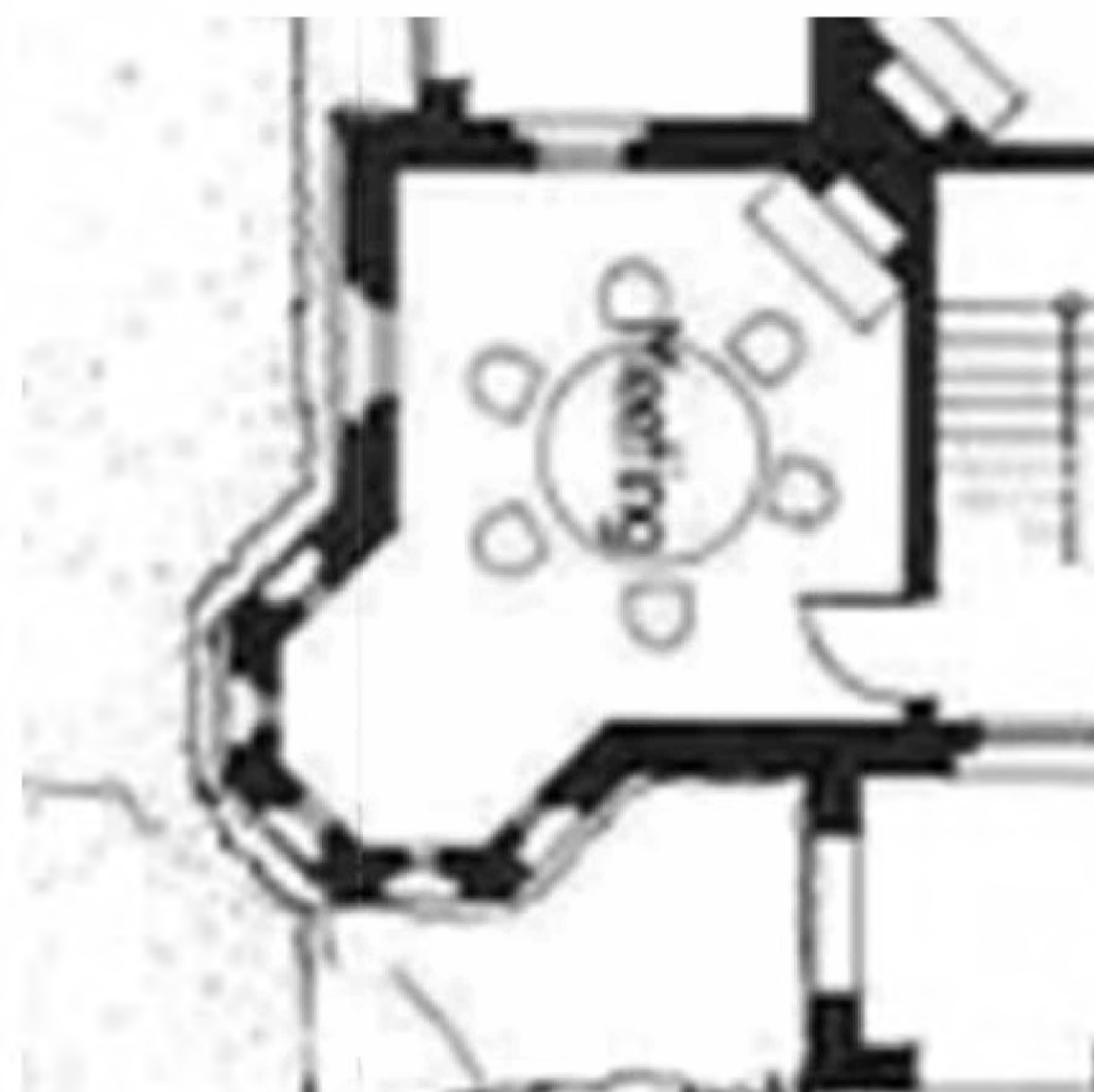


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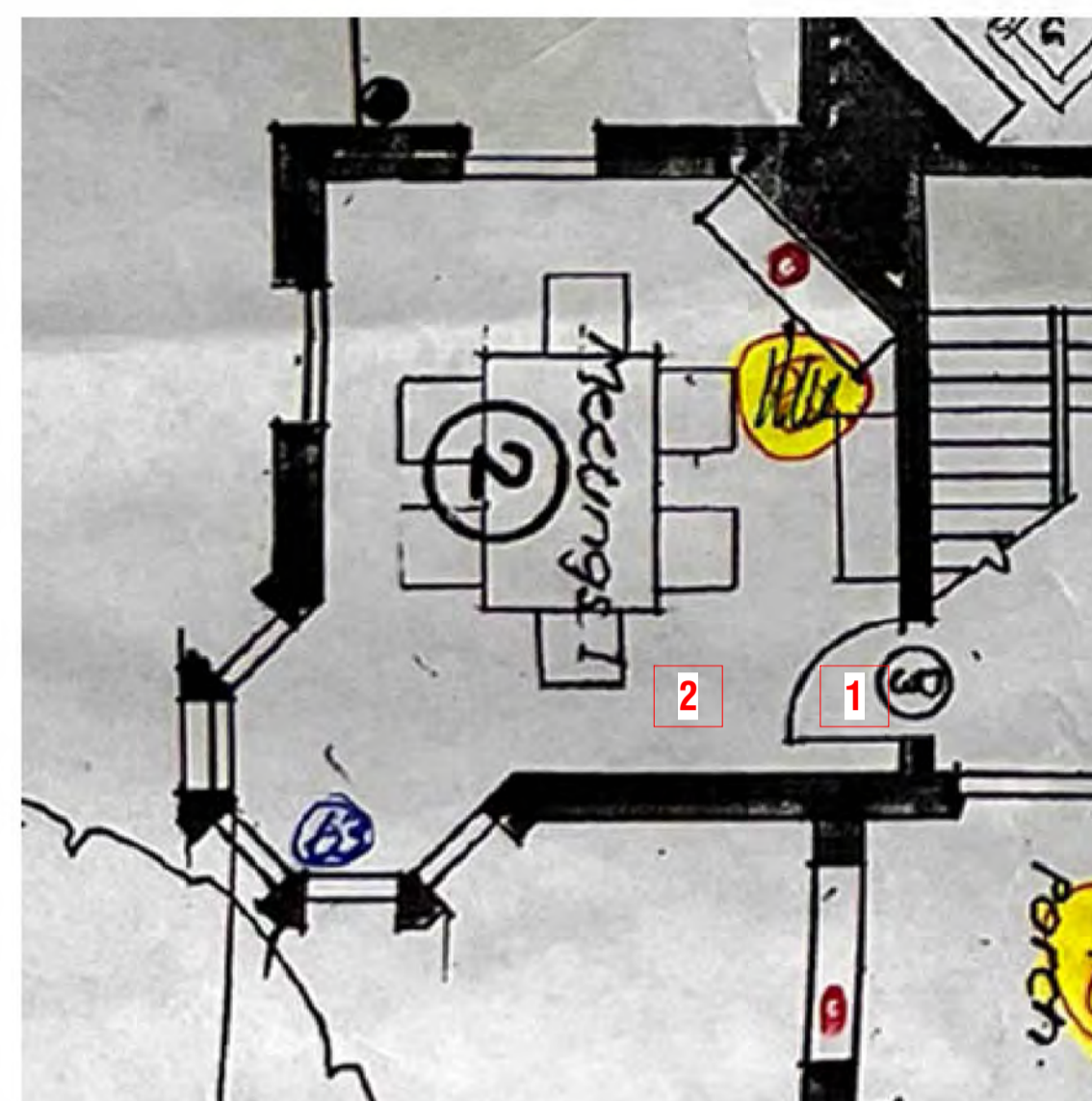
RED TEXT	HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS



