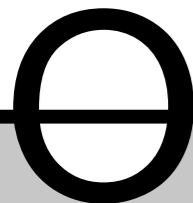


PROPOSED: DWELLING

FOR: Mr S PARHAR

AT: LOT 2 MARGARET DRIVE BACCHUS MARSH 3340

PRELIMINARY ONLY-NOT FOR CONSTRUCTION



QUALITY HOME DESIGN

& DEVELOPMENTS

Telephone: 5367 1400 or 0468 965 091

info@qualityhomedesign.com.au

Reg No.: DP-AD1078

ABN: 45 616 372 724



This is the plan mentioned in the contract:
No. _____ Date: _____
Signed Builder: _____
Signed Owner: _____

Job No:
21086

Drawn: TM | Checked: S MARRIOTT | Issue Date: 201124 | Issue Status: TOWN PLANNING CONCEPT

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GENERAL NOTES:

1. These plans have been prepared for the exclusive use by the Client of Quality Home Design and Developments for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
2. These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract.
3. The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
4. Figured dimensions take precedence over scaled dimensions. Site plan measurements in metres - all other measurements in millimetres unless noted otherwise.
5. Installation of all services shall comply with the respective supply authority requirements.
6. The Builder and Subcontractors shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
7. The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
8. All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2022 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein. Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2022 Building Code of Australia Volume 2.
9. All structural timber to comply with Australian Standards 1684 Light Timber Framing Code, all stress grades.
10. Step sizes (other than for spiral stairs) to be:-
Risers (R) 190mm maximum and 115mm minimum
Going (G) 355mm maximum and 240mm minimum
 $2R + 1G = 700\text{mm}$ maximum and 550mm minimum
125mm maximum gap to open treads
11. Wire barrier construction to compl with NCC 2022 Part 11.3 for Class 1 and 10 buidings
12. All treads, landings and the like to have a slip resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
13. Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tension wire barristers) to be:-
1000mm min. above finished surface level of balconies, landings or the like, and
865mm min. above finished surface level of stair nosing or ramp, and
vertical with a 125mm maximum gap between, and
any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 400mm above the surface beneath landings, ramps and/or treads.
14. Hand rails to be 865mm minimum above stair nosing and landings.
15. Where the building (excludes Class 10) is located in a termite prone area the building is to be provided with a termite management system.
16. Concrete stumps:-
up to 1400mm long to be 100mm x 100mm (1 No. HD. Wire)
1401mm to 1800mm long to be 100mm x 100mm (2 No. HD. Wires)
1801mm to 3000mm long to be 125mm x 125mm (2 No. HD. Wires)
100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.

17. Provide 250mm exhaust fan to ensuite with 6 air changes per hour.

18. **SD** Denotes hard wired smoke detectors with battery backup to be positioned not more than 1500mm from bedrooms doors. Ensure existing dwelling complies with the above. All smoke detectors to be interconnected complying with AS3786

19. These Drawings must be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.

20. Glazing, including safet glazing, shall be installed to a size, type and thickness so as to comply with:-
- NCC 2022 Part 8.0 for Class 1 and 10 buildings within a design wind speed of not more than N3. All u-values and solar heat gain coefficients to be as per the House Energy Rating (HERS) report.

Window Schedule:

1. Safety glazing to be used in the following cases:-

- (I) All rooms - within 500 mm vertical of floor level
- (II) Bathrooms - within 2000mm of the highest abutting level of the finished floor level and to comply with NCC 2022 8.4.1 and figure 8.4.6
- within 500mm horizontal from bath/shower to shower doors, shower screens and bath enclosures
- (III) Laundry - within 1200mm vertical from floor level and/or within 300mm vertical of trough
- (IV) Doorway - within 300mm horizontal from all doors
- (V) Ensuite - as for (II)

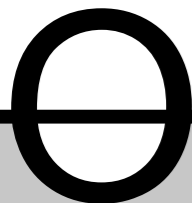
21. Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

22. Installation of all services shall comply with the respective supply authority requirements.

23. A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.

24. The Client and/or the Clients Builder shall not modify or amend the plans without the knowledge and consent of Quality Home Design & Developments except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Quality Home Design & Developments.

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& DEVELOPMENTS**

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ABN: 45 616 372 724

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DRAWN: TM | CHECKED: S MARRIOTT | ISSUE DATE: 201124 | ISSUE STATUS: TOWN PLANNING CONCEPT | REVISION:

Sheet:

2 of 6

Job No:

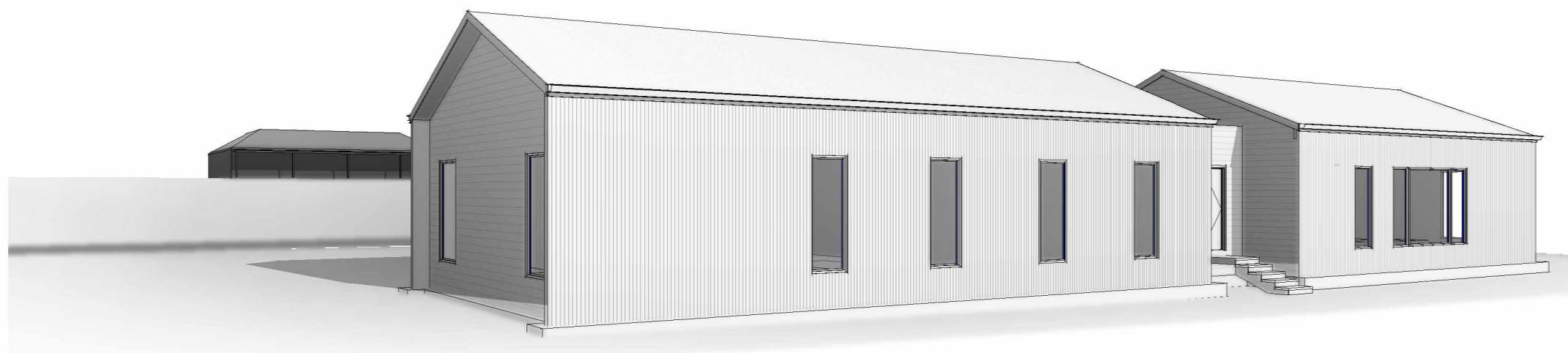
21086



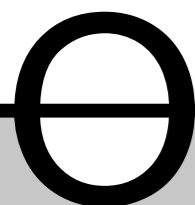
PERSPECTIVE VIEW 1



PERSPECTIVE VIEW 2



PERSPECTIVE VIEW 3



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STORMWATER DRAINAGE NOTE:
 MIN 100mm Ø CLASS 6 UPVC STORMWATER LINE LAD TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000mm c/c AND AT EACH CHANGE OF DIRECTION LEGAL POINT OF DISCHARGE TO LOCAL AUTHORITIES DETAILS. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN:
 - 100mm - UNDER SOIL
 - 50mm - UNDER PAVED OR CONCRETED AREAS
 - 100mm - UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
 - 75mm - UNDER REINFORCED CONCRETE DRIVEWAYS

SITE LEVELS NOTE:
 BUILDER TO VERIFY SITE LEVELS PRIOR TO COMMENCEMENT OF ANY WORK. PFL'S ARE NOMINAL AND MUST BE CROSS CHECKED ON SITE AND ANY DISCREPANCIES MUST BE REPORTED TO THIS OFFICE.

SITE EXCAVATION NOTE:
 WHEN SITE LEVELLING IS REQUIRED EXCAVATE MIN 10m PASSED BUILDING LINE WITH FALL AWAY FROM BUILDING AND BATTER EARTH BACK AT 45°. PROVIDE AGI PIPE AT BASE OF SITE CUT AND CONNECT TO APPROVED SWD VIA A SILT FIT.

DOWNPIPE NOTE:
 DOWNPIPES AND GUTTERS MUST NOT SERVE MORE THAN 2000mm OF GUTTER LENGTH FOR EACH DOWNPIPE. TO BE LOCATED WITHIN 200mm FROM A VALLEY AND CONNECT TO THE APPROVED SWD. DOWNPIPES AND GUTTERS TO BE IN ACCORDANCE WITH N.C.C. 2022 PART 7.4, AS3500.3 AND AS3500.5.

SITE ABBREVIATIONS:
 DP: DOWNPIPE
 PFL: FINISHED FLOOR LEVEL
 HWS: HOT WATER SERVICE
 LPD: LEGAL POINT OF DISCHARGE
 MB: METER BOX
 SDP: SPREADER DOWNPIPE
 SWD: STORMWATER DRAIN

WATER TANK NOTE:
 FURTHER TO THE 6 STAR ENERGY RATING REQUIREMENTS PROVIDE 2000L RAIN WATER TANK CONNECTED TO A MIN CATCHMENT AREA OF 50m² AND TO BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS

SITE AREA:	1445 m ²
BUILDING AREA:	222.41 m ²
COVERAGE:	19.43%
PERMEABILITY:	74.09%
POS AREA:	837.49 m ²
SPOS AREA:	38157 m ²
GARDEN ZONE:	7317%

ABBREVIATIONS:
 B: BENCH
 BH: BULKHEAD
 BRM: BROOM
 C/J: CONSTRUCTION JOINT
 DP: DOWNPIPE
 DR: DRYER
 DW: DISHWASHER
 ENS: ENSUITE
 PFL: FINISHED FLOOR LEVEL
 HPF: HOT PLATE
 HWS: HOT WATER SERVICE
 LPD: LEGAL POINT OF DISCHARGE
 MB: METER BOX
 MH: MAN HOLE
 OHC: OVERHEAD CUPBOARDS
 PDR: POWDER ROOM
 R/A: RETURN AIR
 REF: REFRIGERATOR
 R/H: RANGEHOOD
 S/D: SLIDING DOOR
 SD: SMOKE DETECTOR
 SDP: SPREADER DOWNPIPE
 SHR: SHOWER
 SS: SERVICE STACK
 SWD: STORMWATER DRAIN
 T: TROUGH
 UBQ: UNDER BENCH OVEN
 VER: VERANDAH
 WM: WASHING MACHINE
 WO: WALL OVEN

WC DOOR NOTE:
 PROVIDE LEFT OFF HINGES ON WC DOOR WHERE THERE IS LESS THAN 200mm CLEAR SPACE FROM THE PAN TO THE DOORWAY UNLESS THE DOOR IS SLIDING OR OPENING OUTWARDS.

