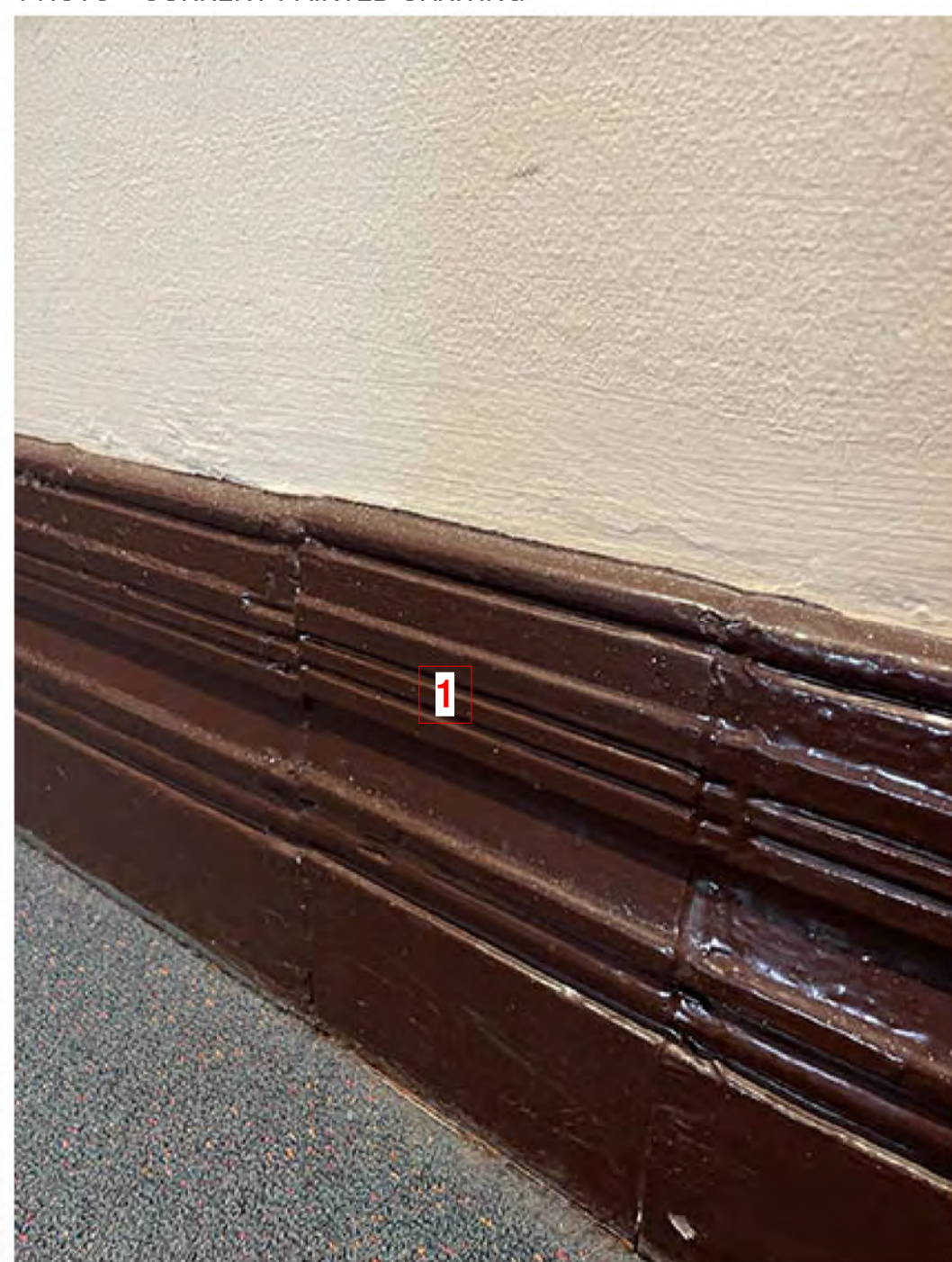
04. PROPOSED ROOM PLAN - KITCHEN  
YEAR: 2024

- REMOVE NON-ORIGINAL PARTITION
- NEW OPENING TO ORIGINAL WALL
- NEW OPENING TO ORIGINAL WALL
- REMOVE NON-ORIGINAL CARPET AND INSTALL NEW TIMBER FLOORING BOARDS OVER

LEGEND

|           |  |
|-----------|--|
| RED TEXT  | HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS |
| BLUE TEXT | PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS               |

PHOTO - CURRENT PAINTED SKIRTING



- PATCHED SKIRTING WHERE WALL REMOVED TO HALLWAY

PHOTO - VIEW OF GLASS PARTITION FROM HALLWAY



- NON-ORIGINAL GLAZED PARTITION AND DOOR. REMOVE
- NON-ORIGINAL FILM TO WINDOW. REMOVE
- SKIRTING TO WALL. TBC IF ORIGINAL
- NON-ORIGINAL ALUMINIUM WIRING CONDUIT SKIRTING TO WALLS ON ALL 3 SIDES. REMOVE

PHOTO - CURRENT VIEW OF MEETING ROOM 2



- CURRENT PAINT COLOUR: LIGHT WHITE TONE PAINT TO WALLS / CEILING / ARCHITRAVE AND SKIRTING. PROPOSED PAINT COLOUR: LIGHT TONE DISTEMPER PAINT
- NON ORIGINAL CEILING AND LIGHTS. REMOVE.

PHOTO - CURRENT VIEW OF MEETING ROOM TO WEST



- NON-ORIGINAL HEATING WALL UNIT. REMOVE.

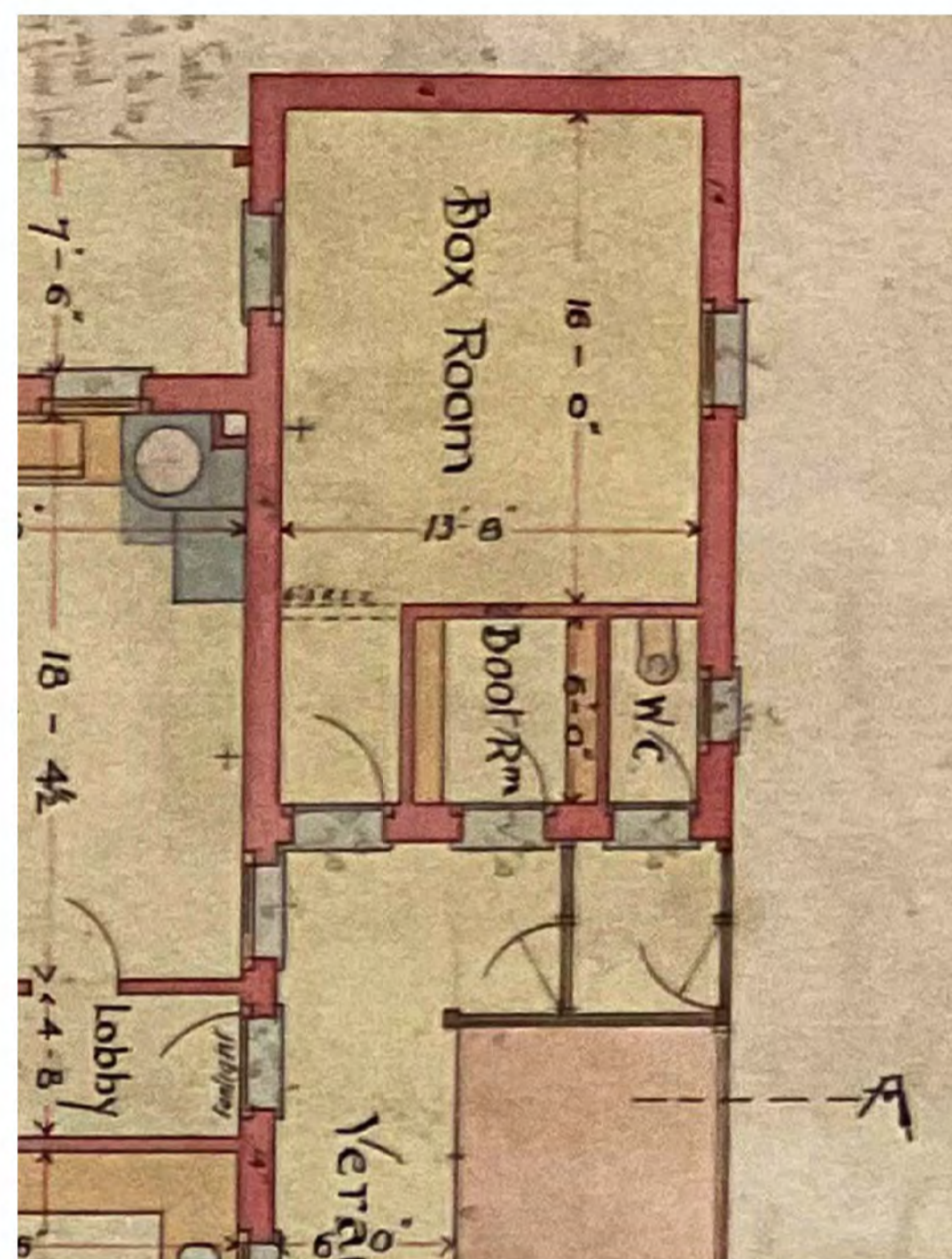
PHOTO - ACCESS HATCH IN ROOM SHOWING PLY FLOORING UNDER



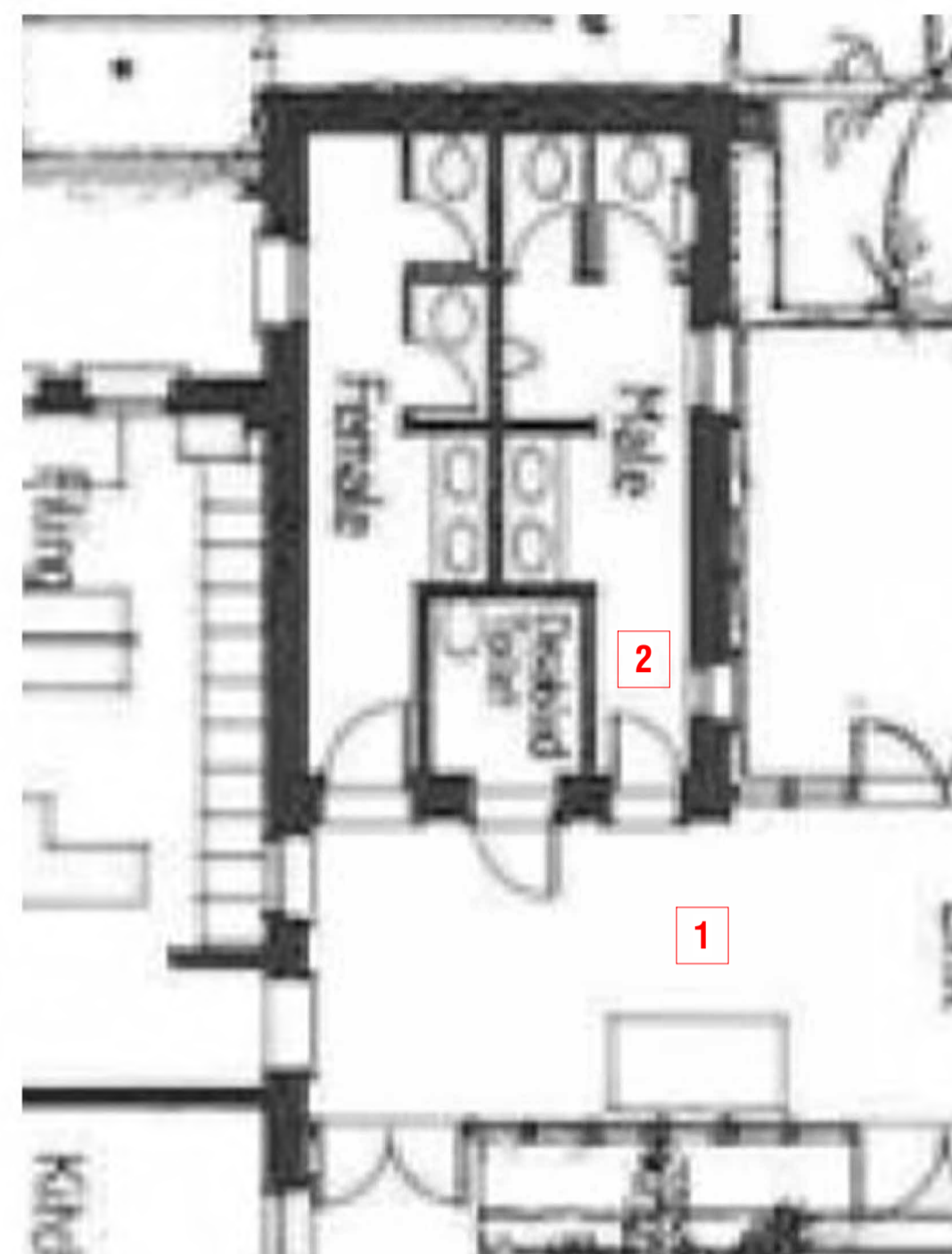
- NON-ORIGINAL CARPET AND PLY FLOORING UNDER. REMOVE.