ORIGINAL ROOM PLAN
YEAR: 1907

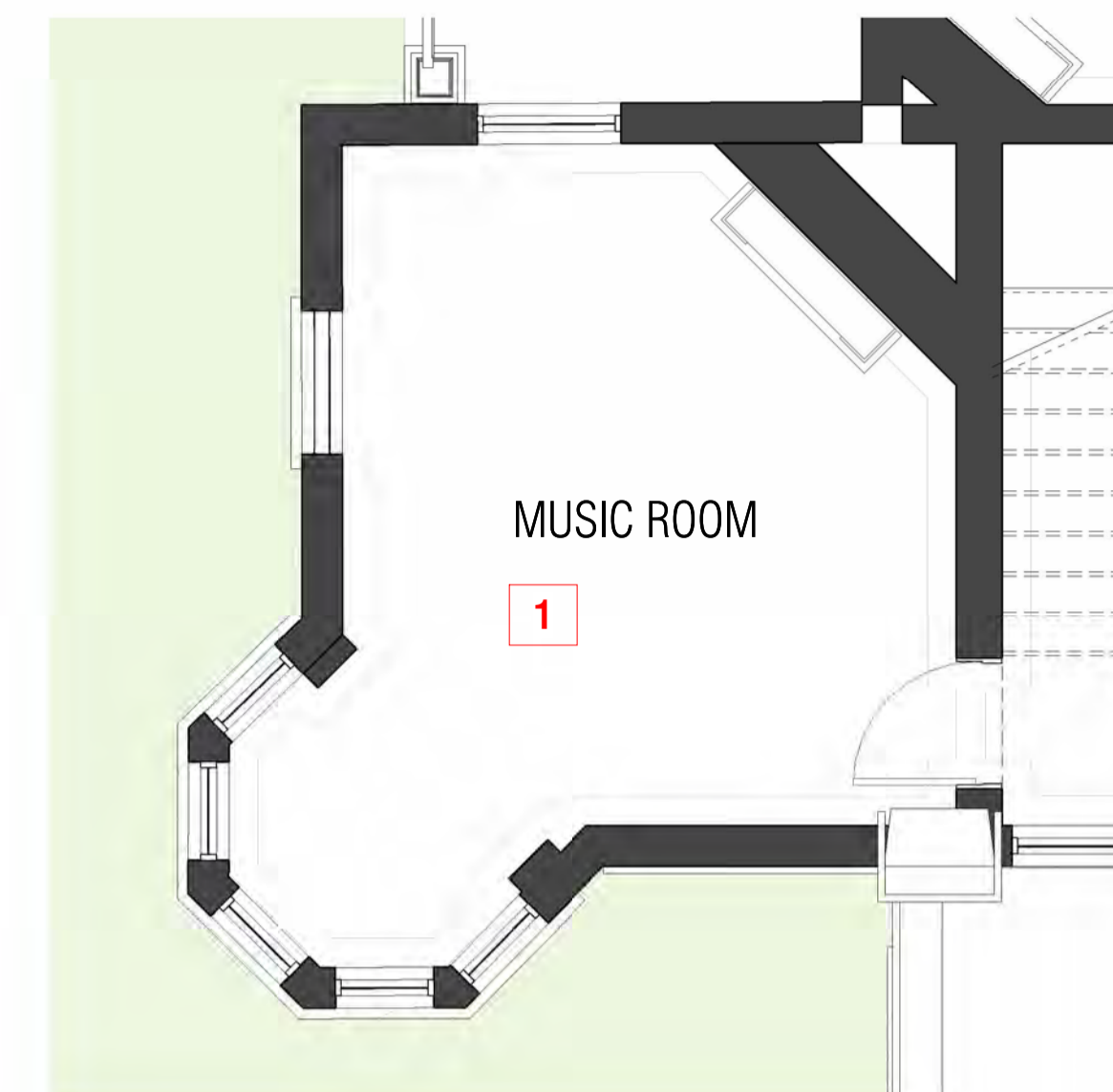


BATES SMART PLAN
YEAR: 1981



CURRENT ROOM PLAN
YEAR: 2001

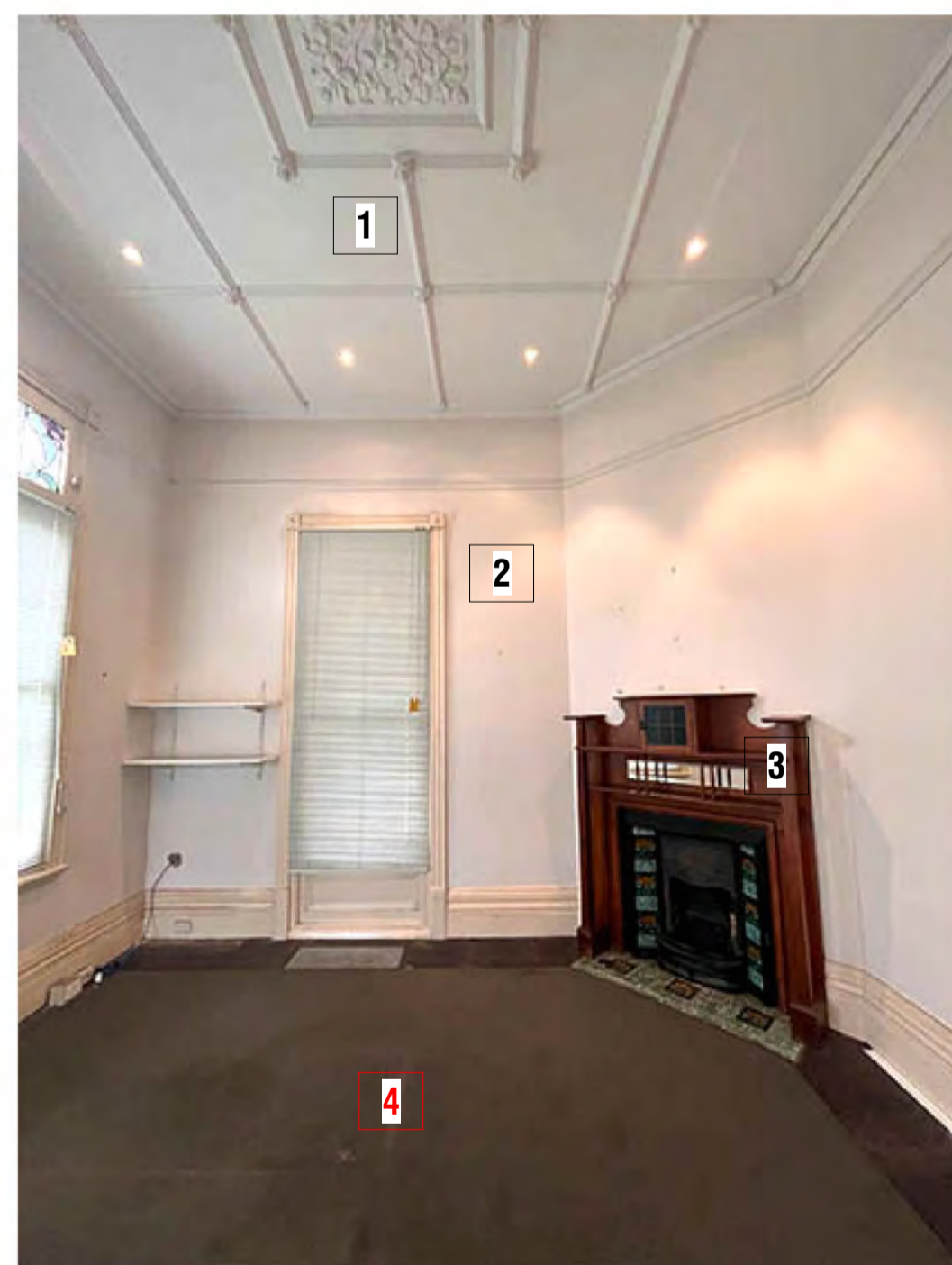
- 1. DOOR HINGE CHANGED
- 2. NON-ORIGINAL CARPET TO FLOOR



PROPOSED ROOM PLAN - MUSIC ROOM
YEAR: 2024

- 1. REMOVE NON-ORIGINAL CARPET.
NEW TIMBER FLOORING INSTALLED OVER

PHOTO - CURRENT VIEW TO WEST



- 1. ORIGINAL CEILING TO REMAIN
CURRENT PAINT FINISH TYPE: TBC
CURRENT PAINT COLOUR: LIGHT WHITE TONE. TBC IF ORIGINAL
PROPOSED PAINT COLOUR: LIGHT WHITE DISTEMPER PAINT.
- 2. CURRENT WALL PAINT COLOUR: LIGHT WHITE TONE. TBC IF ORIGINAL
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER
- 3. CURRENT FIREPLACE TO REMAIN.
TIMBER MANTLE TYPE: TBC
TIMBER FINISH: VARNISH. TO BE CONFIRMED IF ORIGINAL
- 4. NON-ORIGINAL CARPET. REMOVE

PHOTO - CURRENT VIEW TO BAY WINDOW



- 1. ORIGINAL STAINED GLASS TO REMAIN.
- 2. CURRENT WALL / SKRIT / ARCHITRAVE / FRETWORK PAINT \ COLOUR: LIGHT WHITE TONE. TBC IF ORIGINAL
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER
- 3. NON-ORIGINAL WINDOW FILM. REMOVE
- 4. NON-ORIGINAL CARPET. REMOVE. INSTALL NEW TIMBER FLOOR OVER ORIGINAL BALTIC PAINE FLOOR

PHOTO - CURRENT VIEW OF CEILING



- 1. NON-ORIGINAL CEILING SPOTLITHS. REMOVE AND PATCH

PHOTO - CURRENT VIEW TOWARDS MAIN STAIR



- 1. NON-ORIGINAL WALL PANEL HEATER AND SERVICES. REMOVE
- 2. CURRENT WALL / ARCH / SKIRT / DOOR PAINT COLOUR: LIGHT WHITE TONE INSIDE ROOM. TBC IF ORIGINAL
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER
- 3. CURRENT FIREPLACE TO REMAIN.
TIMBER MANTLE TYPE: TBC
TIMBER FINISH: VARNISH. TO BE CONFIRMED IF ORIGINAL
- 4. CURRENT DOOR FINISH TO HALLWAY SIDE: TBC IF ORIGINAL.
PROPOSED FINISH: TIMBER WITH MATTE SEALER COAT

A	HV RFI 01	NOV 2024
-	HV LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - PROPOSED MUSIC ROOM