SMOKE DETECTOR NOTE:
 HARD WIRED SMOKE DETECTORS WITH BATTERY BACKUP TO BE POSITIONED NOT MORE THAN 800mm FROM BEDROOMS DOORS. ENSURE EXISTING DWELLING COMPLES WITH THE ABOVE. ALL SMOKE DETECTORS TO BE INTERCONNECTED. MUST COMPLY WITH AS3786. ⊕ DENOTES SMOKE ALARM

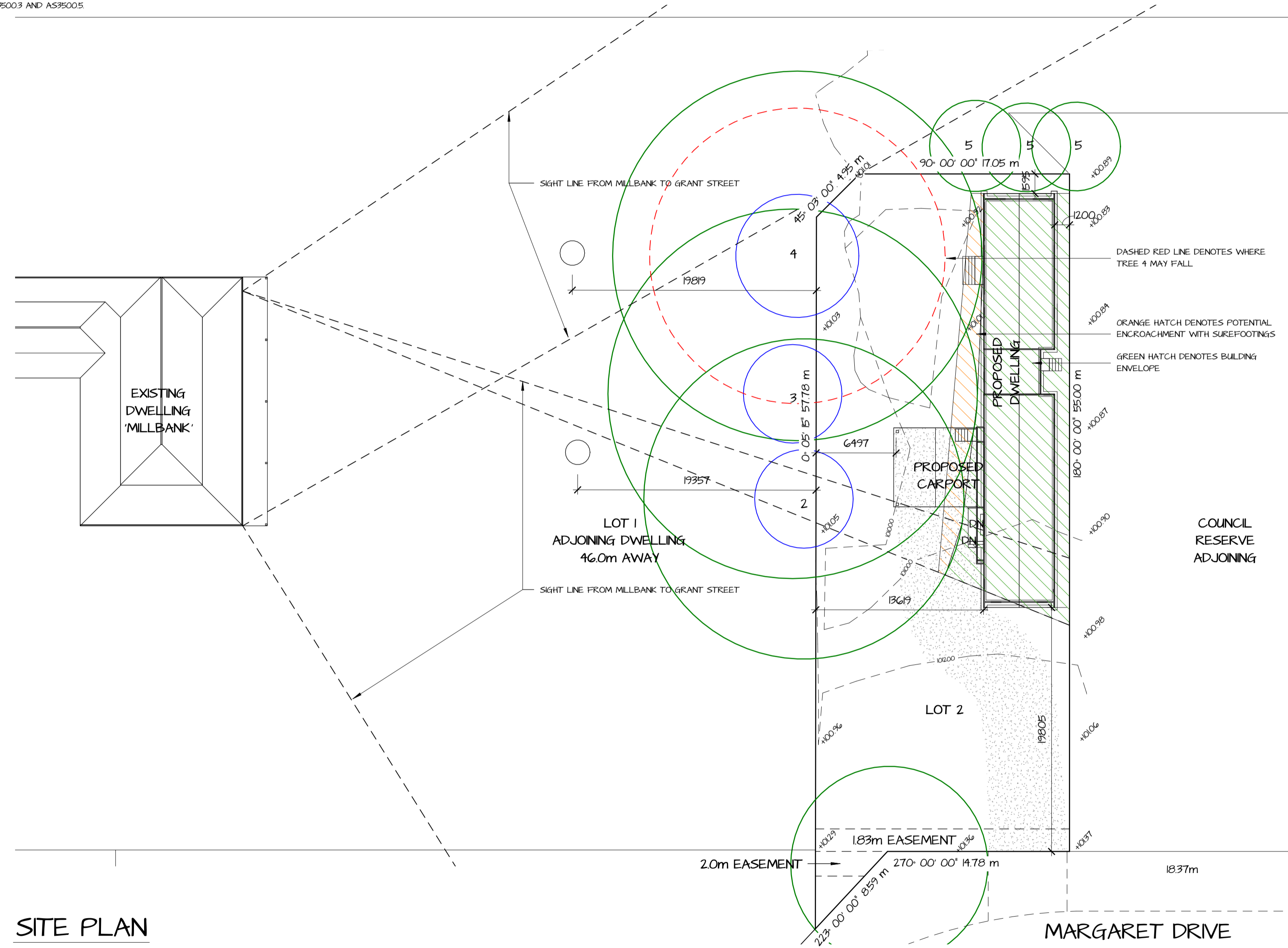
VENTILATION NOTE:
 IN ACCORDANCE WITH NCC 2022 PART 10.6 MECHANICAL VENTILATION TO BE VENTED TO EXTERNAL AIR. IN KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY AND HAVE A MINIMUM FLOW RATE OF:
 - 25L/s AIRFLOW FOR BATHROOMS & SANITARY COMPARTMENTS
 - 40L/s AIRFLOW FOR KITCHEN & LAUNDRY EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTSIDE AIR
 ⊕ DENOTES EXHAUST FAN