| A                 | HW RFI 01                         | NOV 2024  |
|-------------------|-----------------------------------|-----------|
|                   | HW LODGE                          | SEPT 2024 |
| REVISION          | DESCRIPTION                       | DATE      |
| REVISION SCHEDULE |                                   |           |
| CLIENT            | KFO                               |           |
| PROJECT           | 1-19 CLARENDON ST                 |           |
| DRAWING           | ROOM ANALYSIS - PROPOSED KITCHEN  |           |
| ADDRESS           | 1-19 CLARENDON ST, EAST MELBOURNE |           |
| SCALE             | AS SHOWN                          |           |
| DATE              | AUG '24                           |           |
| SHEET SIZE        | A3                                |           |
| FILE              | b.e                               |           |



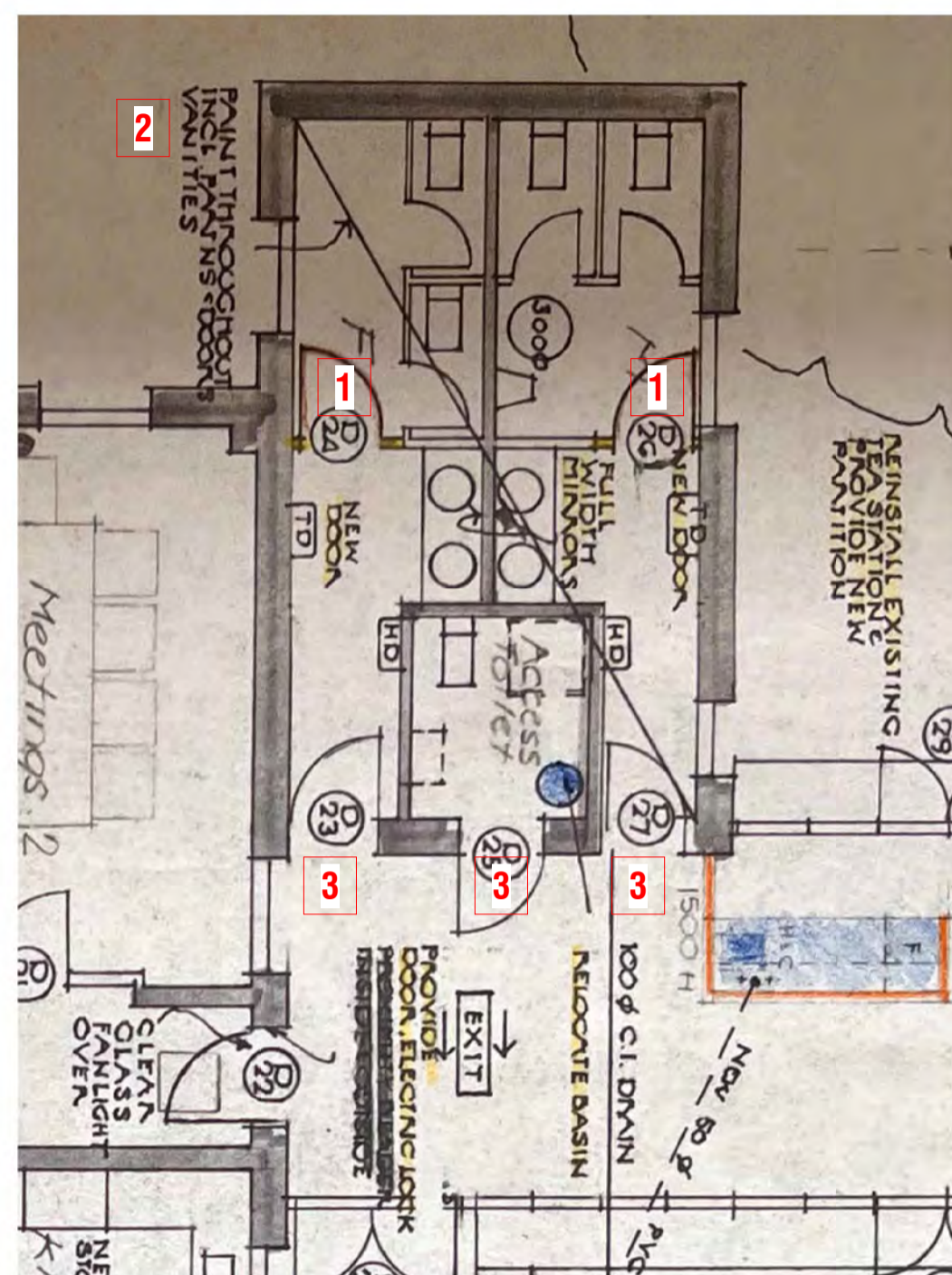


ORIGINAL ROOM PLAN  
YEAR: 1907



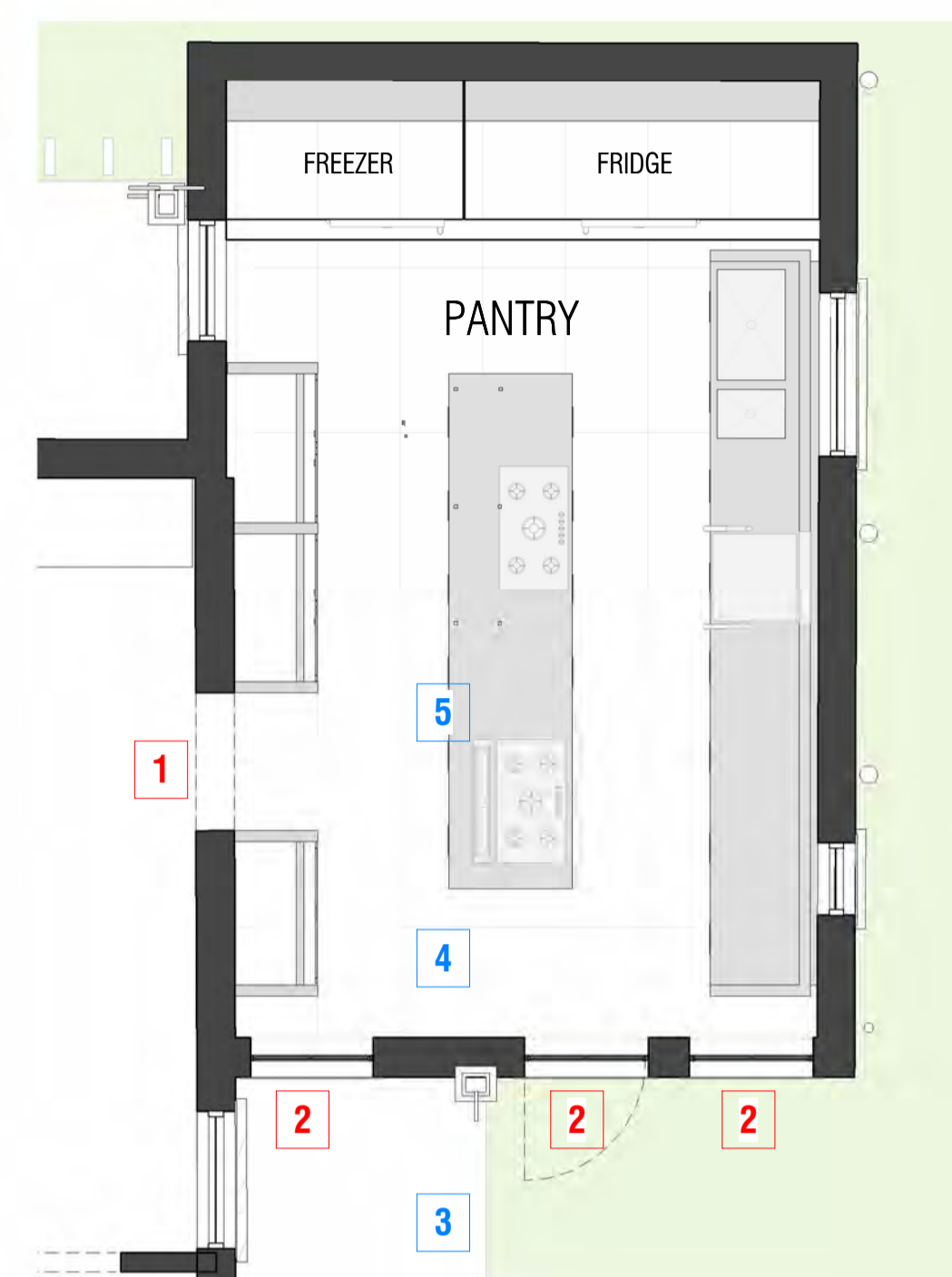
BATES SMART PLAN  
YEAR: 1981

- 1. ORIGINAL WALLS REMOVED. BUILDING LINK ADDED
- 2. ORIGINAL WC / BOX ROOM CHANGED TO NEW TOILETS



CURRENT ROOM PLAN  
YEAR: 2001

- 1. NEW DOORS ADDED TO MALE & FEMALE TOILETS
- 2. NEW PAINT THROUGHOUT
- 3. DOORS ALTERED WITH VENTS



PROPOSED ROOM PLAN - PANTRY  
YEAR: 2024

- 1. NEW OPENING TO ORIGINAL WALL
- 2. REMOVE NON-ORIGINAL / ALTERED DOORS TO NEW GLAZED DOORS AND WINDOWS
- 3. NON-ORIGINAL LINK REMOVED AND OPEN VERANDAH DECK / POSTS REINSTATED
- 4. NON-ORIGINAL FLOOR TILES REMOVED. NEW FLOORING TO PANTRY
- 5. NON-ORIGINAL INTERNAL PARTITION WALLS REMOVED

LEGEND

|           |   |
|-----------|---|
| RED TEXT  | HISTORIC ALTERATION AND NEW PROPOSED TO ORIGINAL ELEMENTS |
| BLUE TEXT | PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS              |

PHOTO - VIEW TOWARDS CURRENT BUILDING LINK



- 1. NON-ORIGINAL 2-STORY BUILDING LINK. REMOVE
- 2. NON-ORIGINAL RAISED PLANTER. REMOVE
- 3. NON-ORIGINAL PALM TREE. RELOCATE
- 4. NON-ORIGINAL BBQ. REMOVE
- 5. NON-ORIGINAL PAVED SURFACES. REMOVE
- 6. REINSTATE 2-STORY DOUBLE VERANDAH

PHOTO - CURRENT WC DOORS



- 1. NON-ORIGINAL GRILLE TO DOORS. DOORS TO BE REPLACED WITH STEEL FRAME GLAZED DOORS / WINDOW

PHOTO - CURRENT ACCESSIBLE TOILET



- 1. NON-ORIGINAL CEILING. REMOVE
- 2. NON-ORIGINAL WALL PARTITIONS. REMOVE
- 3. NON-ORIGINAL TILES. REMOVE
- 4. NON-ORIGINAL DOORS. REMOVE
- 5. NON-ORIGINAL PAINT FINISHES. REPAINT

PHOTO - VIEW INTO CURRENT MALE TOILET



- 1. NON-ORIGINAL CEILING. REMOVE
- 2. NON-ORIGINAL WALL PARTITIONS. REMOVE
- 3. NON-ORIGINAL TILES. REMOVE
- 4. NON-ORIGINAL DOORS. REMOVE
- 5. NON-ORIGINAL PAINT FINISHES. REPAINT