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG '24

SHEET SIZE A3

FILE b.e

be architecture

100 Stephenson Street, Cremorne VIC 3121 P: 03 9416 1600

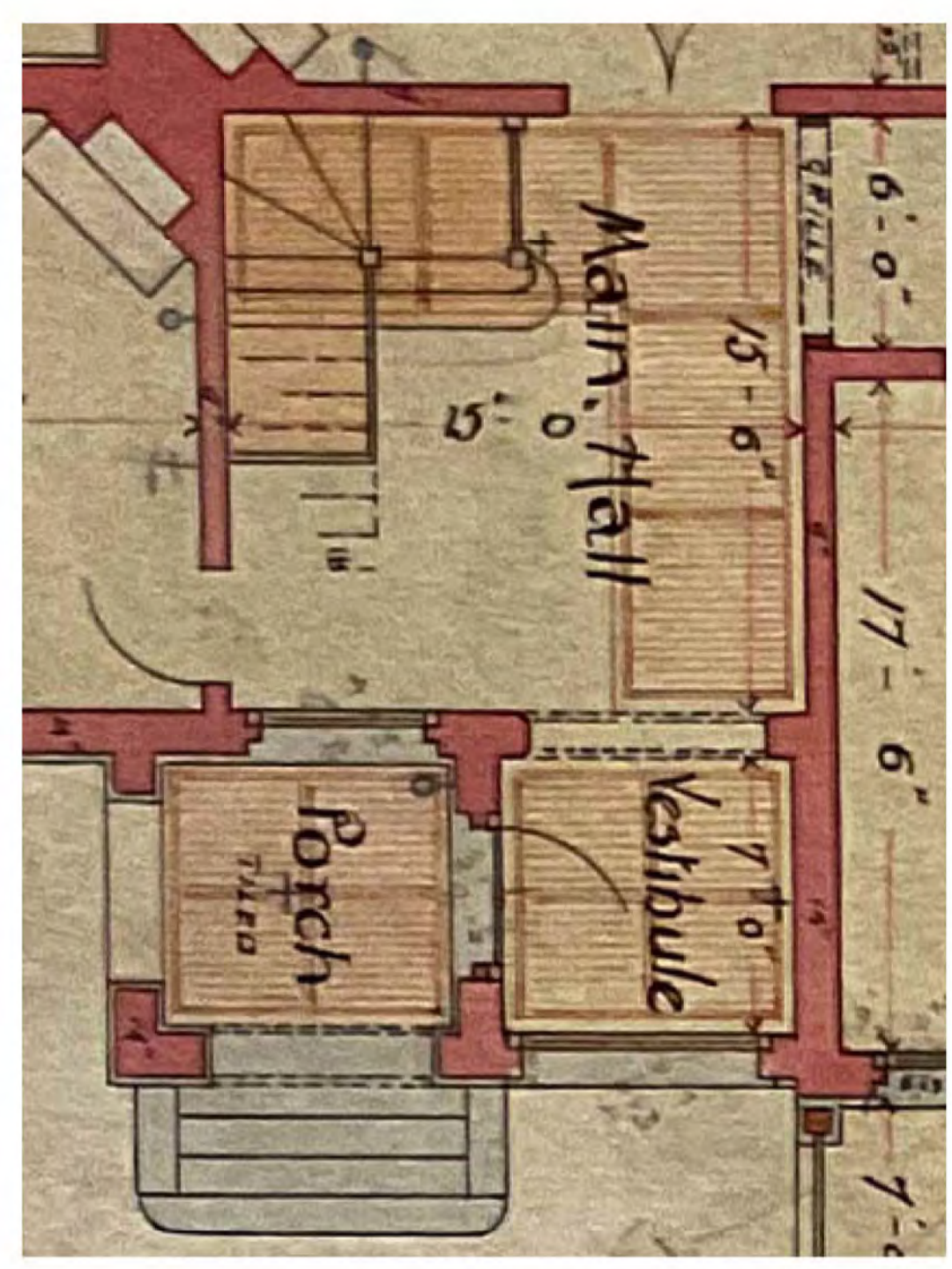
REVISION A

JOB NO: 2309

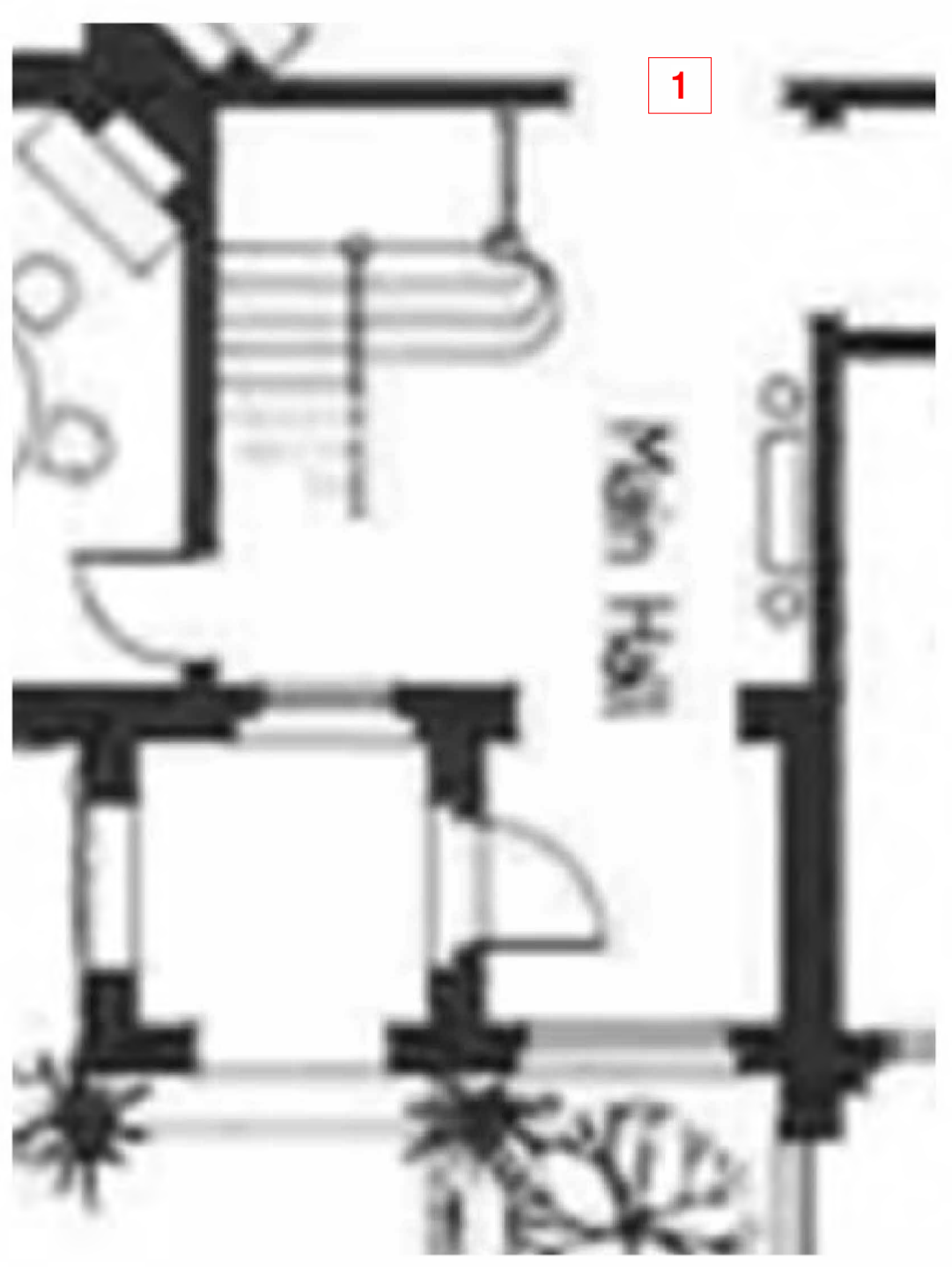
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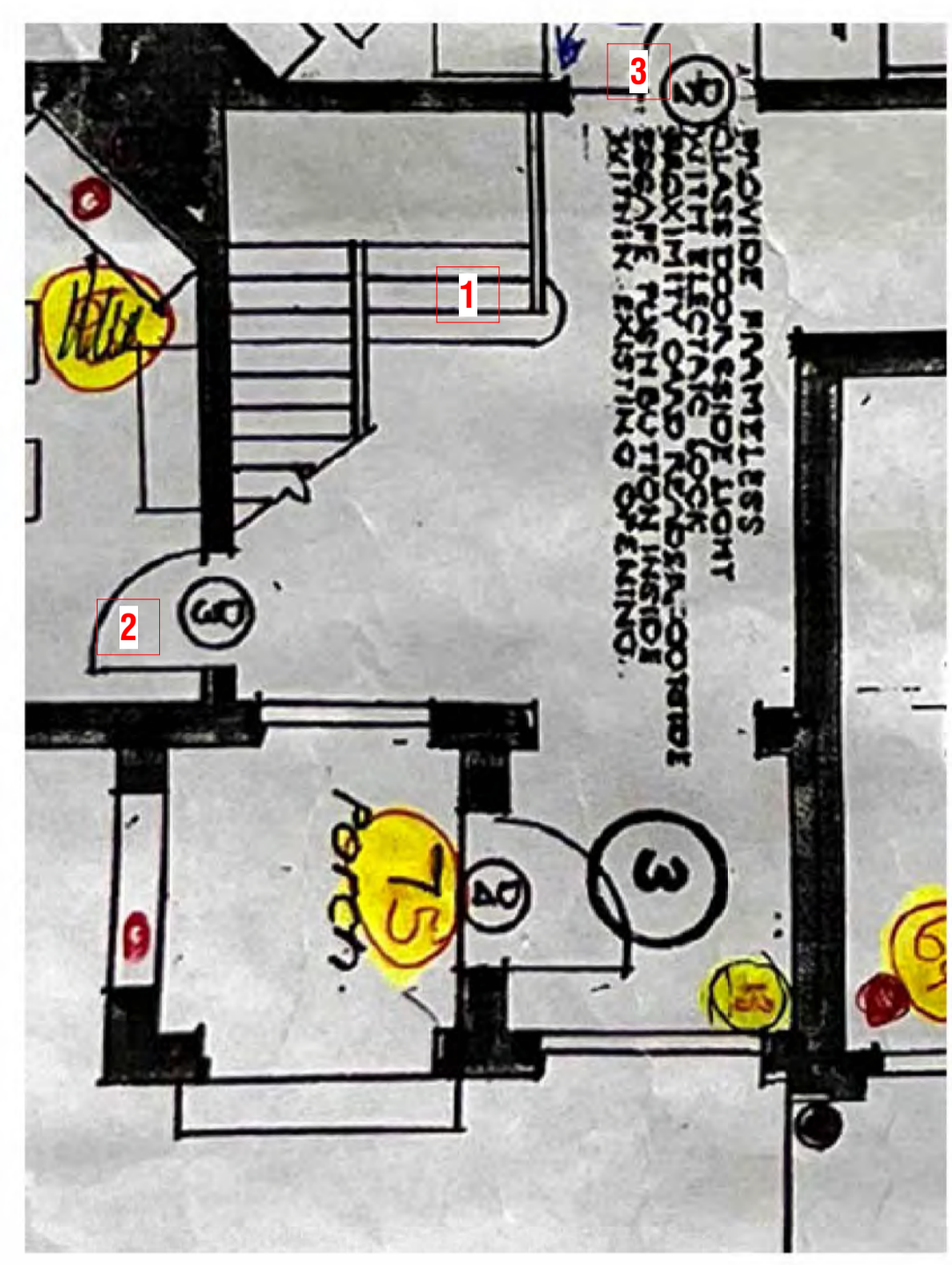
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BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS



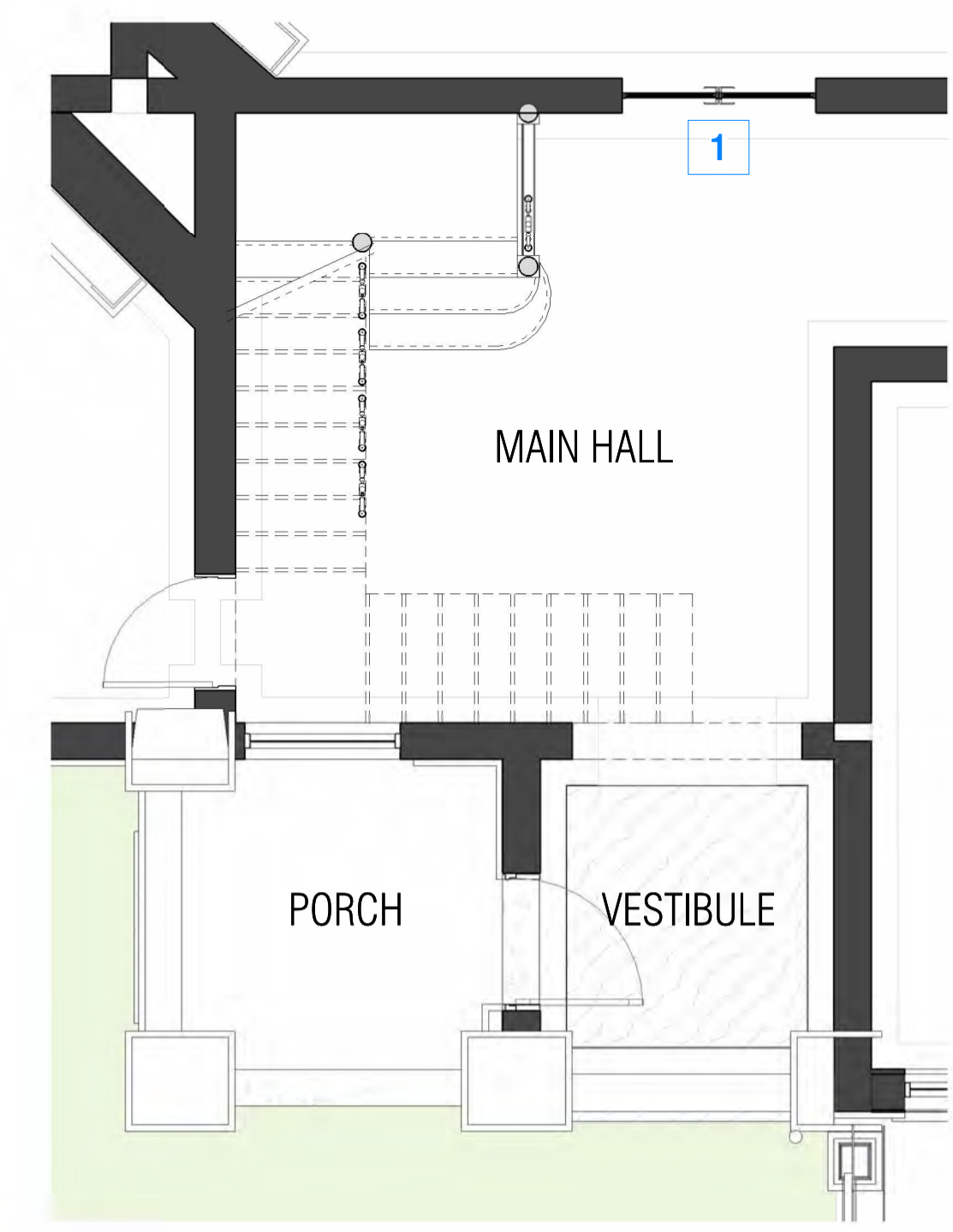
ORIGINAL ROOM PLAN
YEAR: 1907



BATES SMART PLAN
YEAR: 1981
1. ORIGINAL DOORS REMOVED



CURRENT ROOM PLAN
YEAR: 2001
1. NON-ORIGINAL LIGHT FIXTURE INSTALLED
2. DOOR HINGE SWAPPED
3. NEW FRAMELESS DOOR ADDED



PROPOSED ROOM PLAN - MAIN HALL
YEAR: 2024
1. NON-ORIGINAL GLASS PIVOT DOOR REMOVED. REPLACE WITH BI-PARTING STEEL FRAME GLAZED DOORS
2. CAREFULLY LIFT AND STORE HEAVILY DAMAGED AND FRAGILE LINO. STORE ON SITE. ORIGINAL BALTIC PINE FLOORING TO REMAIN. NEW TIMBER FLOORING OVER

PHOTO - CURRENT VIEW OF VESTIBULE

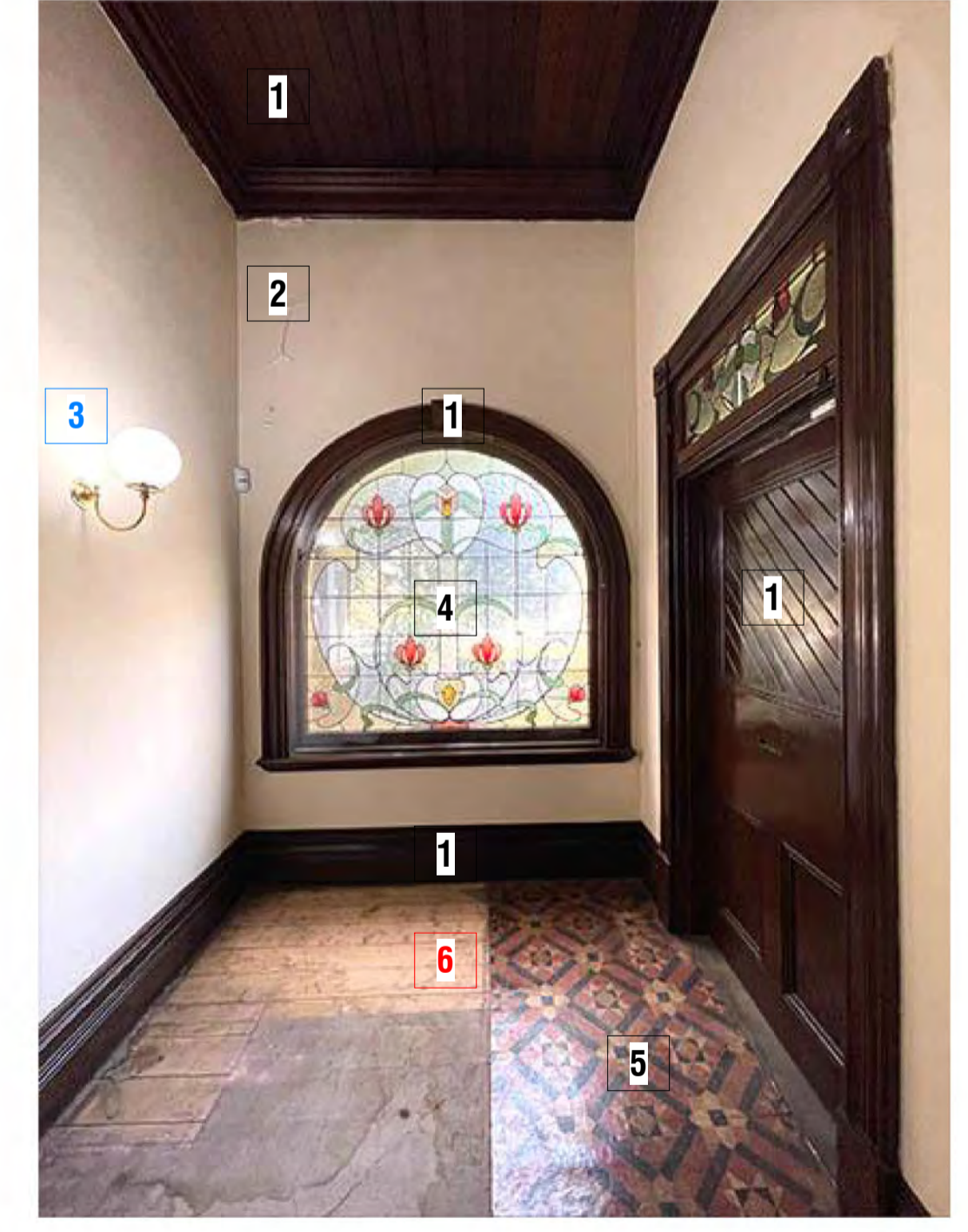
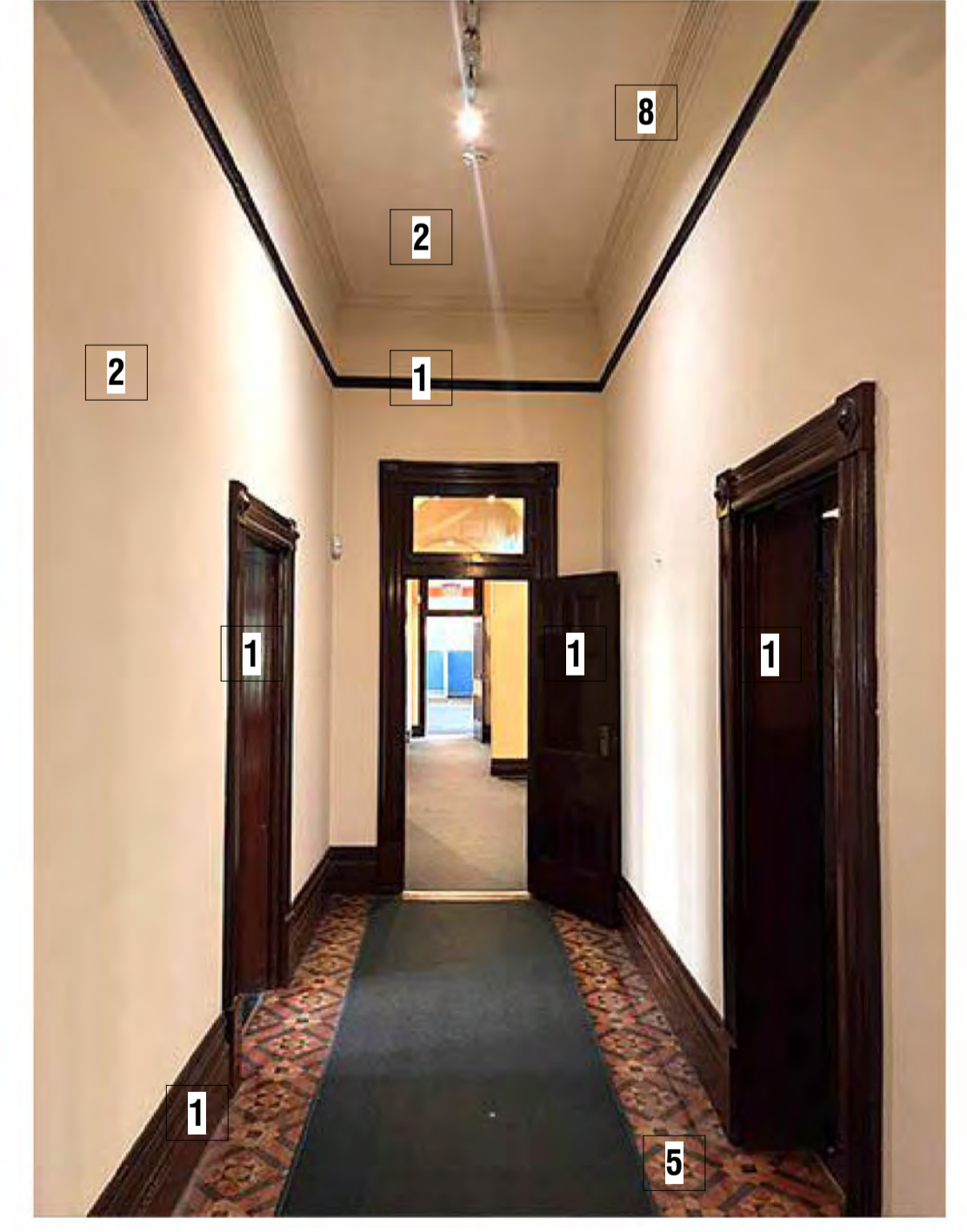