WATERPROOFING MEMBRANE NOTE:
 WATERPROOFING AND WATER RESISTANCE OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-200

TILE EXPANSION NOTE:
 TILE EXPANSION JOINTS ARE TO BE IN ACCORDANCE WITH AS 3956.1

FLIABLE MEMBRANE NOTE:
 AS PER PART 10.8 OF NCC 2022, A FLIABLE, VAPOUR PERMEABLE BUILDING MEMBRANE THAT COMPLES WITH AS42001 TO BE INSTALLED IN ACCORDANCE WITH AS42002 FOR CLIMATE ZONES 6, 7 AND 8.

AREA SCHEDULE		
NAME	AREA	SQUARES
DWELLING	222.41 m ²	2207
CARPORT	36.00 m ²	358
Grand total	222.41 m ²	2394



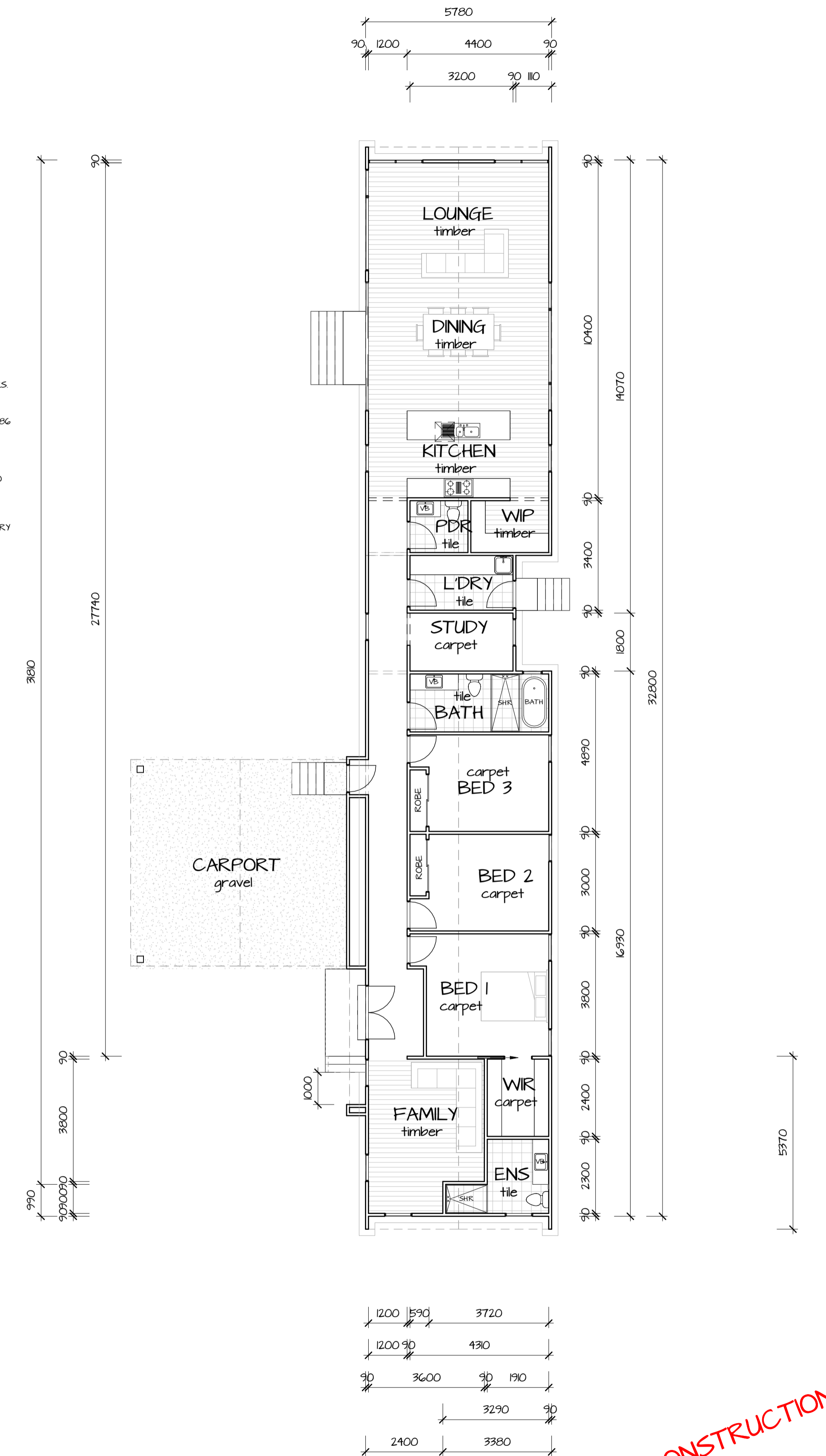
SITE PLAN
 1 : 250

FLOOD NOTE:
 THIS PROPERTY IS NOT IN A FLOOD PRONE AREA

TERMITE NOTE:
 THIS PROPERTY IS NOT IN A TERMITE DESIGNATED AREA

BUSHFIRE NOTE:
 THIS PROPERTY IS NOT IN A DESIGNATED BUSHFIRE PRONE AREA

DESIGNATED LAND OR WORKS NOTE:
 THIS PROPERTY IS NOT IN A DESIGNATED LAND OR WORKS AREA



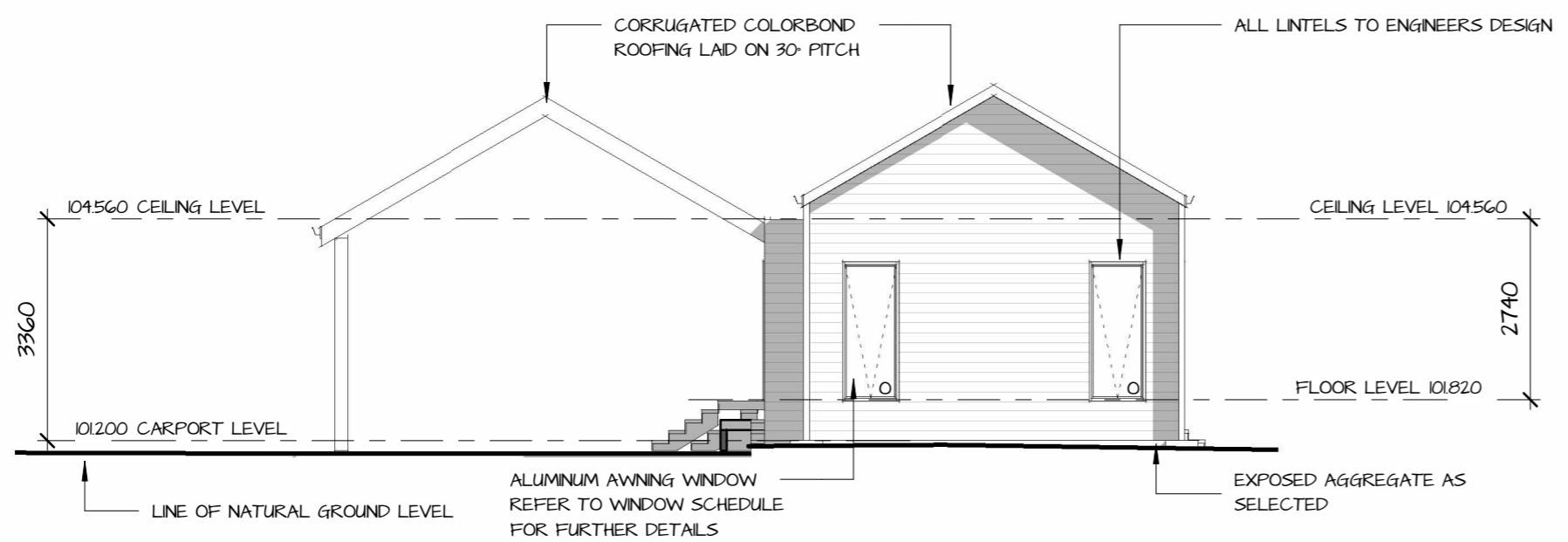
FLOOR PLAN
 1 : 100

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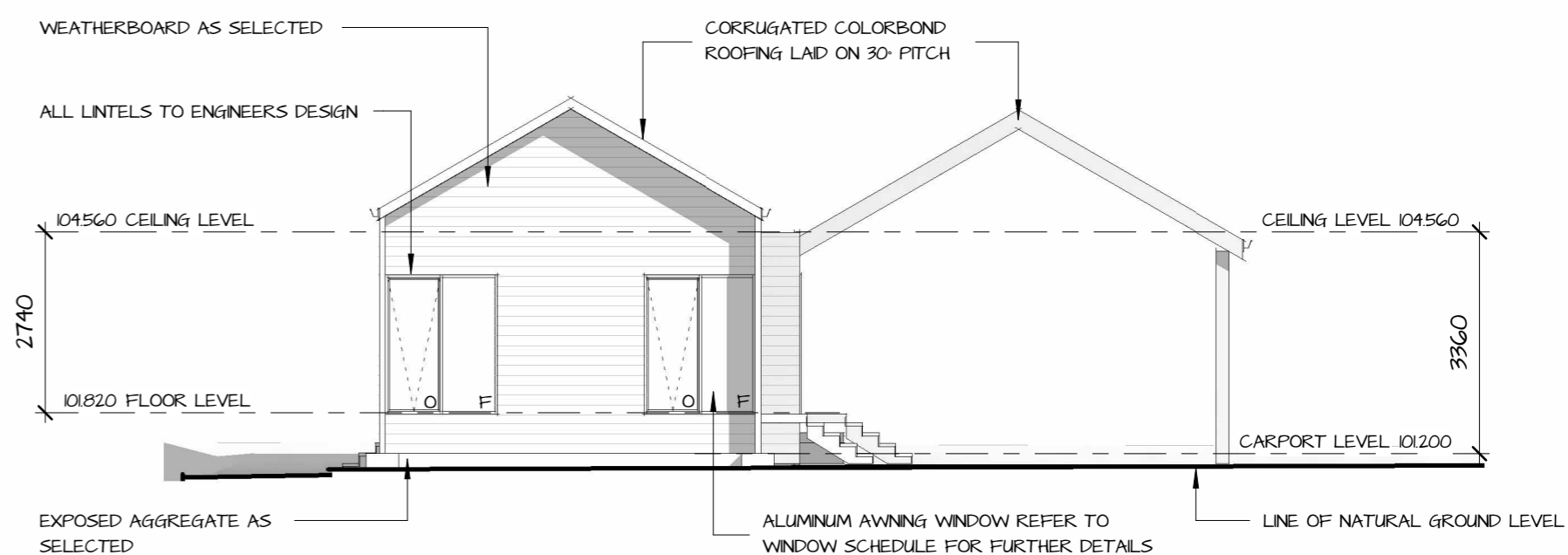
ELEVATION ABBREVIATIONS:
 C-J: CONSTRUCTION JOINT
 DP: DOWNPIPE
 F: FIXED
 FFL: FINISHED FLOOR LEVEL
 MB: METER BOX
 NGL: NATURAL GROUND LEVEL
 O: OPENABLE
 S/D: SLIDING DOOR
 SDP: SPREADER DOWNPIPE
 SWD: STORMWATER DRAIN

WINDOW SAFETY STRIP NOTE:
 GLASS DOORS, SIDE PANELS OR LARGE FIXED WINDOWS (MIN 1000mm HIGH x 500mm WIDE AND WITHIN 700mm OF THE FLOOR LEVEL) IS MADE APPARENT BY MEANS OF TRANSOMS, COLONIAL BARS, OTHER COMPONENTS OF THE GLAZING