PHOTO - VIEW TO CURRENT FEMALE TOILETS



- 1. NON-ORIGINAL CEILING. REMOVE
- 2. NON-ORIGINAL WALL PARTITIONS. REMOVE
- 3. NON-ORIGINAL TILES. REMOVE
- 4. NON-ORIGINAL DOORS. REMOVE
- 5. NON-ORIGINAL PAINT FINISHES. REPAINT

|   |           |           |
|---|-----------|-----------|
| A | HW RFI 01 | NOV 2024  |
| - | HW LODGE  | SEPT 2024 |

| REVISION | DESCRIPTION | DATE |
|----------|-------------|------|
|          |             |      |

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - PROPOSED PANTRY

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

be architecture  
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600

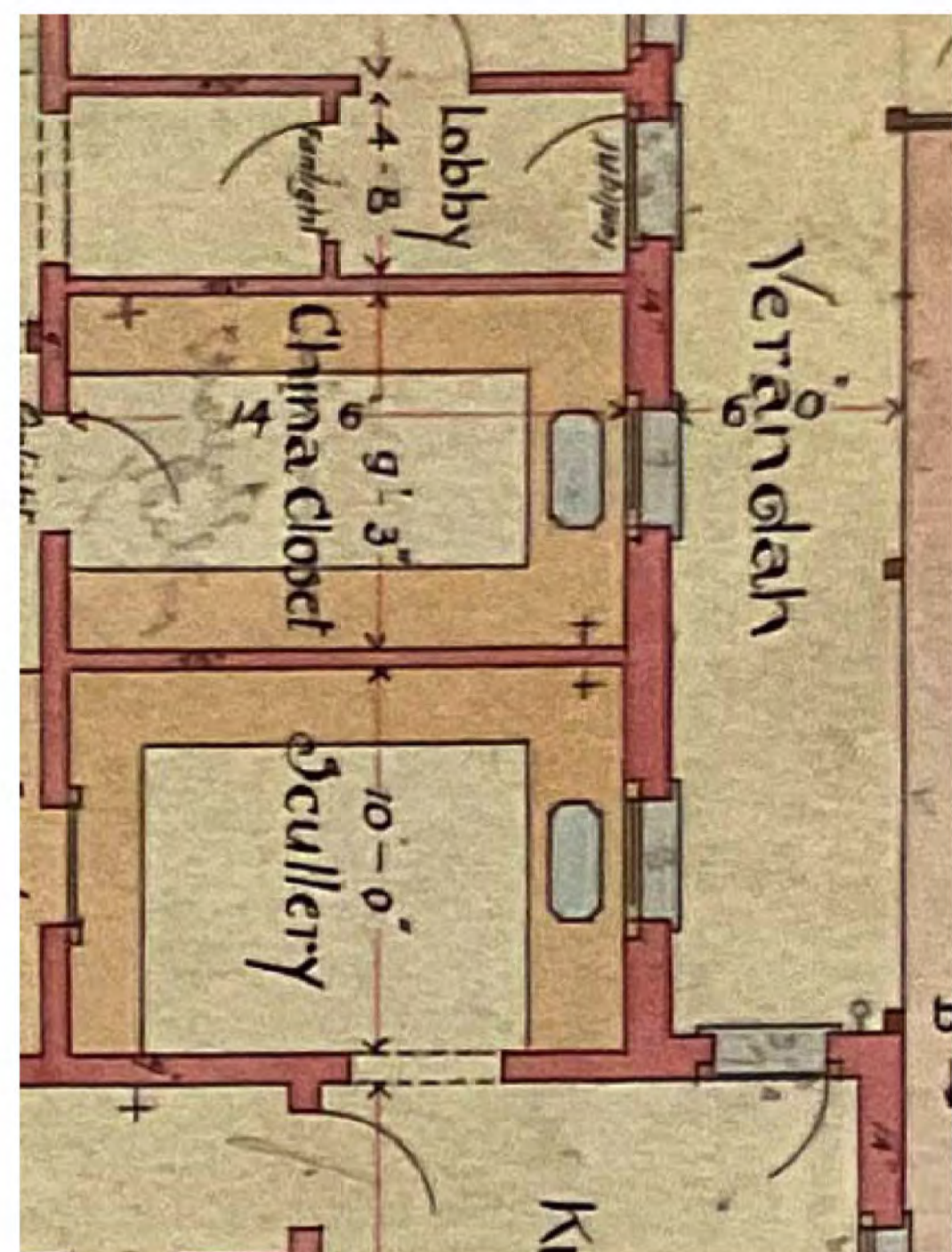
REVISION A

JOB NO: 2309 H44

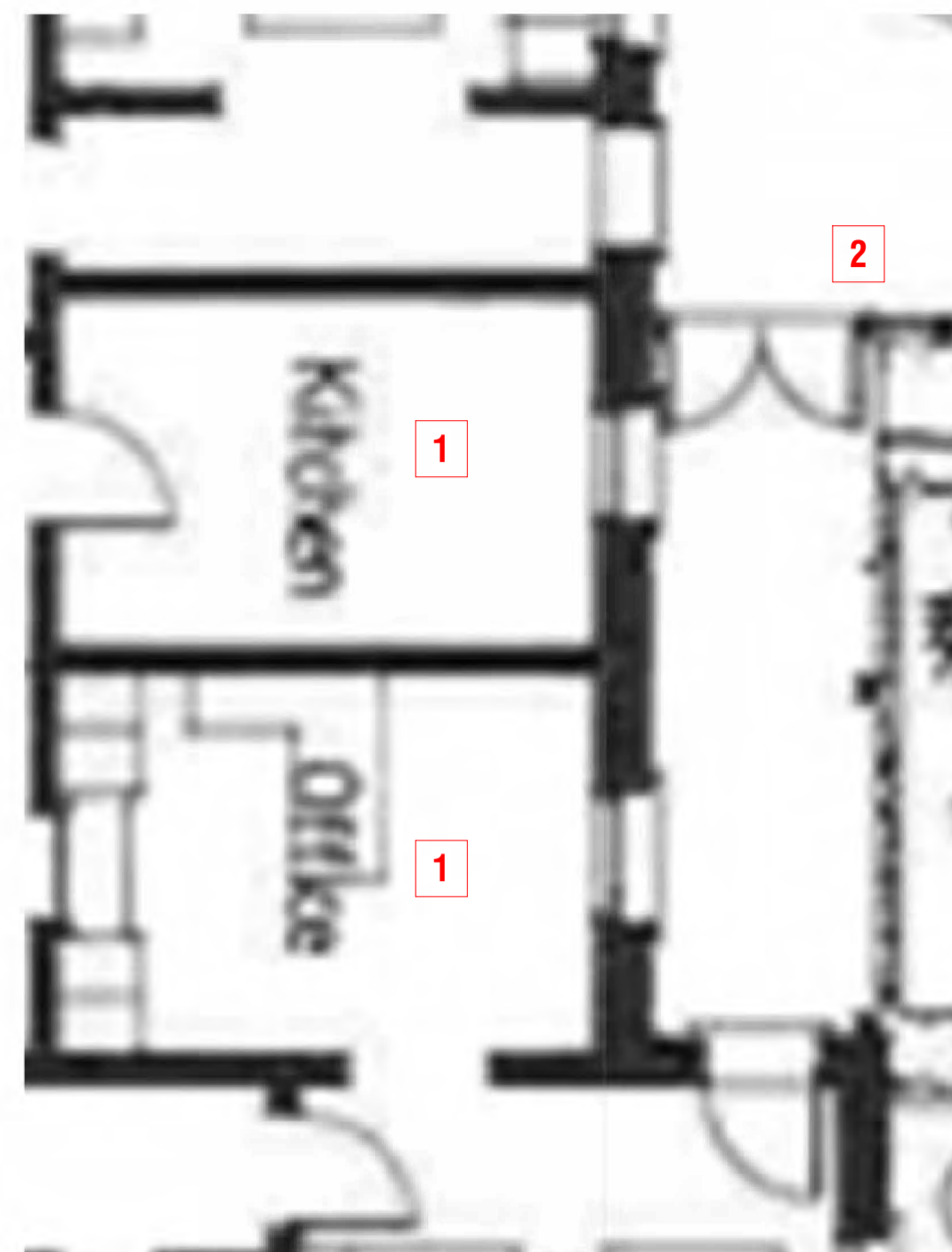


LEGEND

|              |  |
|--------------|--|
| RED<br>TEXT  | HISTORIC ALTERATION,<br>AND NEW PROPOSED TO<br>ORIGINAL ELEMENTS |
| BLUE<br>TEXT | PROPOSED ALTERATION<br>TO NON-ORIGINAL<br>ELEMENTS               |