PHOTO - CURRENT VIEW OF MAIN STAIR



PHOTO - CURRENT VIEW OF HALLWAY TO FRONT PART OF HOUSE

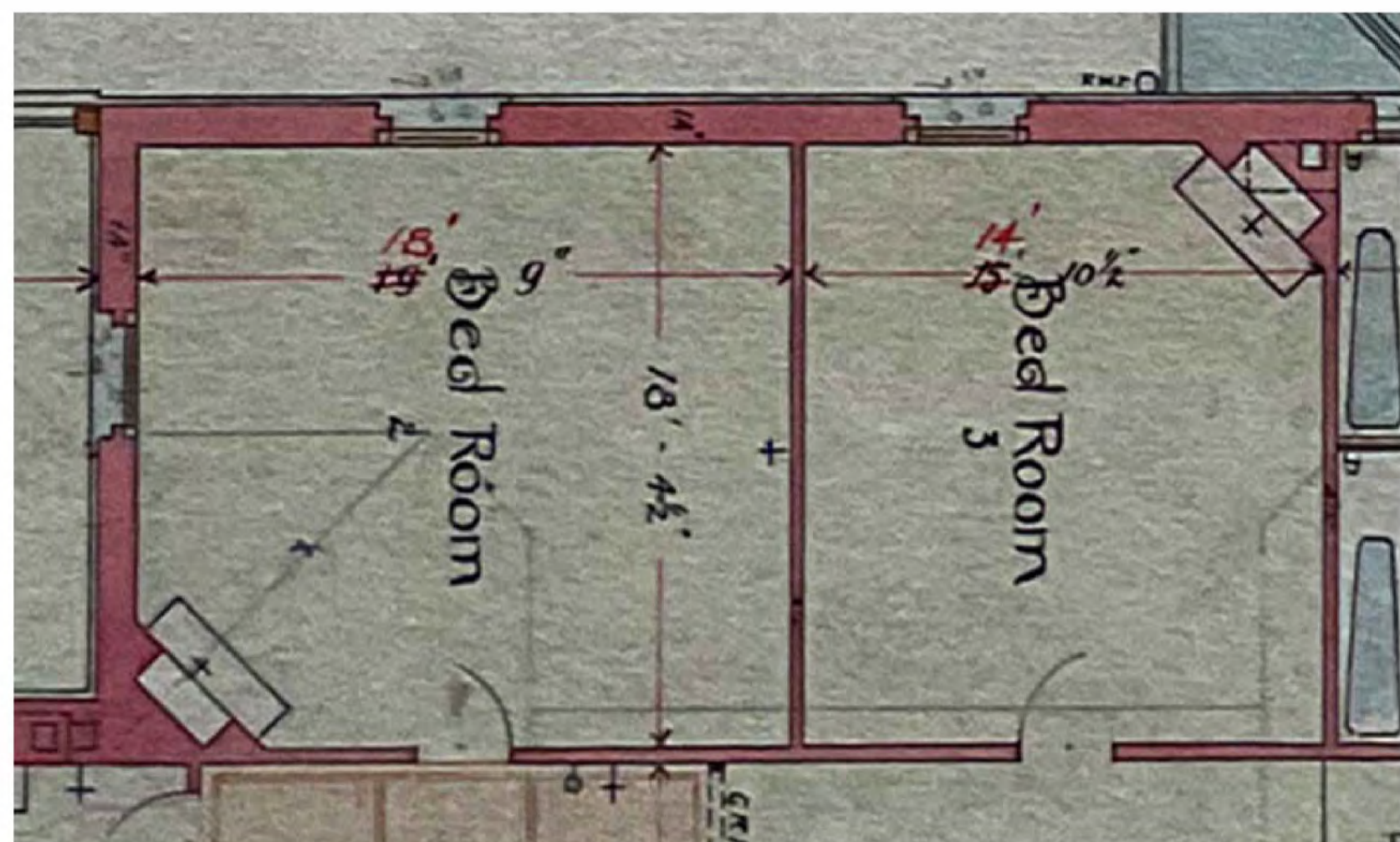


1. TIMBER CEILING / ARCHITRAVE / DOOR / SKIRTING TO REMAIN. TIMBER TYPE: RED CEDAR. TIMBER FINISH: VARNISH. TBC IF ORIGINAL
2. CURRENT PAINT FINISH: TYPE TBC. COLOUR: LIGHT WHITE TONE. TBC IF ORIGINAL. PROPOSED COLOUR: LIGHT WHITE TONE.
3. NON-ORIGINAL LIGHT FITTING. TBC
4. STAINED GLASS WINDOW. TO REMAIN. REQUIRE REPAIR WITH BOWING. CAREFULLY LIFT LINO SHEETS AND STORE HEAVILY DAMAGED SHEETS IN BOXES ON SITE. RE-USE USABLE LINO IN ALLOCATED LOCATION.
5. ORIGINAL BALTIC PINE FLOORING TO REMAIN. NEW TIMBER FLOOR OVER
6. NON-ORIGINAL CARPET RUNNER. REPLACED
7. CORNICE. TBC IF ORIGINAL. PAINT FINISH. TBC IF ORIGINAL
- 8.