SYSTEM, PERMANENT MOTIFS OR OTHER DECORATIVE TREATMENT ON OR ETCHED INTO THE GLASS, OF SUFFICIENT MAGNITUDE TO BE READILY APPARENT, OR THE GLASS IS OPAQUELY COLOURED OR PATTERNED TO INDICATE ITS PRESENCE.

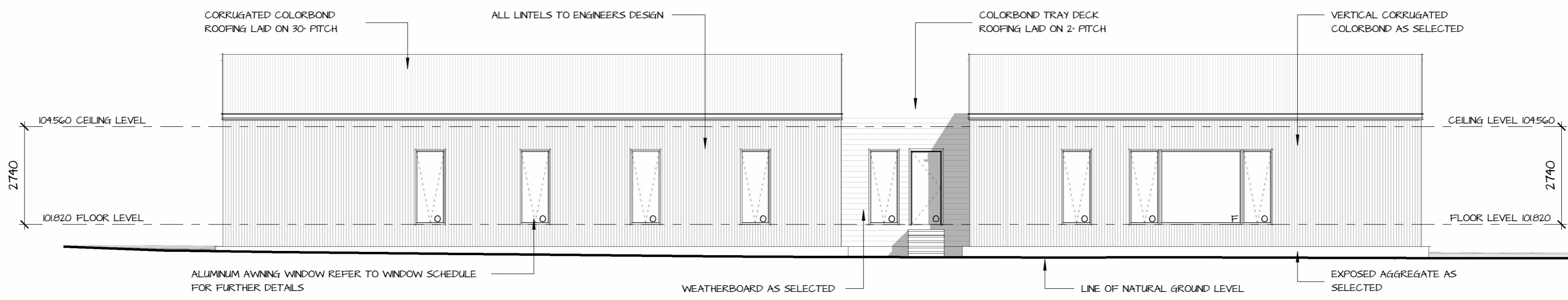
WEEPHOLE NOTE:
 WEEPHOLE SHALL BE LOCATED TO ACHIEVE THE REQUIRED MINIMUM HEIGHT CLEARANCES FROM FINISHED GROUND LEVEL AND CONCRETE PATHS IN ACCORDANCE WITH AS4663:
 - 150mm ABOVE ADJACENT FINISHED GROUND LEVEL
 - 75mm ABOVE FINISHED PAVED/CONCRETE AREAS THAT SLOPE AWAY FROM THE WALL or
 - 50mm ABOVE FINISHED PAVED/CONCRETE AREAS THAT SLOPE AWAY FROM THE WALL AND ARE PROTECTED FROM THE DIRECT EFFECT OF WEATHER
 - MAX 1200mm CENTERS WITH CONTINUOUS FLASHING WHERE BRICKWORK EXTENDS OVER OPENINGS