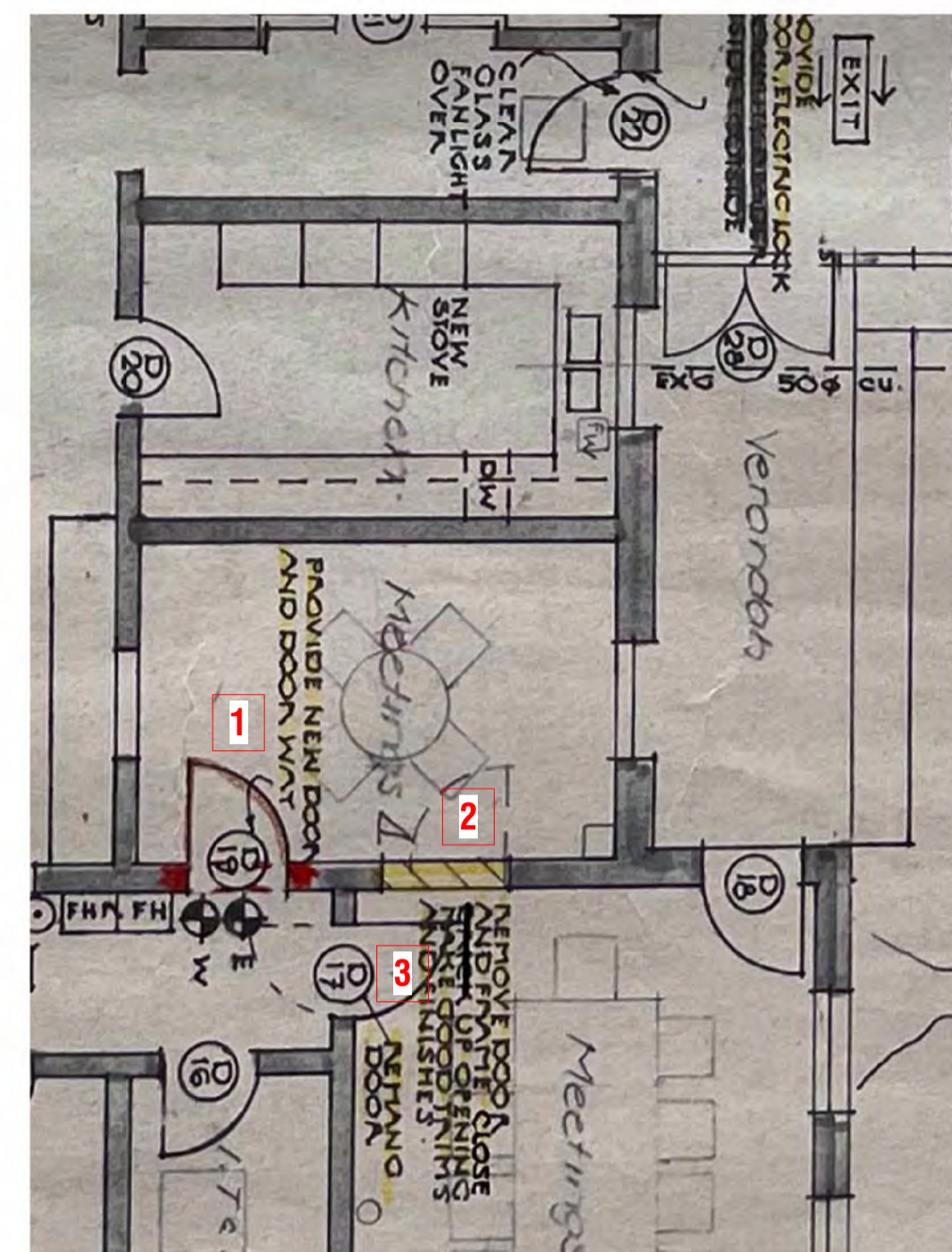


ORIGINAL ROOM PLAN  
YEAR: 1907



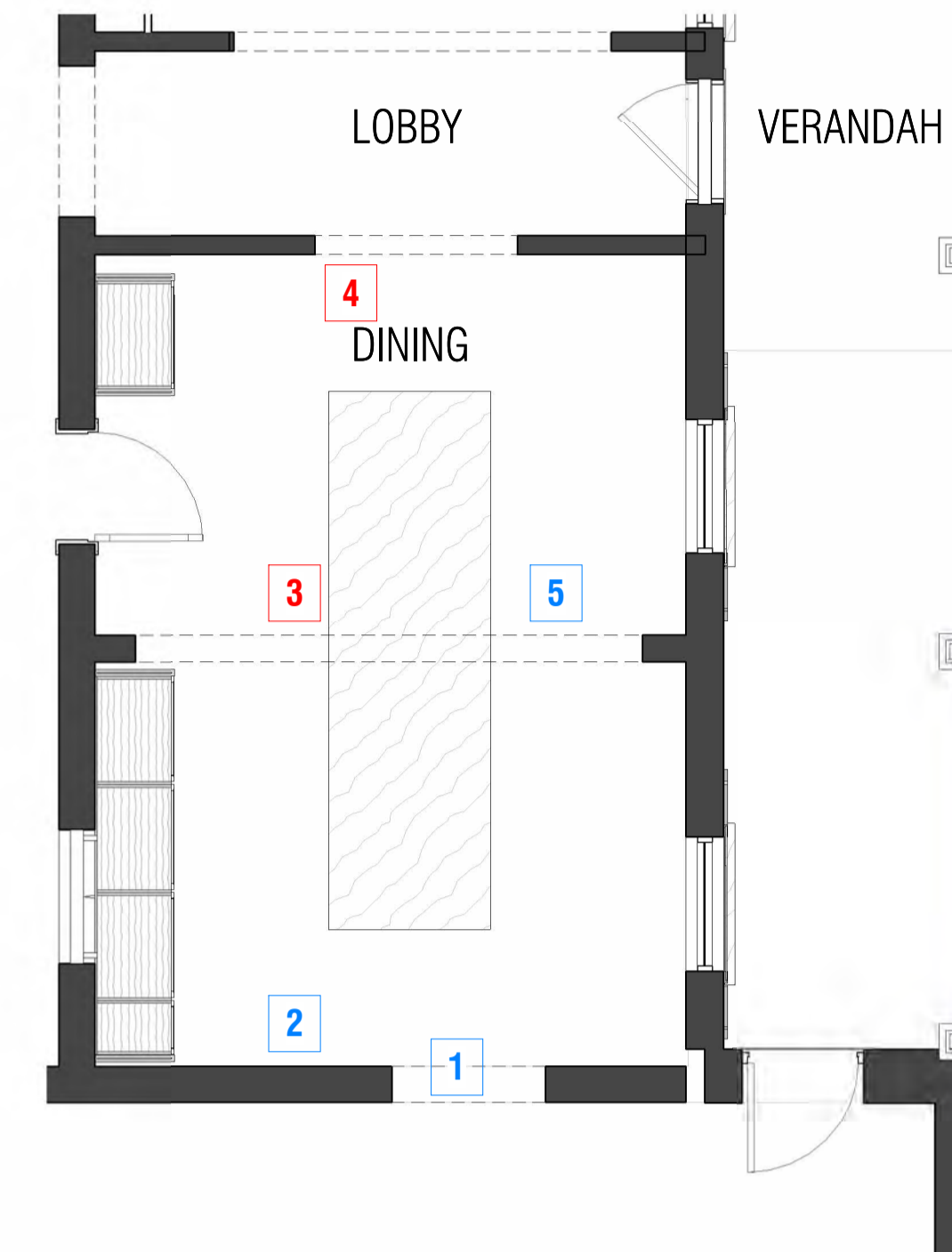
BATES SMART PLAN  
YEAR: 1981

1. ORIGINAL FIXTURES / FITTINGS / JOINERY REMOVED
2. ORIGINAL VERANDAH POSTS POSITION ALTERED



CURRENT ROOM PLAN  
YEAR: 2001

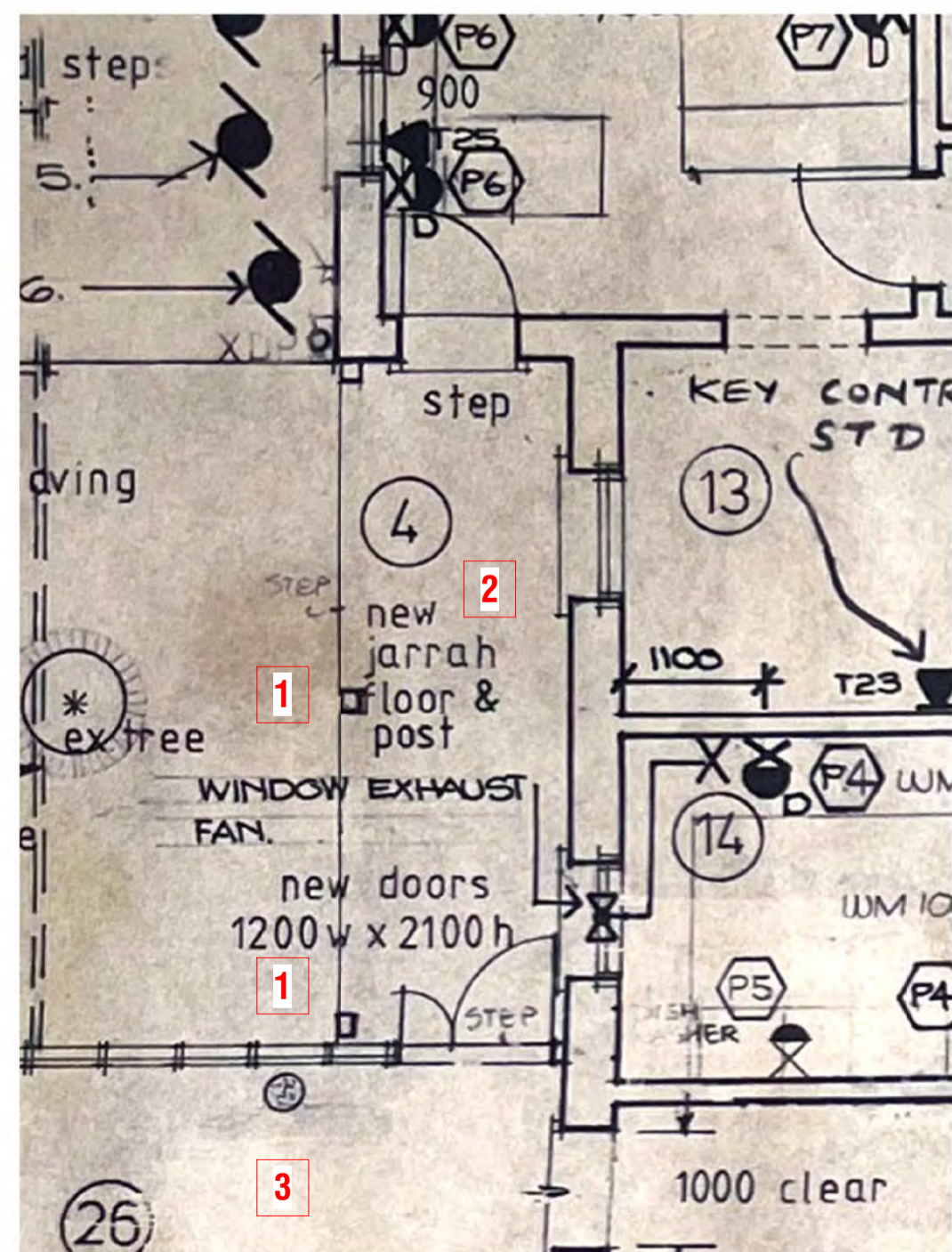
1. NEW DOOR OPENING AND DOOR ADDED
2. EXITING WALL OPENING FILLED IN
3. ORIGINAL DOOR HINGE CHANGED



PROPOSED ROOM PLAN - DINING  
YEAR: 2024

1. REMOVE NON-ORIGINAL WALL INFILL AND REINSTATE ORIGINAL OPENING
2. FILL IN NON-ORIGINAL OPENING
3. NEW OPENING TO ORIGINAL WALL
4. NEW OPENING TO ORIGINAL WALL
5. REMOVE NON-ORIGINAL VINYL / CARPET FLOOR AND LAY NEW TIMBER FLOOR OVER

DRAWING REFERENCE - 2001 ALTERATION



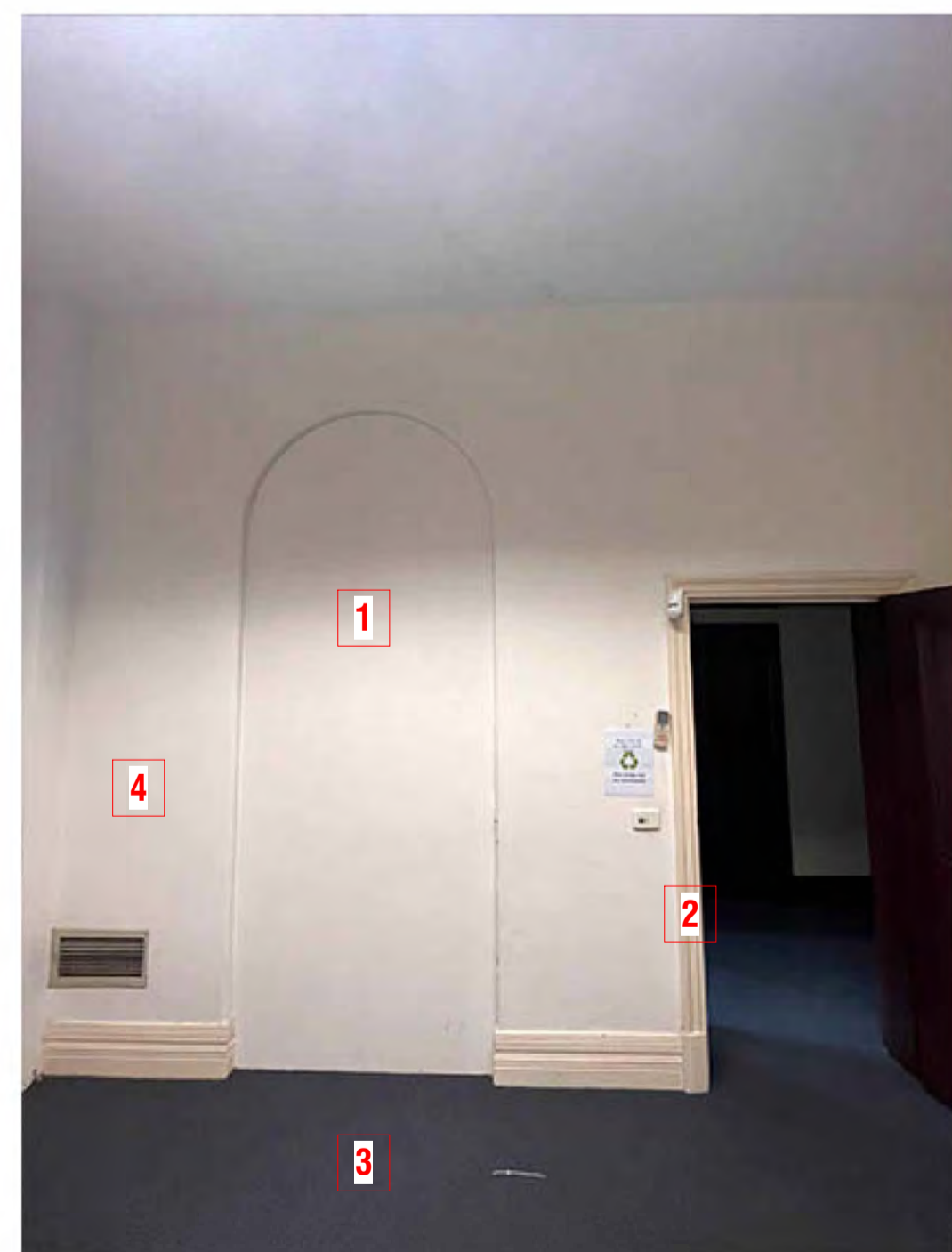
1. NON-ORIGINAL POSITION FOR POSTS. READJUST
2. NON-ORIGINAL JARRAH FLOOR AND POSTS. CHANGE TO SUIT NEW
3. NON-ORIGINAL LINK. REMOVE

PHOTO - CURRENT VIEW OF KITCHEN



1. NON-ORIGINAL VINYL FLOORING. REMOVE
2. NON-ORIGINAL CEILING AND LIGHT. REMOVE
3. NON-ORIGINAL FILM ON WINDOW. REMOVE
4. NON-ORIGINAL JOINERY. REMOVE
5. NON-ORIGINAL PAINT FINISHES. REPAINT
6. NEW PORTAL OPENING TO WALL. REFER PLAN
7. NEW PORTAL OPENING TO WALL. REFER PLAN

PHOTO - CURRENT VIEW OF MEETING ROOM 4



1. NON-ORIGINAL INFILL TO WALL. REMOVE.
2. NON ORIGINAL DOOR / ARCHITRAVE. REMOVE AND INFILL.
3. NON-ORIGINAL CARPET. REMOVE
4. NON-ORIGINAL PAINT FINISH TO WALL / CEILING / SKIRT. REPAINT

PHOTO - CURRENT VIEW OF MEETING ROOM 4 TO NORTH



1. NON-ORIGINAL CEILING AND LIGHTS. REMOVE
2. NON-ORIGINAL SERVICES DUCT. REMOVE
3. NON-ORIGINAL HEATING PANEL AND DUCT. REMOVE
4. NON-ORIGINAL VENT IN WALL. REMOVE AND PATCH WALL.
5. NON-ORIGINAL PAINT FINISHES. REPAINT
6. NON-ORIGINAL CARPET. REMOVE

| A                 | HW REF 01                         | NOV 2024  |
|-------------------|-----------------------------------|-----------|
|                   | HW LODGE                          | SEPT 2024 |
| REVISION          | DESCRIPTION                       | DATE      |
| REVISION SCHEDULE |                                   |           |
| CLIENT            | KFO                               |           |
| PROJECT           | 1-19 CLARENDON ST                 |           |
| DRAWING           | ROOM ANALYSIS - PROPOSED DINING   |           |
| ADDRESS           | 1-19 CLARENDON ST, EAST MELBOURNE |           |
| SCALE             | AS SHOWN                          |           |
| DATE              | AUG '24                           |           |
| SHEET SIZE        | A3                                |           |
| FILE              | b.e                               |           |