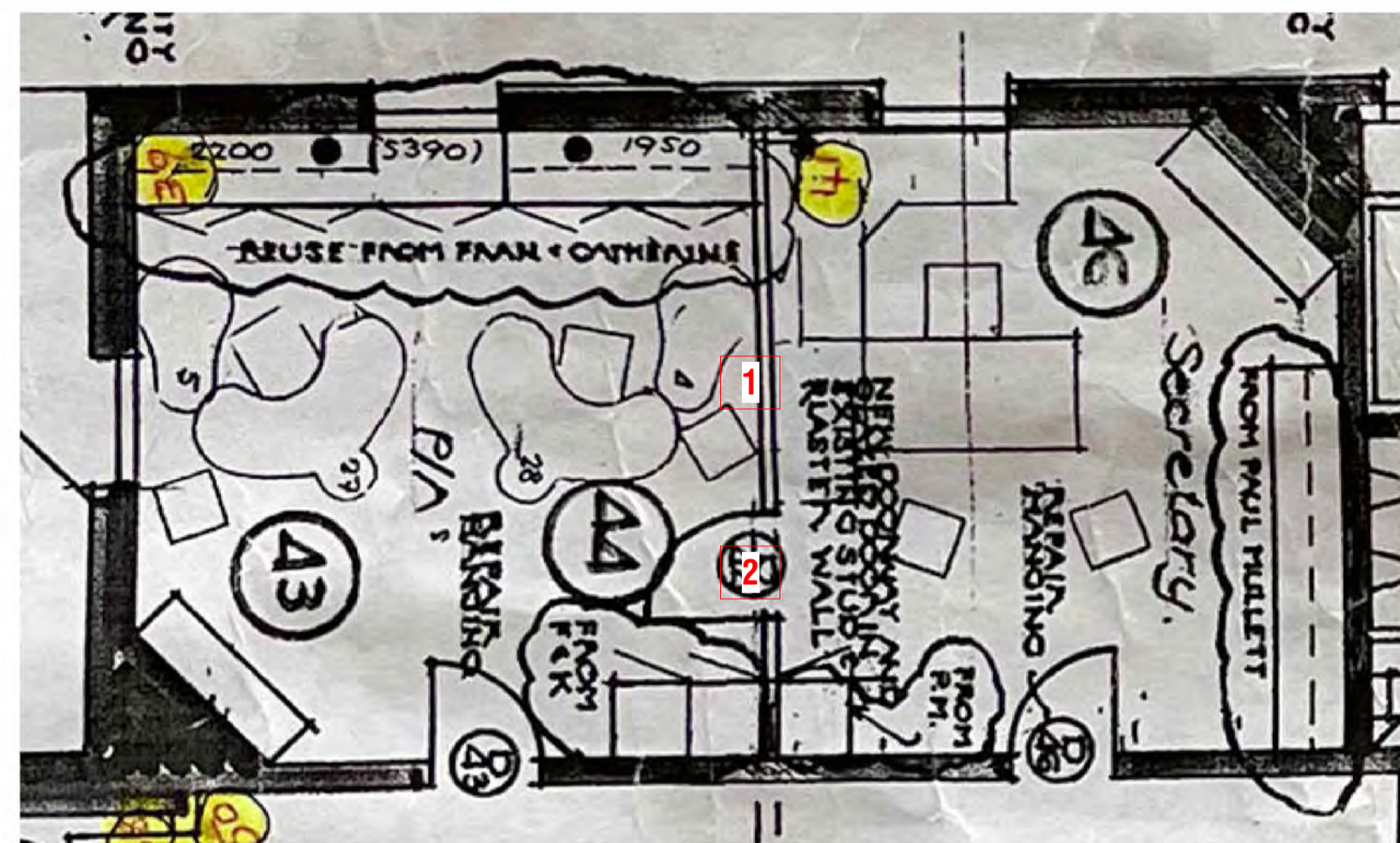
A	HW RFI 01	NOV 2024
-	HW LODGE	SEPT 2024
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1 - 19 CLARENDON ST, EAST MELBOURNE	
DRAWING	ROOM ANALYSIS - PROPOSED MAIN HALL	
ADDRESS	1 - 19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG '24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600		NORTH
REVISION		A
JOB NO:	2309	H49

READ IN CONJUNCTION WITH SHEETS - H58 - H63 EXTG. GROUND FLOOR - LINOLEUM ASSESSMENT

ROOM ANALYSIS - PROPOSED MAIN HALL

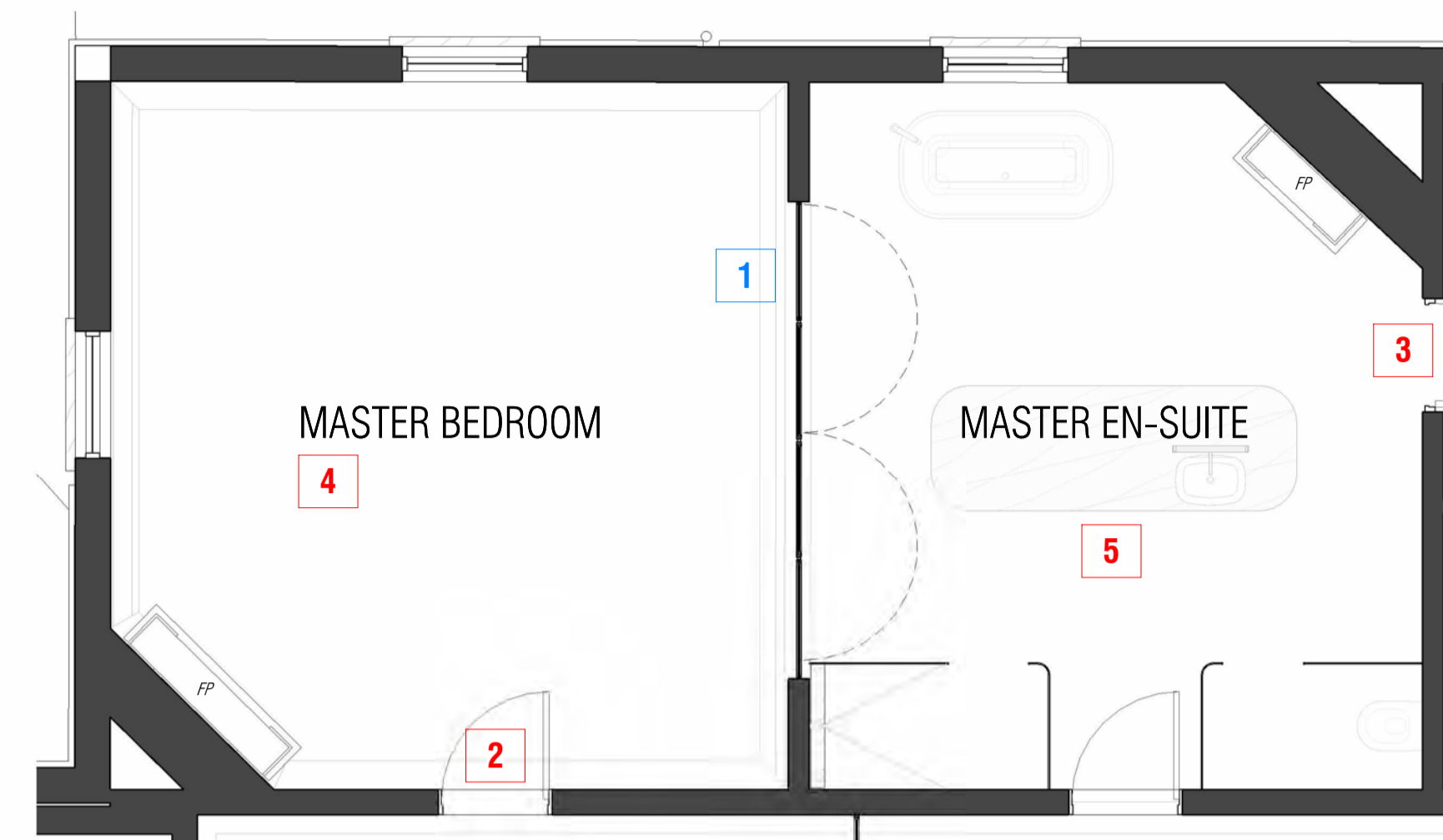


ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001

1. STUD WALL INFILL TO AN PREVIOUSLY ADDED WALL OPENING.
2. NON-ORIGINAL DOOR ADDED



PROPOSED ROOM PLAN - MASTER BEDROOM & EN-SUITE
YEAR: 2024

1. NON-ORIGINAL STUD WALL INFILL AND DOOR REMOVED.
NEW STEEL FRAME GLAZED DOORS AND PARTITION INSTALLED TO CURRENT OPENING SIZE
2. SWAP HINGE OF EXISTING DOOR.
3. NEW OPENING WITH NEW STEEL FRAMED GLAZE DOOR TO ORIGINAL WALL
4. NEW TIMBER FLOORING OVER ORIGINAL BALTIC PINE FLOORING
5. NEW TILED FLOORING OVER ORIGINAL BALTIC PINE FLOORING

LEGEND

RED TEXT	HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS

PHOTO - CURRENT VIEW TOWARD NON-ORIGINAL WALL INFILL / OPENING



PHOTO - CURRENT VIEW OF FRONT ROOM



1. NON-ORIGINAL STUD WALL INFILL TO OPENING AND NON-ORIGINAL DOOR. REMOVE
2. NON-ORIGINAL CARPET. REMOVE
3. NON-ORIGINAL CEILING / LIGHT FITTINGS. REMOVE
4. CURRENT WALL / CEILING PAINT. TYPE: TBC
COLOUR: LIGHT WHITE TONE
PROPOSED COLOUR: LIGHT WHITE TONE. DISTEMPER
5. CURRENT PAINTED TIMBER ARCHITRAVE / SKIRTING / DOORS.
PAINT COLOUR: LIGHT WHITE TONE. TBC IF ORIGINAL
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER
6. NON-ORIGINAL SKIRTING WIRE CONDUIT. REMOVE

A	HV R01	NOV 2024
-	HV LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - PROPOSED MASTER BEDROOM