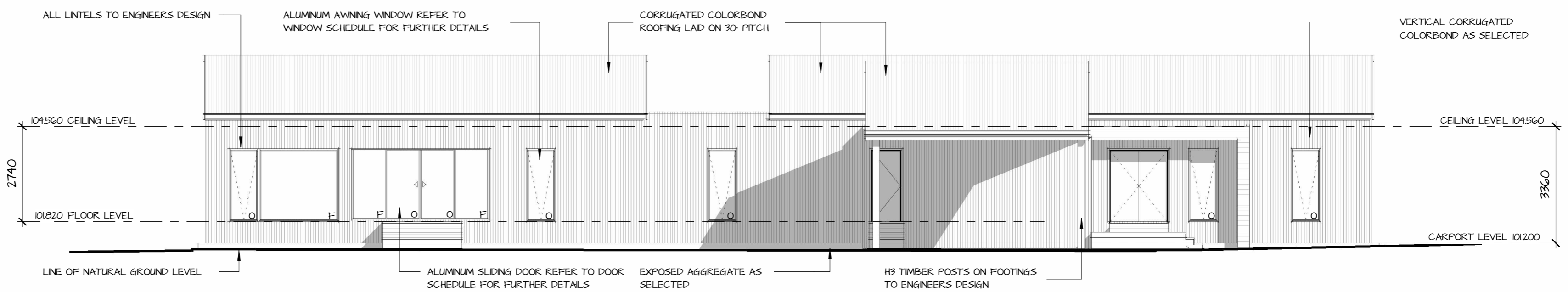
SOUTH ELEVATION
 1 : 100



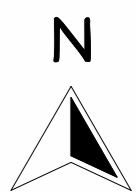
NORTH ELEVATION
 1 : 100



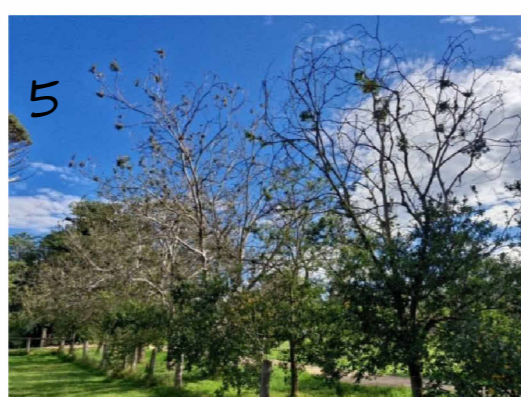
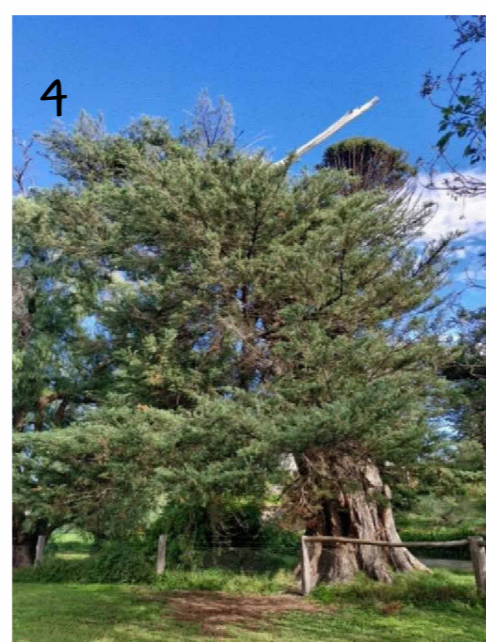
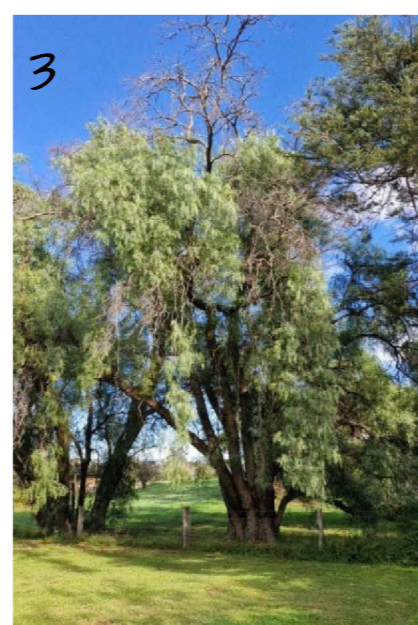
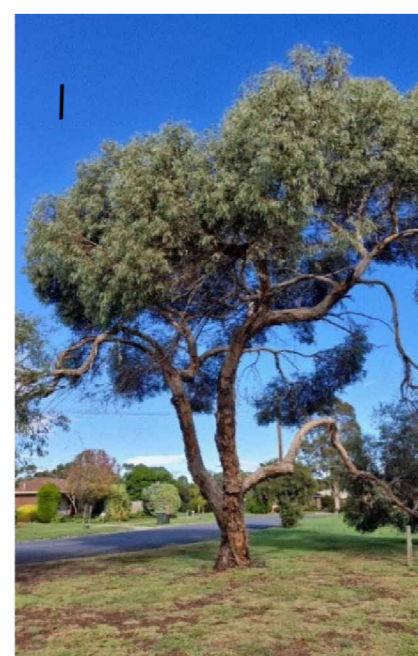
EAST ELEVATION
 1 : 100