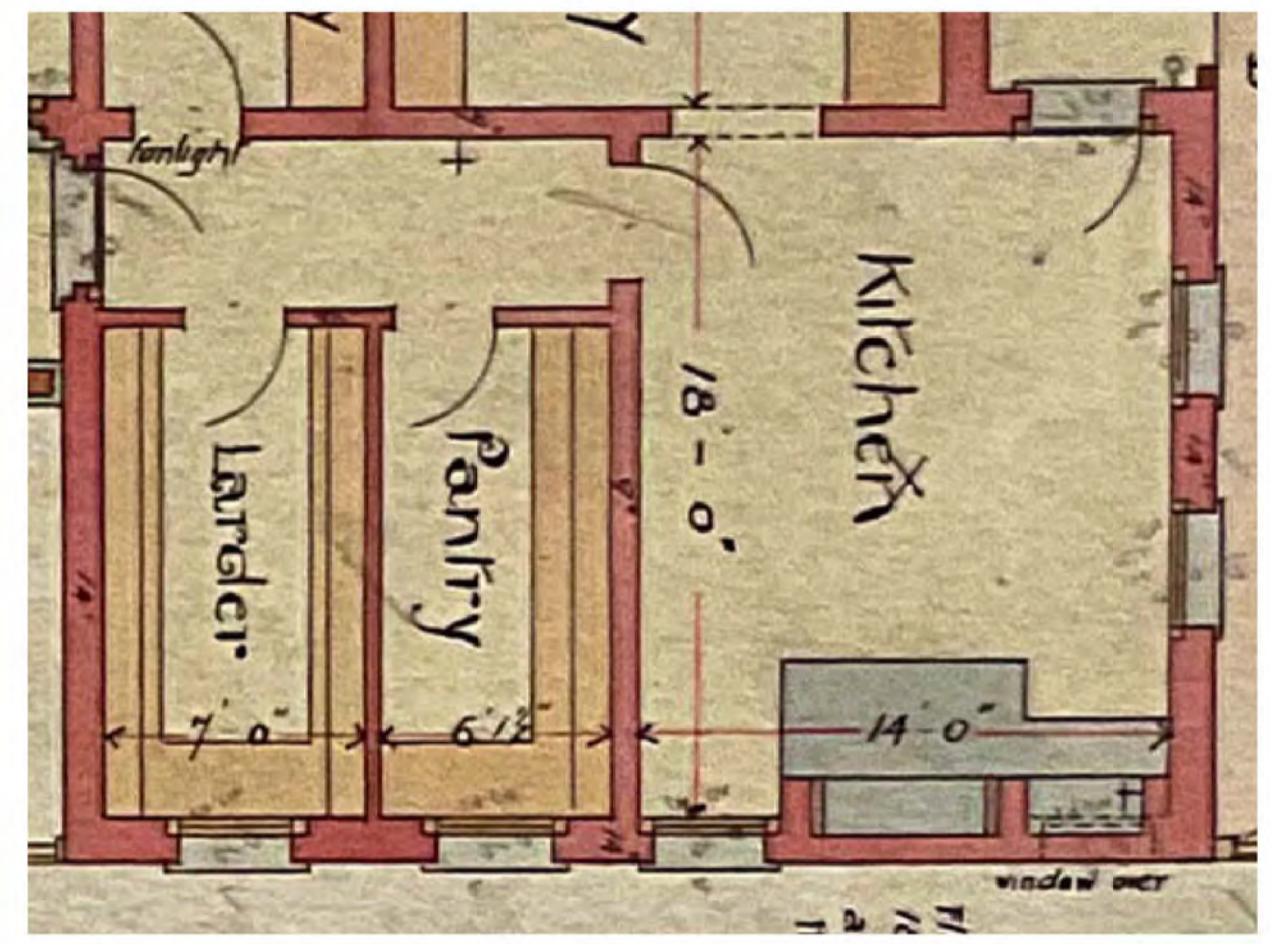
ROOM ANALYSIS - PROPOSED DINING



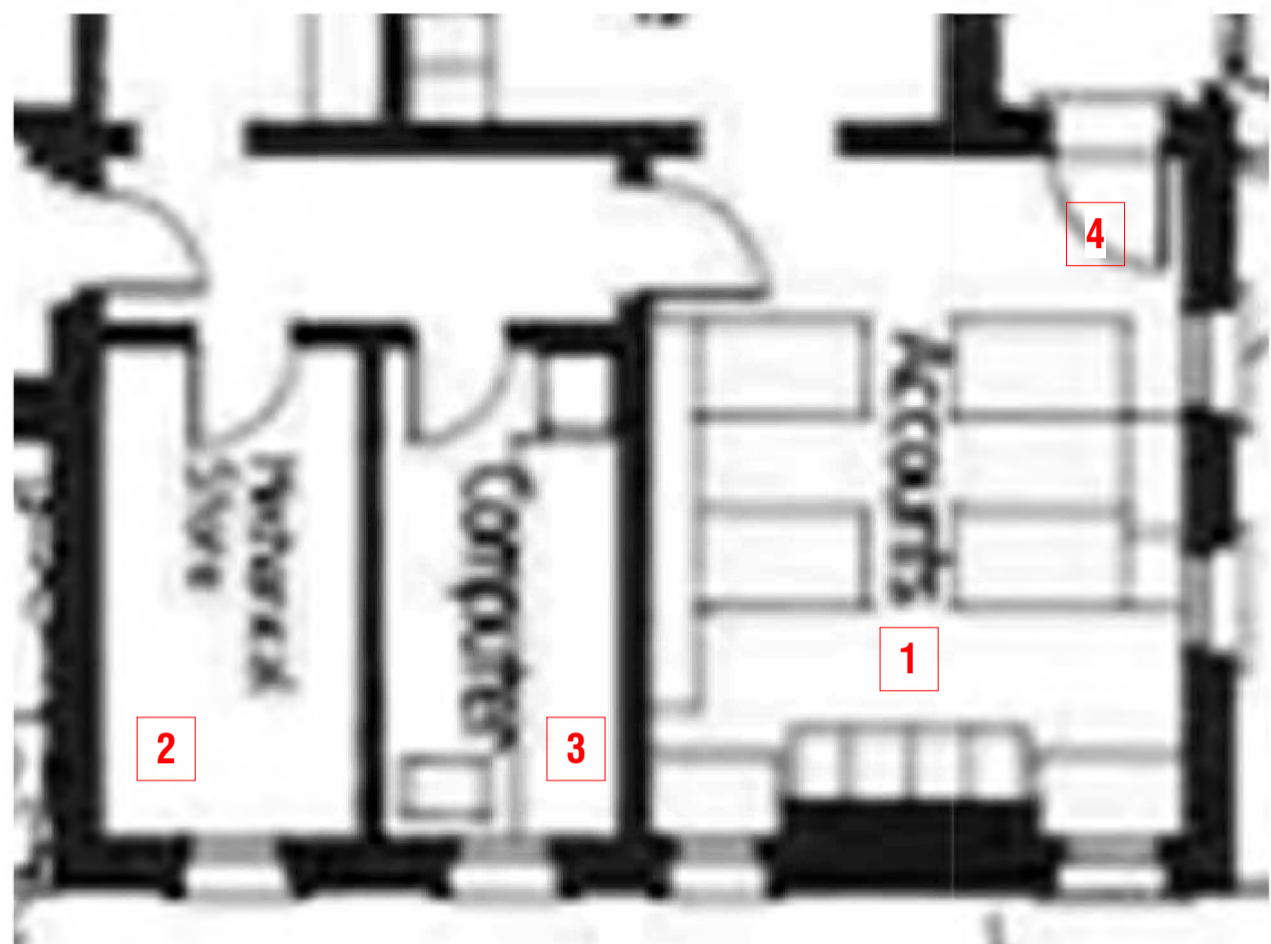
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LEGEND

|           |  |
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| RED TEXT  | HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS |
| BLUE TEXT | PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS               |

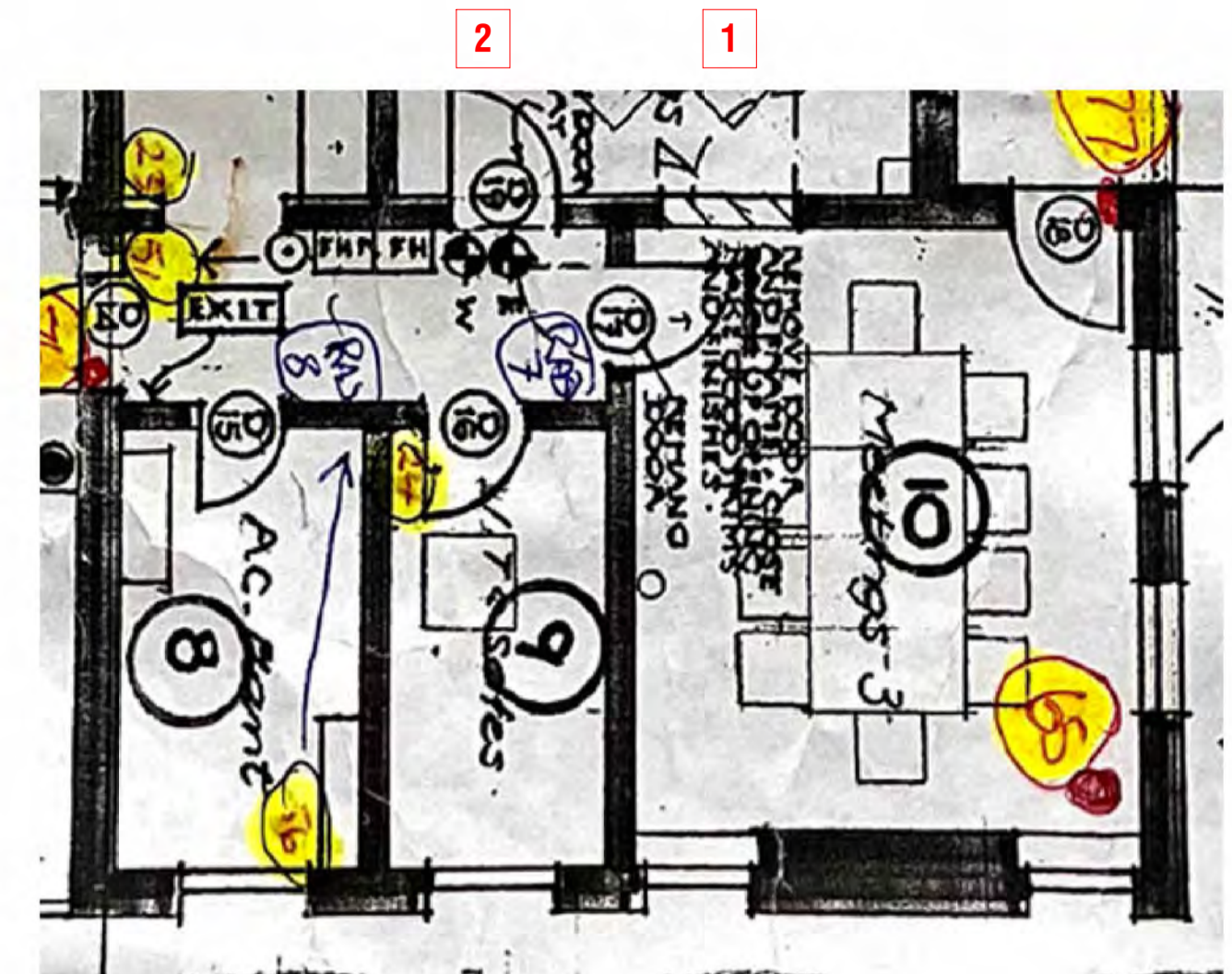


ORIGINAL ROOM PLAN  
YEAR: 1907



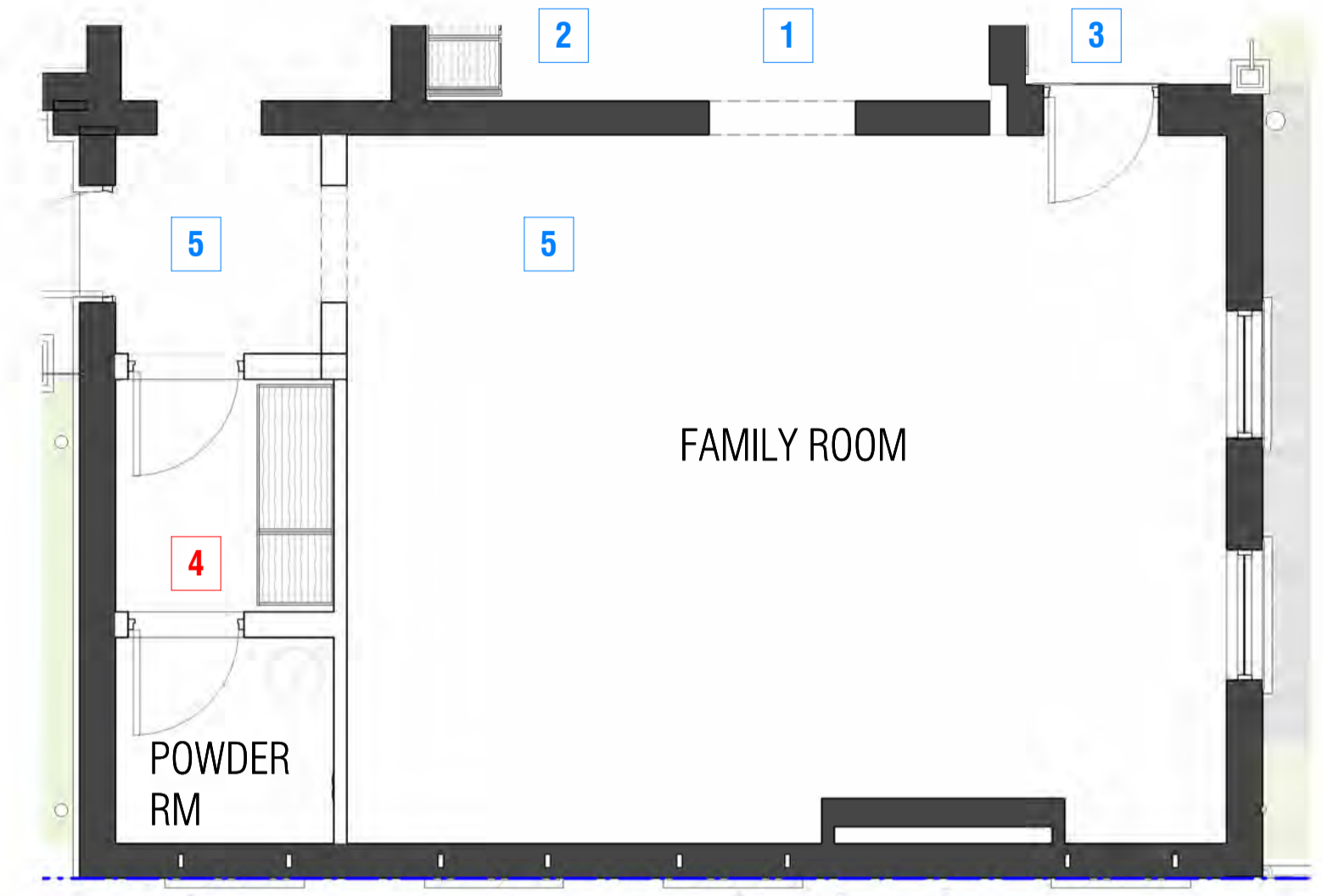
BATES SMART PLAN  
YEAR: 1981

- 1. ORIGINAL JOINERY REMOVED. NEW JOINERY INSTALLED
- 2. ORIGINAL JOINERY REMOVED
- 3. ORIGINAL JOINERY REMOVED
- 4. DOOR HINGE CHANGED



CURRENT ROOM PLAN  
YEAR: 2001

- 1. ORIGINAL OPENING FILLED IN. DOOR REMOVED
- 2. NEW OPENING TO WALL. NEW DOOR



PROPOSED ROOM PLAN - DINING  
YEAR: 2024

- 1. REMOVE NON-ORIGINAL WALL INFILL AND REINSTATE ORIGINAL OPENING
- 2. REMOVE NON-ORIGINAL DOOR AND FILL IN OPENING. SWAP HINGE BACK TO ORIGINAL SIDE.
- 3. SWAP HINGE BACK TO ORIGINAL SIDE.
- 4. REMOVE ORIGINAL WALLS TO CREATE SMALLER POWDER ROOM
- 5. REMOVE NON-ORIGINAL CARPET AND INSTALL NEW TIMBER FLOOR

PHOTO - VIEW INTO CURRENT COMPUTER SERVER ROOM



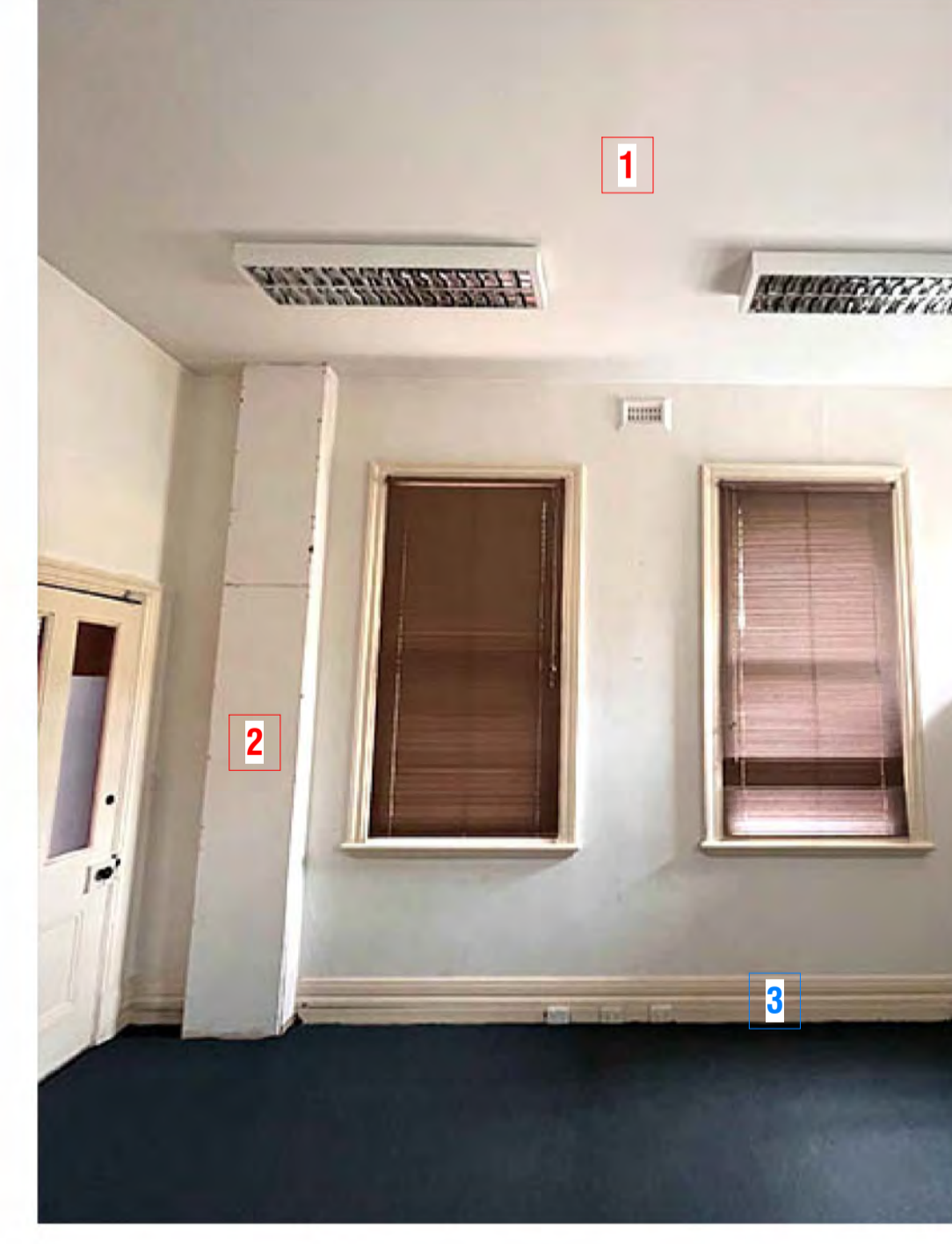
- 1. NON-ORIGINAL DUCTING / AC UNIT. REMOVE
- 2. NON-ORIGINAL CARPET TO PLY FLOORING. REMOVE AND REPLACE WITH NEW TIMBER FLOORING

PHOTO - VIEW INTO AC DUCT ROOM



- 1. ROOM IS FILLED WITH SERVICES / DUCTWORK / SHELVES ETC. REMOVE ALL.
- 2. TIMBER FLOORING TO REMAIN. NEW TIMBER FLOOR OVER

PHOTO - VIEW INTO MEETING ROOM 3 TO NORTH



- 1. POTENTIALLY NON-ORIGINAL CEILING AND LIGHT FITTINGS. REMOVE.
- 2. NON-ORIGINAL WIRING DUCT ENCLOSURE. REMOVE
- 3. NON-ORIGINAL PAINT FINISHES TO CEILING / WALL / SKIRT / ARCH REPAINT