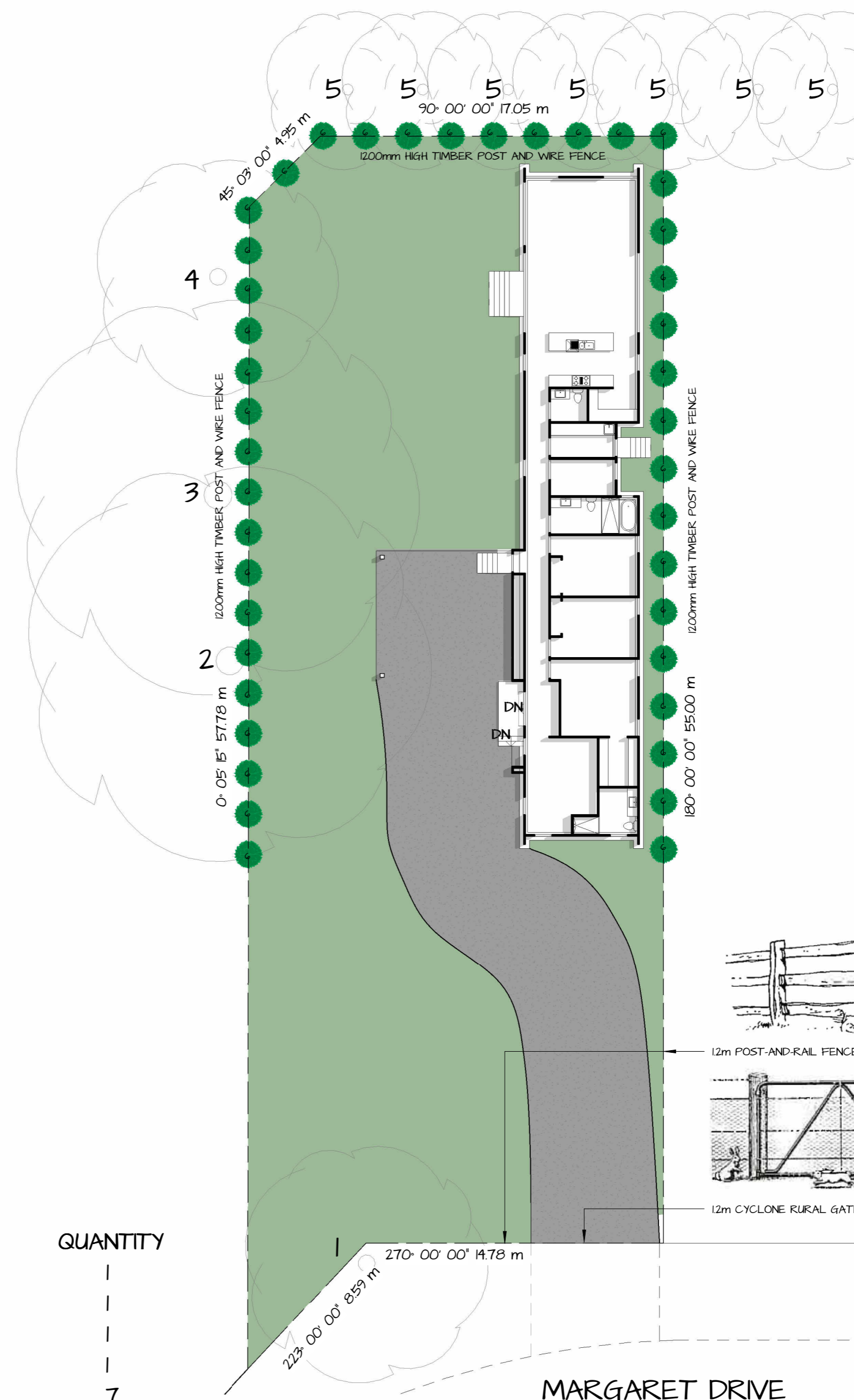
WEST ELEVATION
 1 : 100



- Concrete
- Crushed Rock
- Garden
- Grass
- Paving
- Tuscan Topping



TAG.	BOTANICAL NAME	COMMON NAME	MATURE SIZE	POT SIZE	QUANTITY
1.	EUCALYPTUS LEUCOXYLON	YELLOW GUM	14m HIGH x 12m WIDE	--	1
2.	SCHINUS MOLLE	PEPPERCORN TREE	14m HIGH x 18m WIDE	--	1
3.	SCHINUS MOLLE	PEPPERCORN TREE	12m HIGH x 16m WIDE	--	1
4.	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	12m HIGH x 6m WIDE	--	1
5.	ULMUS PARVIFOLIA	CHINESE ELM	9m HIGH x 5m WIDE	--	7
6.	ACMENA SMITHII	SUBLIME	5m HIGH x 2m WIDE	80mm	42



LANDSCAPE PLAN
1 : 200