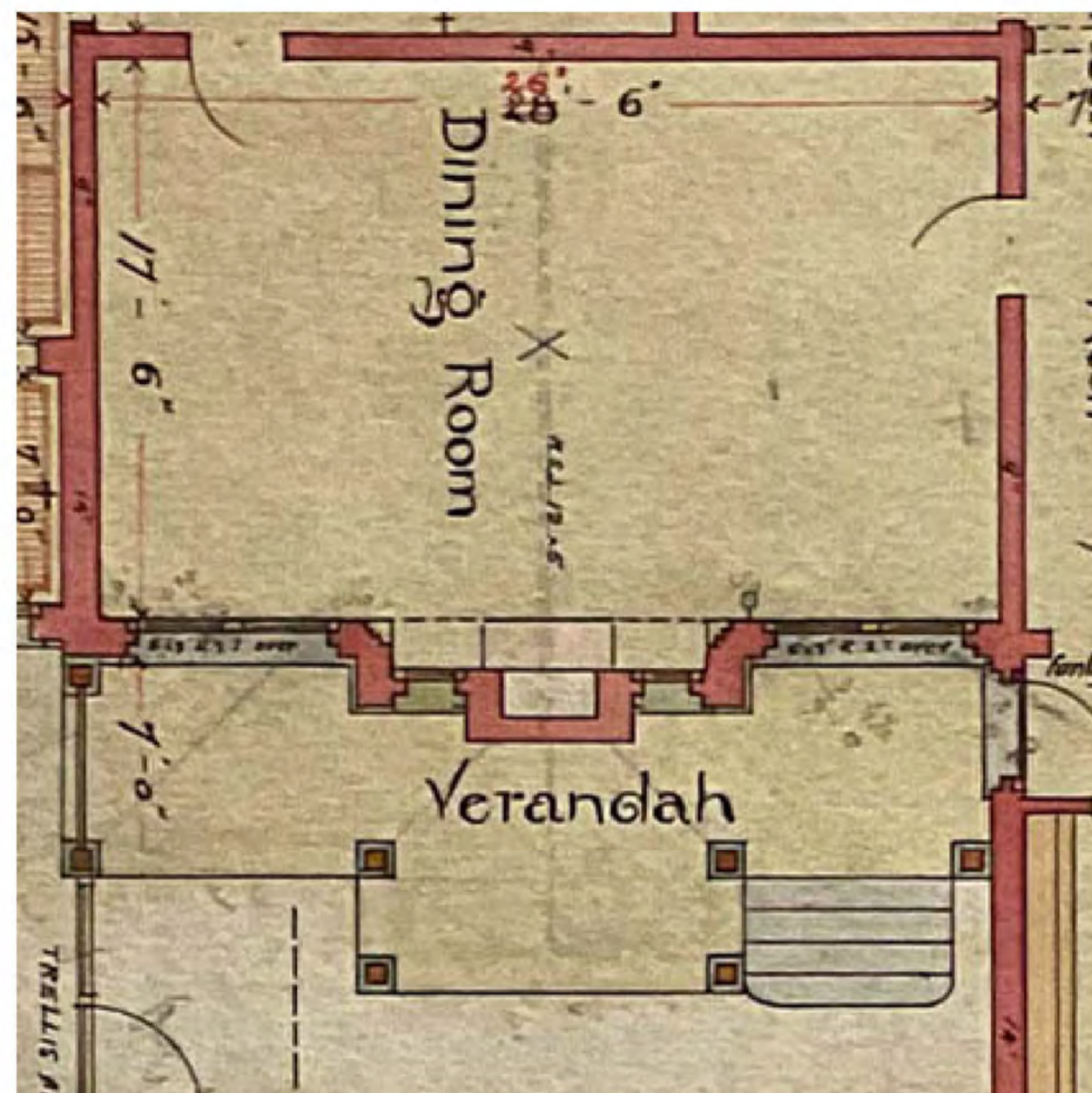
PHOTO - VIEW TO FILLED IN ARCH OPENING



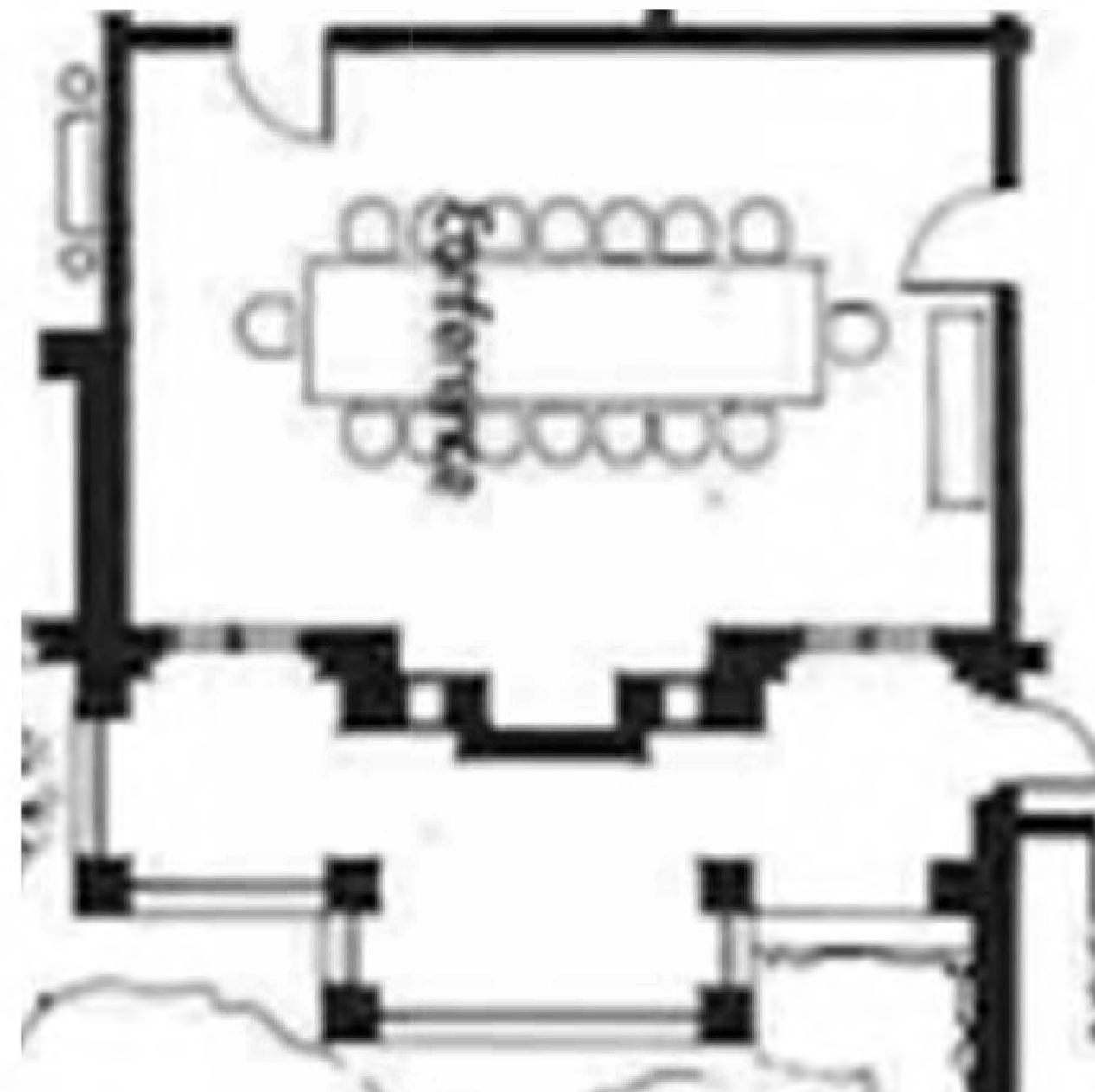
- 1. NON-ORIGINAL WALL INFILL. REMOVE
- 2. NON-ORIGINAL WALL HEATING PANEL. REMOVE

| A  | HW RFI 01                            | NOV 2024  |
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| -  | HW LODGE                             | SEPT 2024 |
| REVISION   | DESCRIPTION                          | DATE      |
| REVISION SCHEDULE  |                                      |           |
| CLIENT   | KFO                                  |           |
| PROJECT  | 1 - 19 CLARENDON ST, EAST MELBOURNE  |           |
| DRAWING  | ROOM ANALYSIS - PROPOSED FAMILY ROOM |           |
| ADDRESS  | 1 - 19 CLARENDON ST, EAST MELBOURNE  |           |
| SCALE  | AS SHOWN                             |           |
| DATE   | AUG 24                               |           |
| SHEET SIZE   | A3                                   |           |
| FILE   | b.e                                  |           |
| <b>be</b> architecture                                   |                                      |           |
| 100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600 |                                      | NORTH     |
| REVISION   |                                      | A         |
| JOB NO:  | 2309                                 | H46       |

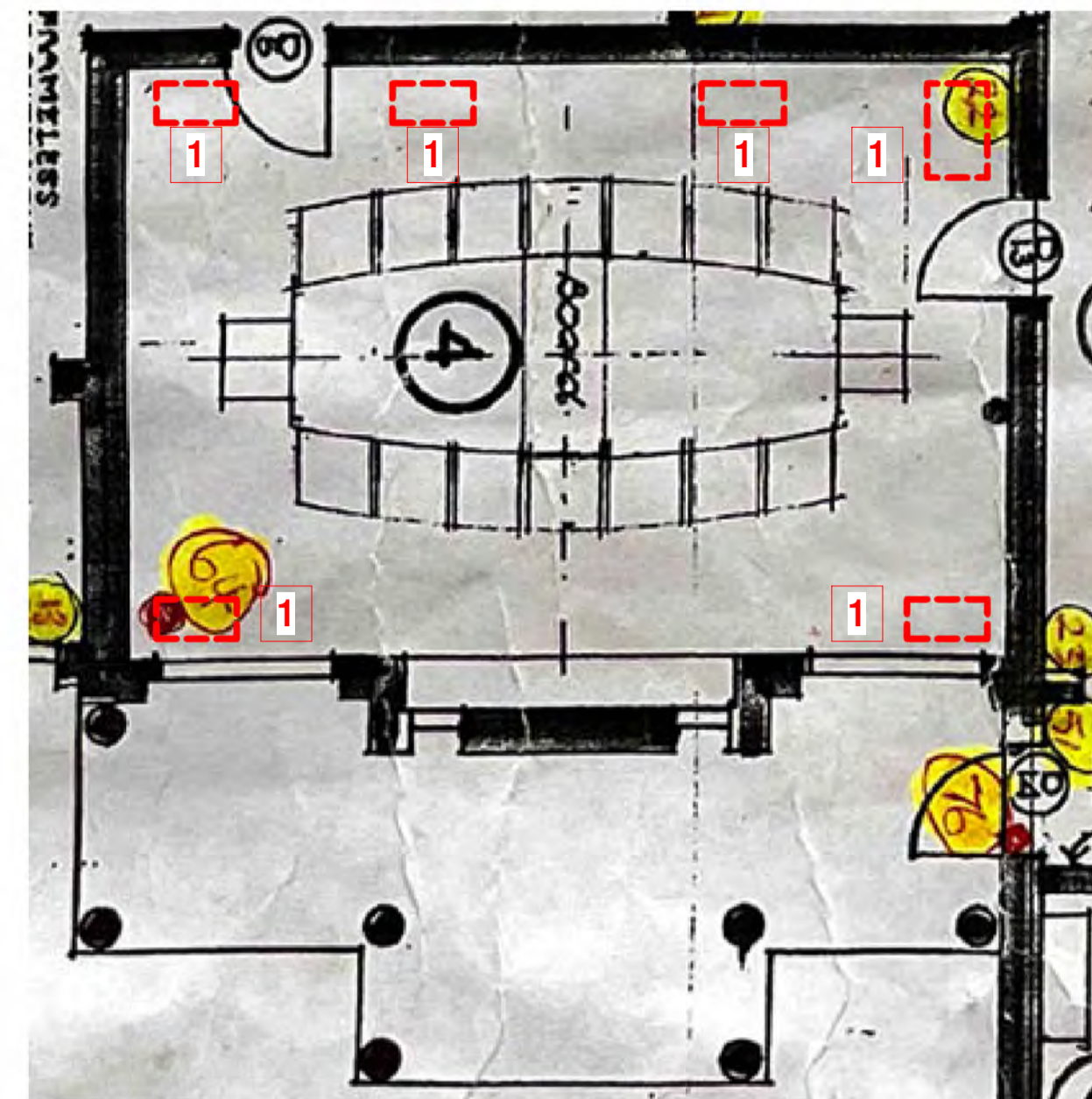




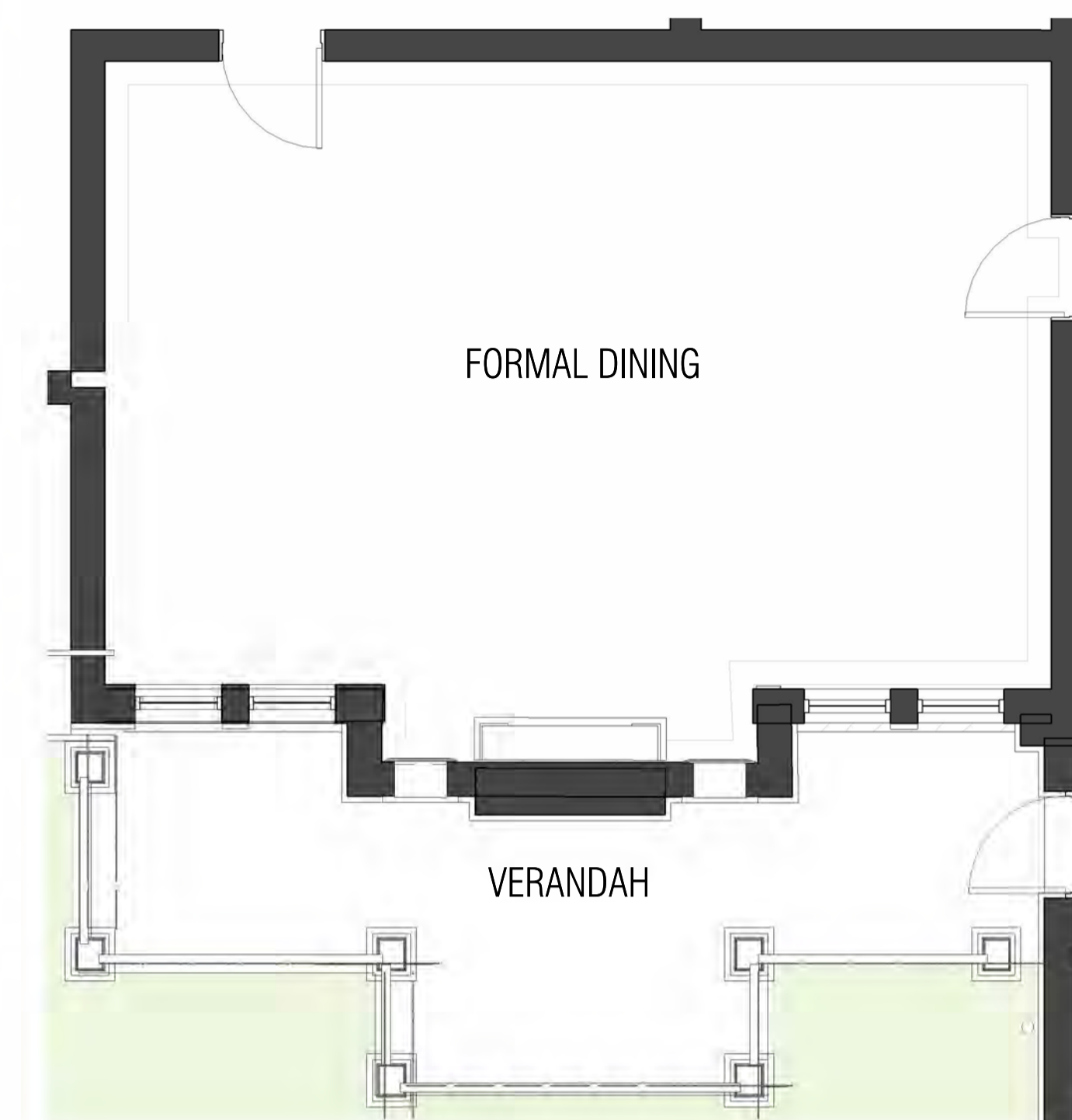
ORIGINAL ROOM PLAN  
YEAR: 1907



BATES SMART PLAN  
YEAR: 1981



CURRENT ROOM PLAN  
YEAR: 2001



PROPOSED ROOM PLAN - DINING  
YEAR: 2024

1. NEW FLOOR VENTS IN ORIGINAL FLOOR ADDED FOR DUCTED HEATING

1. NEW TIMBER FLOOR OVER EXISTING BALTIC PINE FLOOR

| LEGEND    |   |
|-----------|---|
| RED TEXT  | HISTORIC ALTERATION AND NEW PROPOSED TO ORIGINAL ELEMENTS |
| BLUE TEXT | PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS              |

PHOTO - CURRENT VIEW OF EXTERNAL TERRACE



1. NON-ORIGINAL JARRAH FLOORING NOTED IN 2001 RENOVATION DRAWINGS

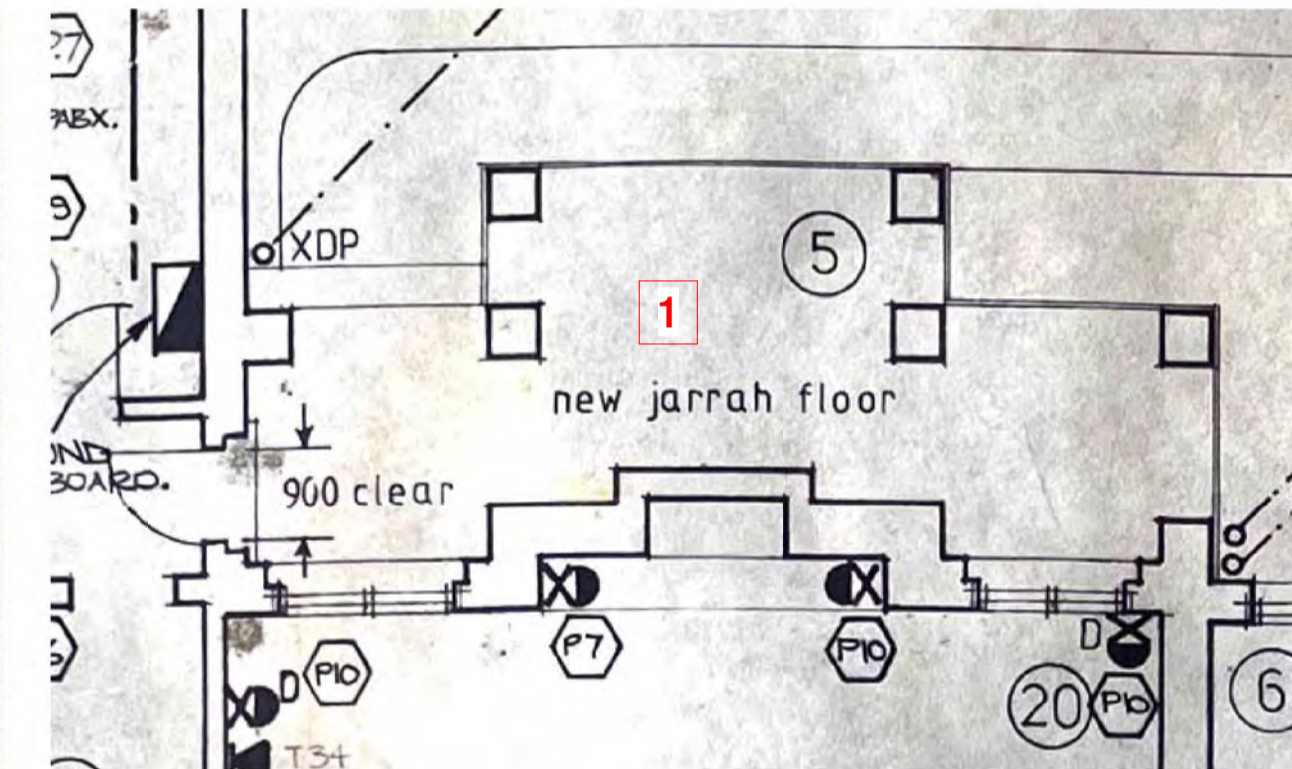
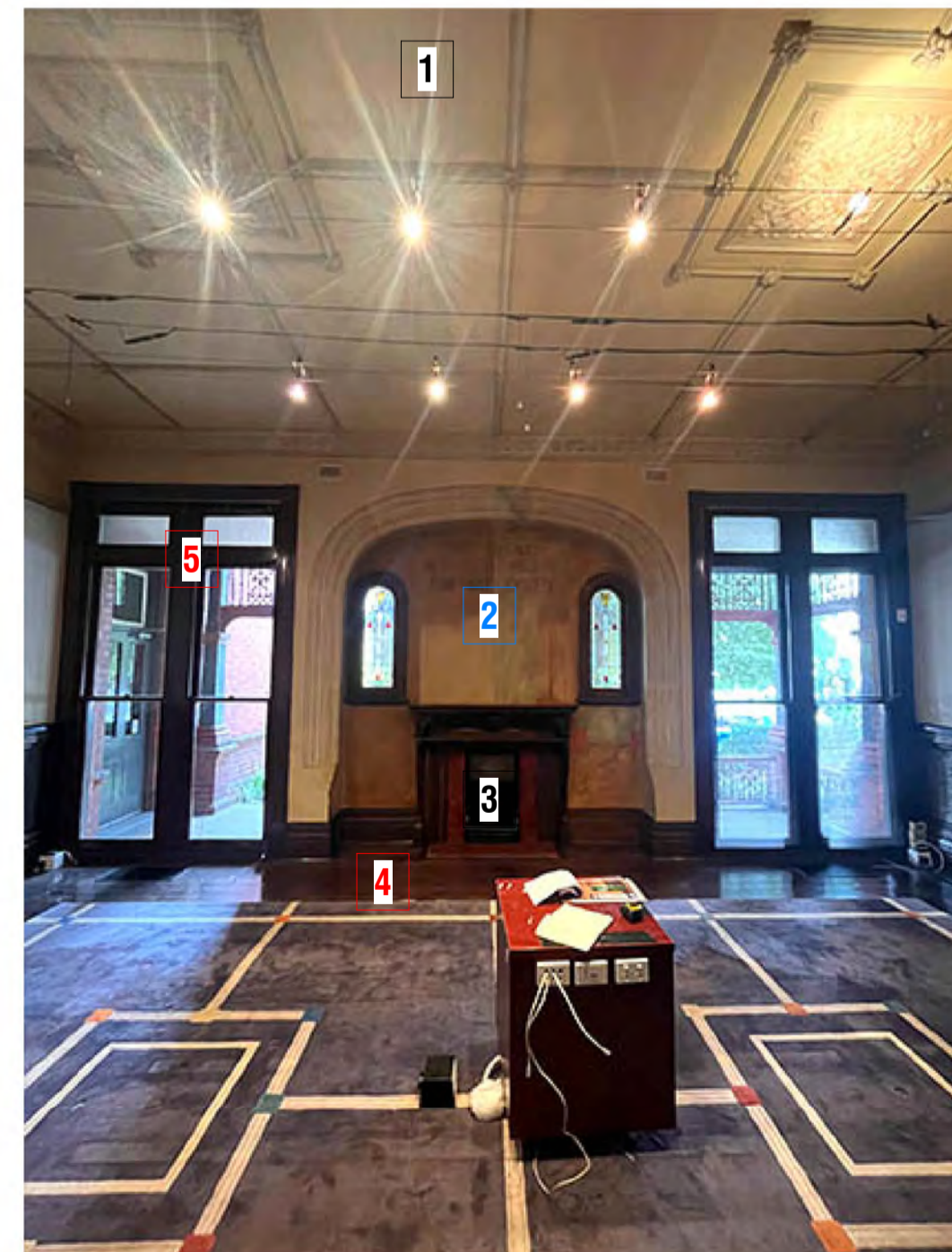


PHOTO - VIEW OF CURRENT BOARDROOM



1. ORIGINAL CEILING TO REMAIN  
CURRENT PAINT COLOUR: LIGHT TONE CREAM. TYPE UNKNOWN.  
TO BE CONFIRMED IF ORIGINAL PAINT.  
PROPOSED PAINT COLOUR: LIGHT TONE DISTEMPER PAINT

PHOTO - CURRENT VIEW CLOSE-UP OF ALCOVE



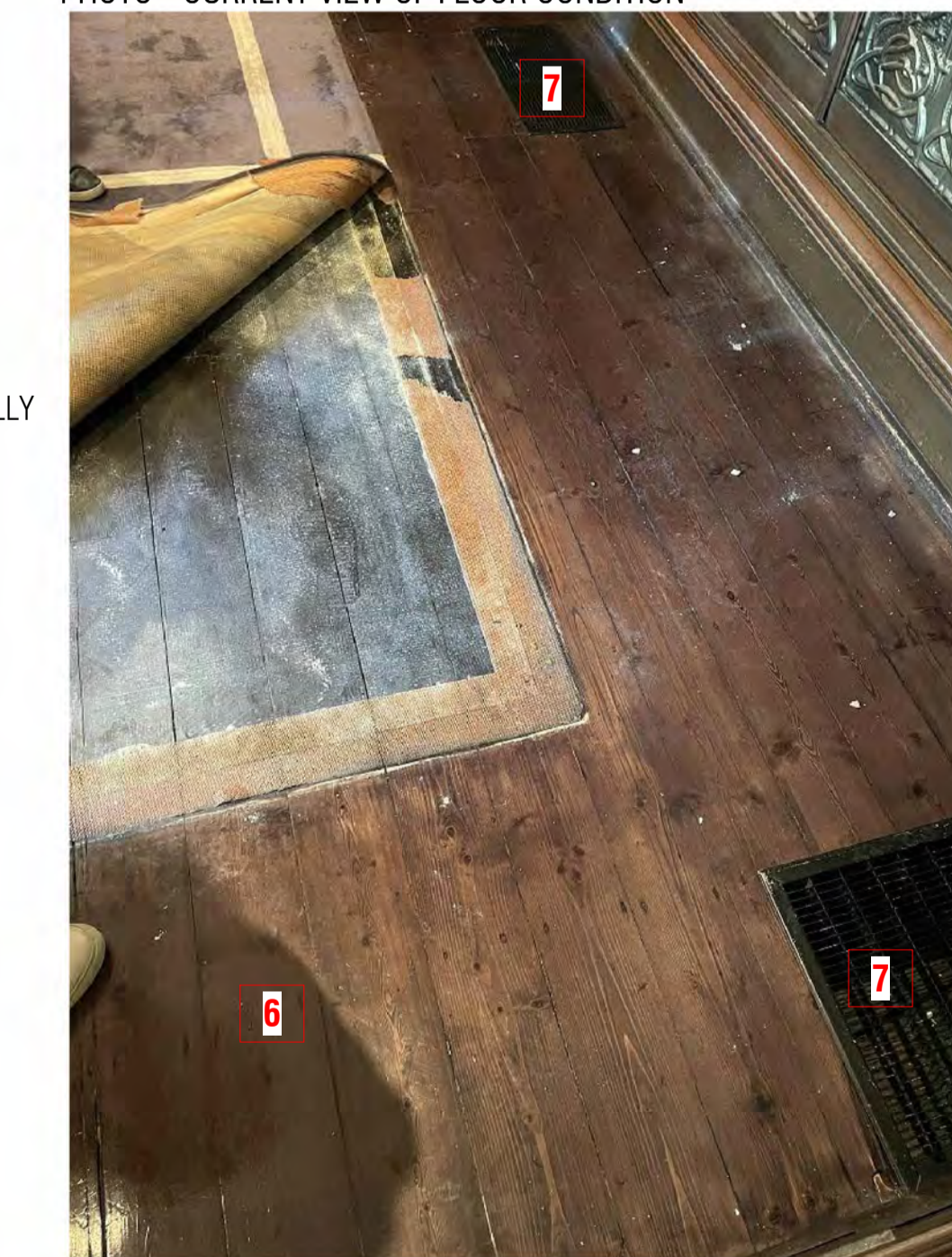
2. POTENTIAL LATER WALL MURAL ADDITION. TBC. COVER OVER  
3. ORIGINAL FIREPLACE TO REMAIN  
4. ORIGINAL BALTIC PINE FLOOR. INSTALL NEW TIMBER FLOORING OVER  
5. TIMBER SKIRTING / ARCHITRAVES TO REMAIN.  
TIMBER TYPE: RED CEDAR  
FINISH: CLEAR VARNISH. TBC IF ORIGINAL

PHOTO - CURRENT VIEW OF PRESSED METAL WAINSCOTTING



1. NON-ORIGINAL TIMBER LEDGE. REMOVE  
2. PRESSED METAL WAINSCOTTING. TBC IF LEFT UNPAINTED ORIGINALLY  
3. PRESSED METAL BOARDER AROUND WAINSCOTTING. PAINTED. TBC IF ORIGINAL  
4. DADO / TIMBER SKIRT / ARCHITRAVES TO REMAIN. TIMBER TYPE: RED CEDAR. FINISH: CLEAR VARNISH. TBC IF ORIGINAL  
5. CURRENT PAINT FINISH: BEIGE. TBC IF ORIGINAL PAINT TYPE: UNKNOW. PROPOSED PAINT FINISH: LIGHT TONE  
6. ORIGINAL BALTIC PINE TIMBER FLOORING TO REMAIN. NEW TIMBER FLOOR FINISH OVER  
7. NON-ORIGINAL VENT GRILLE CUT-OUTS IN ORIGINAL FLOORING. COVER OVER WITH NEW TIMBER FLOORING.

PHOTO - CURRENT VIEW OF FLOOR CONDITION



ROOM ANALYSIS - PROPOSED FORMAL DINING

| REVISION | DESCRIPTION | DATE |
|----------|-------------|------|
|          |             |      |

|            |  |
|------------|--|
| CLIENT     | KFO                                    |
| PROJECT    | 1-19 CLARENDON ST                      |
| DRAWING    | ROOM ANALYSIS - PROPOSED FORMAL DINING |
| ADDRESS    | 1-19 CLARENDON ST, EAST MELBOURNE      |
| SCALE      | AS SHOWN                               |
| DATE       | AUG '24                                |
| SHEET SIZE | A3                                     |
| FILE       | b.e                                    |

|  |       |
|--|-------|
| 100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600 | NORTH |
| REVISION   | A     |
| JOB NO:  | 2309  |