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG '24

SHEET SIZE A3

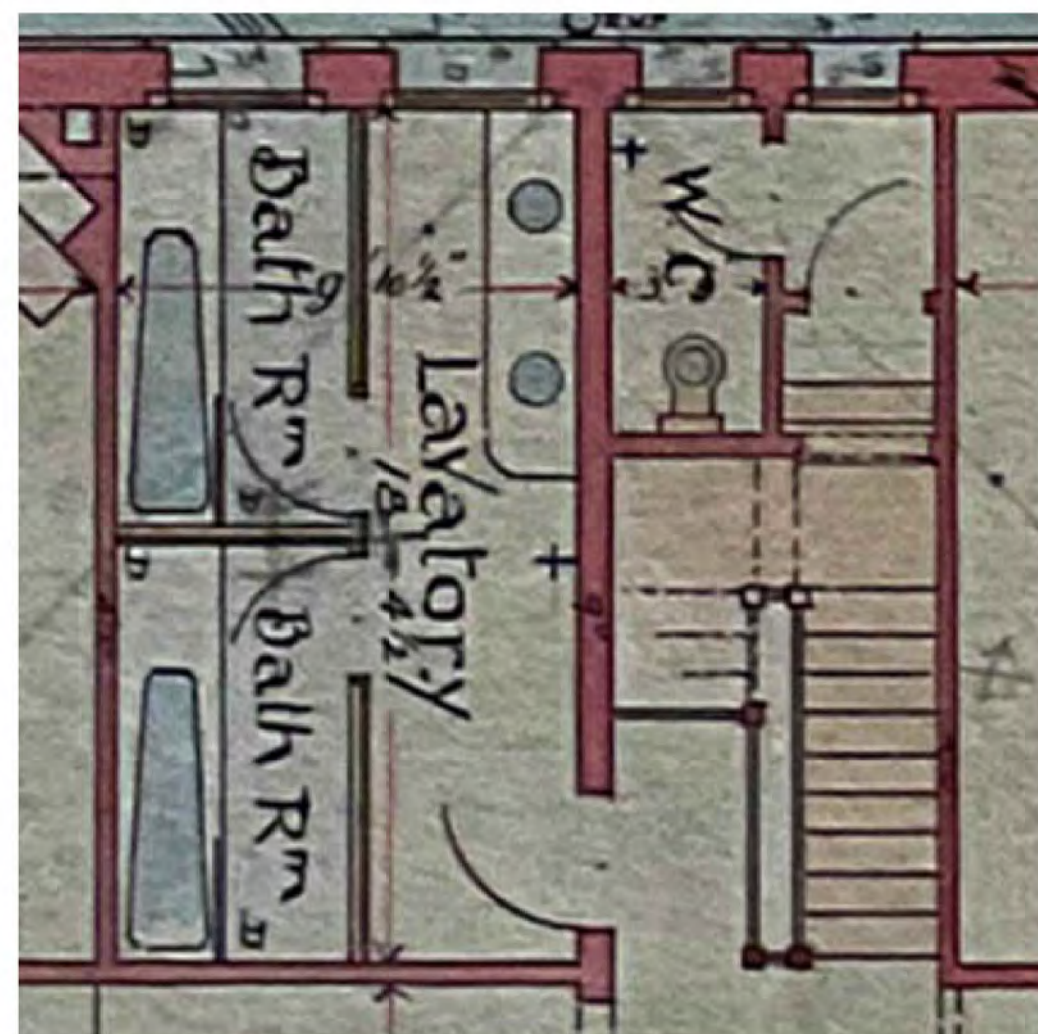
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be architecture

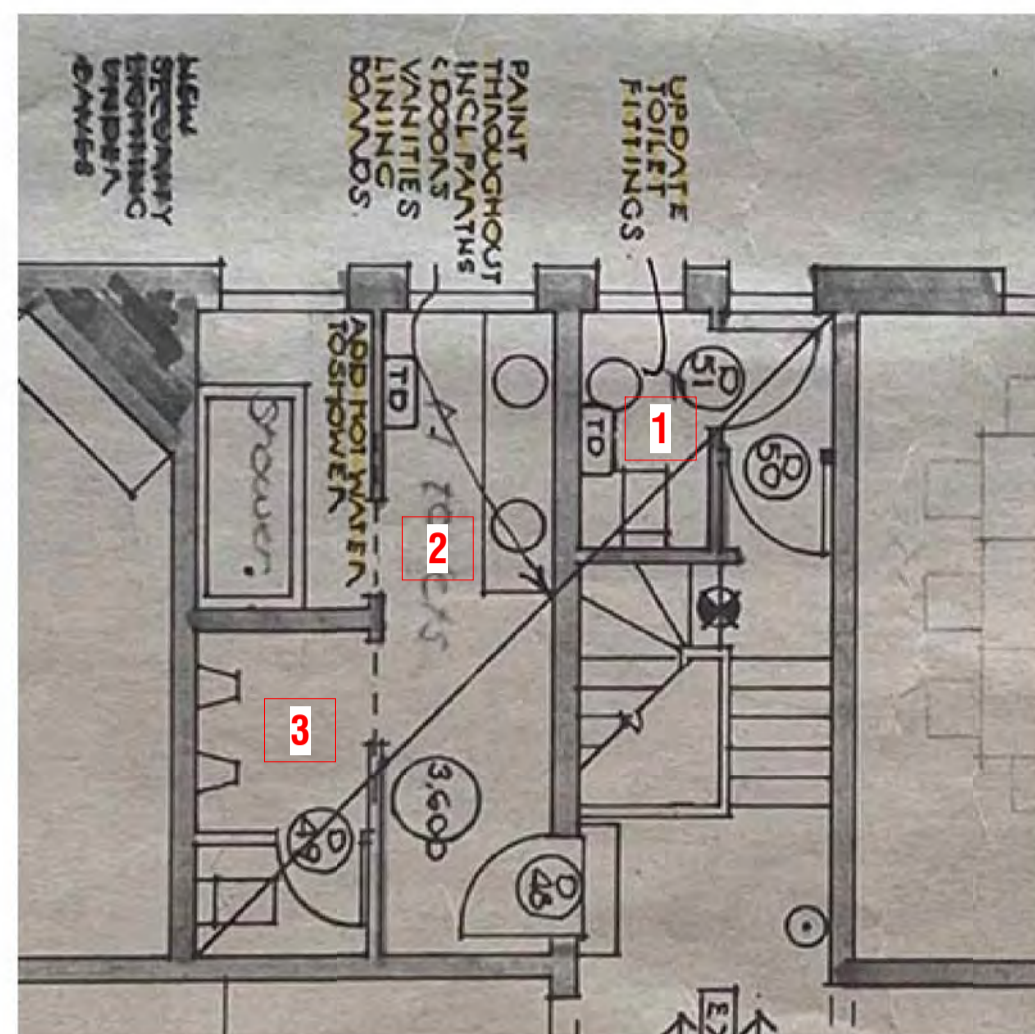
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600

REVISION A

JOB NO: 2309 H50

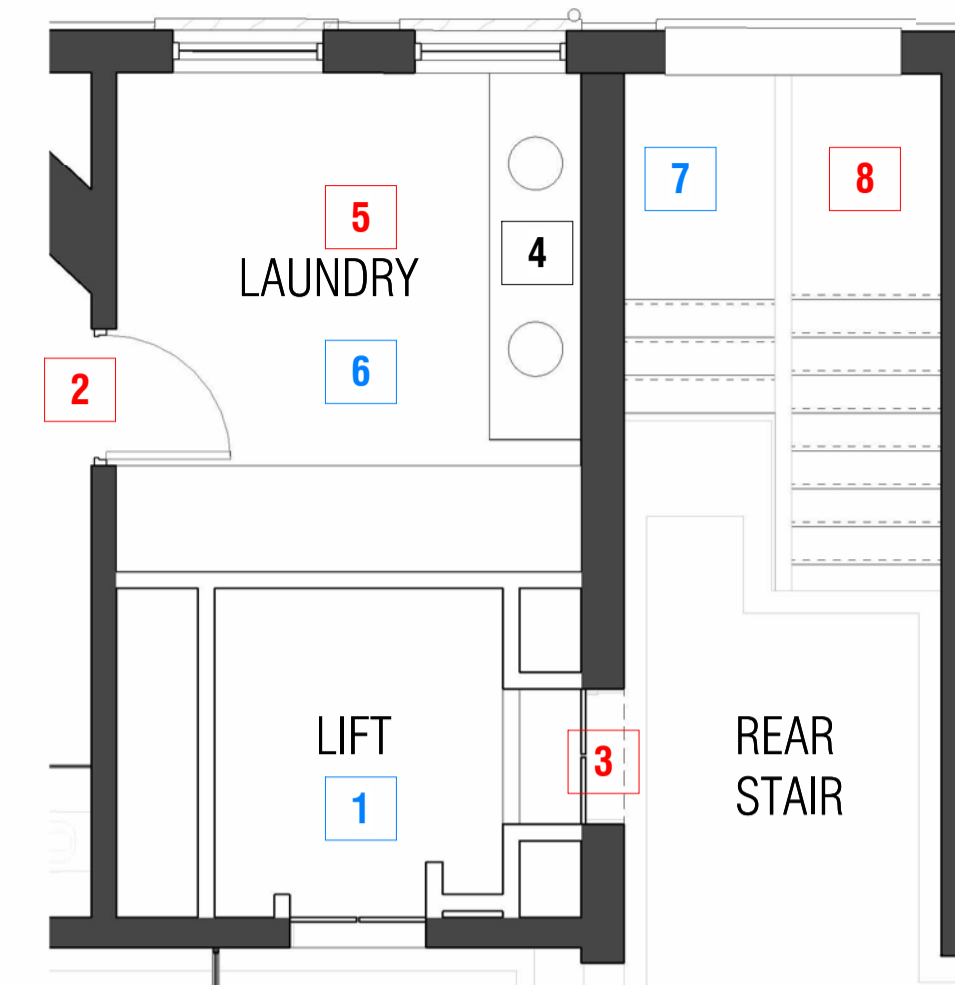
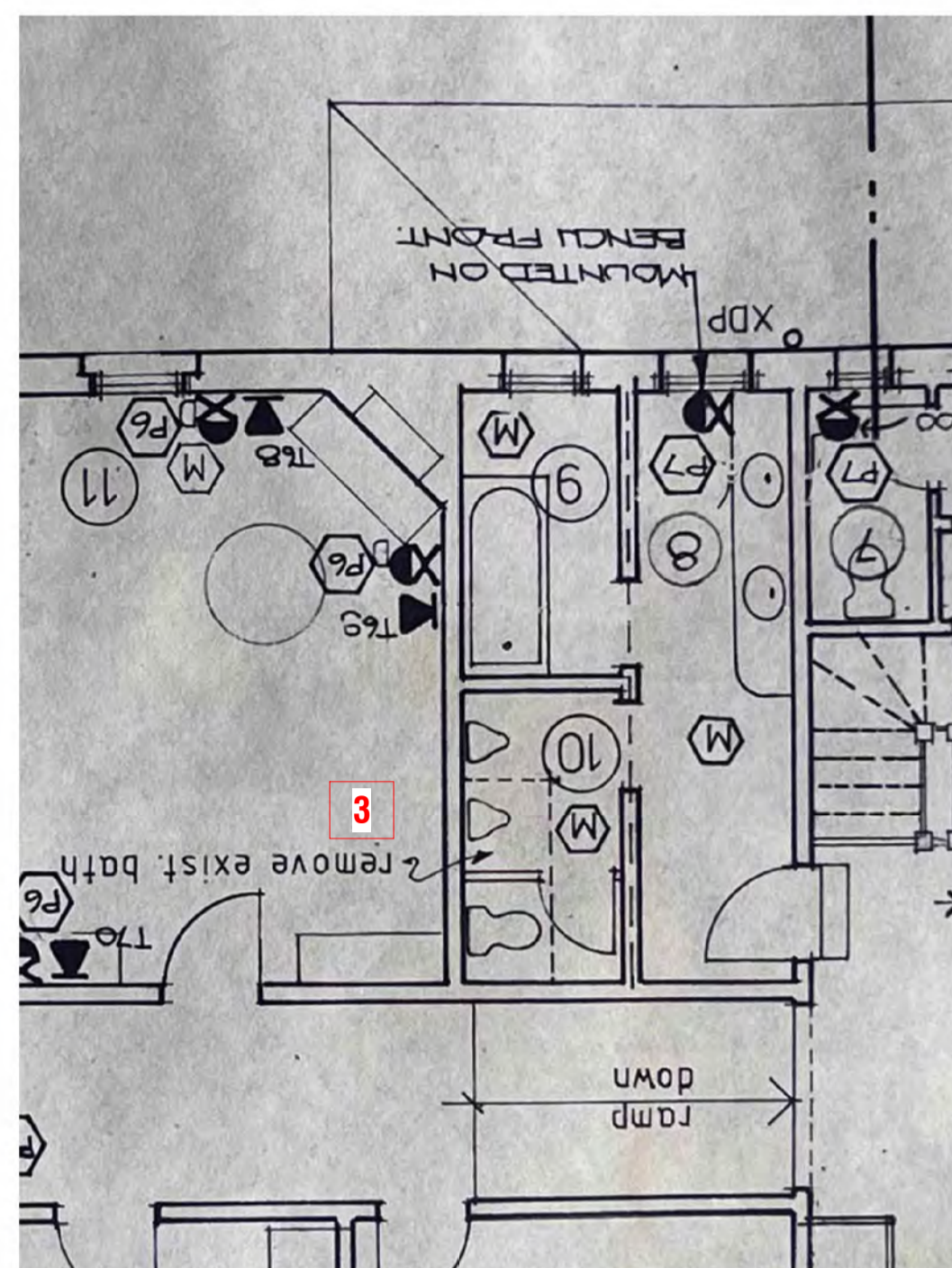


ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001

1. NEW WC / FIXTURES AND FITTINGS
2. NEW PAINT THROUGHOUT INCLUDING PARTITIONS, DOORS, VANITIES & LINING BOARDS
3. BATH TUB REMOVED. NEW WC & URINALS ADDED



PROPOSED ROOM PLAN - L1 LAUNDRY
YEAR: 2024

1. REMOVE URINAL / WC AND PUT IN NEW LIFT SHAFT
2. NEW OPENING TO ORIGINAL WALL. NEW STEEL FRAMED GLAZE DOOR REMOVE DOOR AND STORE
4. VANITY / BASINS / PRESSED METAL PANEL TO REMAIN
5. REMOVE BATH / TIMBER PARTITION WALL FOR STORAGE
6. REMOVE NON-ORIGINAL VINYL FLOORING AND REPLACE WITH NEW TILES
7. REMOVE NON-ORIGINAL WC FIXTURES AND FITTINGS
8. REMOVE WALL PARTITION TO REVEAL ORIGINAL WINDOWS

LEGEND	
RED TEXT	HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS

PHOTO - VIEW AT TOP OF CURRENT REAR STAIR LANDING



1. NON-ORIGINAL VINYL FLOORING ON STAIRS AND LANDING. REMOVE
2. NON-ORIGINAL STAIR HANDRAIL. REMOVE.
3. NON-ORIGINAL DOORS. REMOVE
4. NON-ORIGINAL DUCTING. REMOVE
5. CURRENT PAINT FINISH TO WALL / CEILING. TYPE TBC IF ORIGINAL CURRENT COLOUR: LIGHT WHITE TONE. PROPOSED COLOUR: LIGHT WHITE TONE. DISTEMPER
6. REMOVE WALL ENCLOSURE TO WC BEHIND. MIRROR STAIR, AND RELOCATE TOWARDS EXTERNAL WEST WALL.

PHOTO - VIEW INTO CURRENT FIRST FLOOR BATHROOM



1. VANITY / BASIN AND PRESSED PANELS TO REMAIN
2. PARTITION WALL / DOOR. REMOVED AND STORED ON SITE.
3. LATER ADDITIONAL SERVICES. REMOVE
4. NON-ORIGINAL WINDOW FILM / BLINDS. REMOVE
5. NON-ORIGINAL PAINT FINISH THROUGHOUT. REPAINT
6. NON-ORIGINAL VINYL FLOORING. REMOVE AND TILE OVER
7. NON-ORIGINAL WC / URINAL / WALL PARTITION. REMOVE
8. NON-ORIGINAL SHOWER / BATH WALL SURROUND. REMOVE
9. REMOVE AND STORE ON SITE CURRENT BATH AND BATH SURROUND
10. PRESSED METAL PANELS TO REMAIN

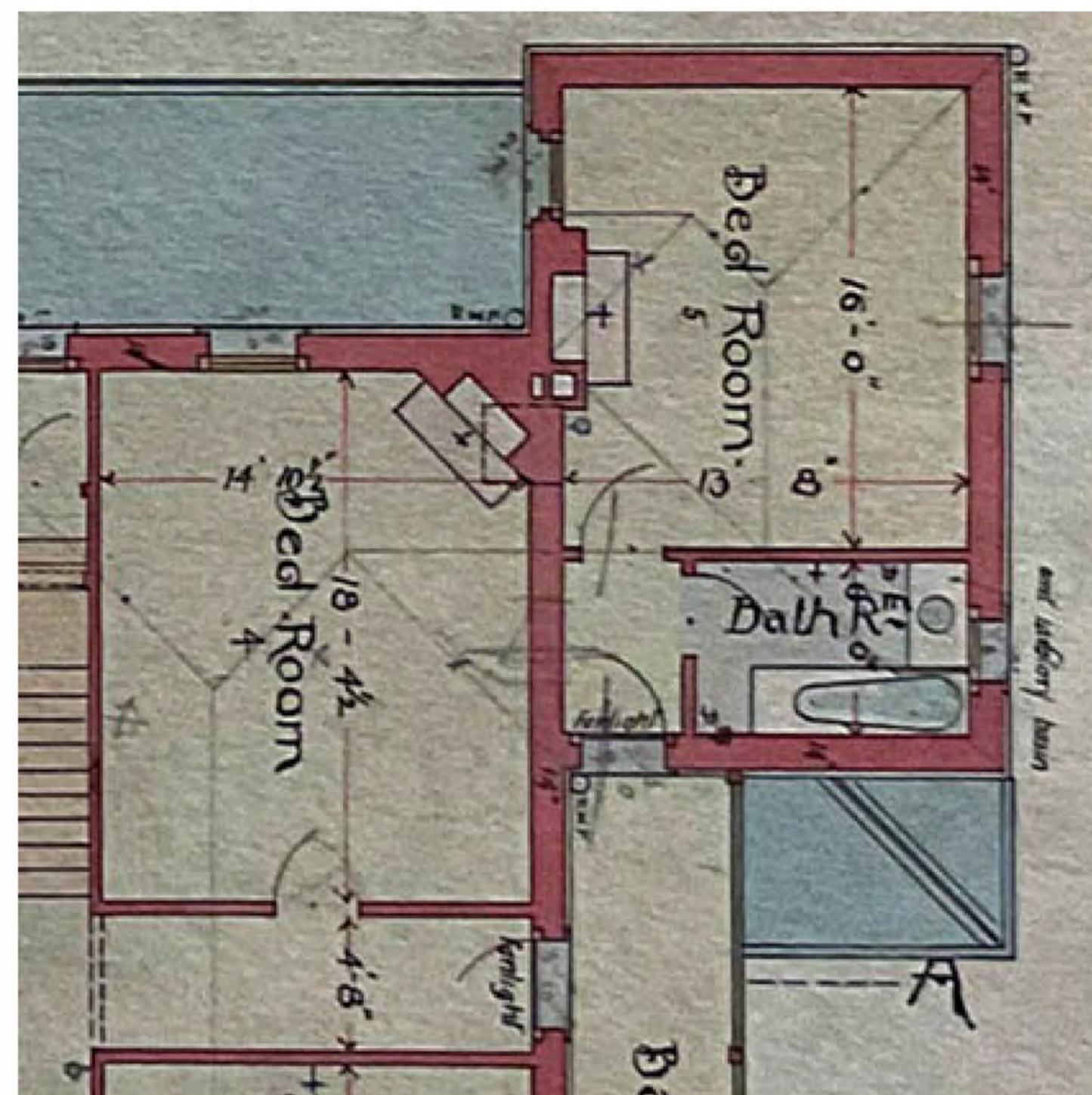


ROOM ANALYSIS - PROPOSED LAUNDRY

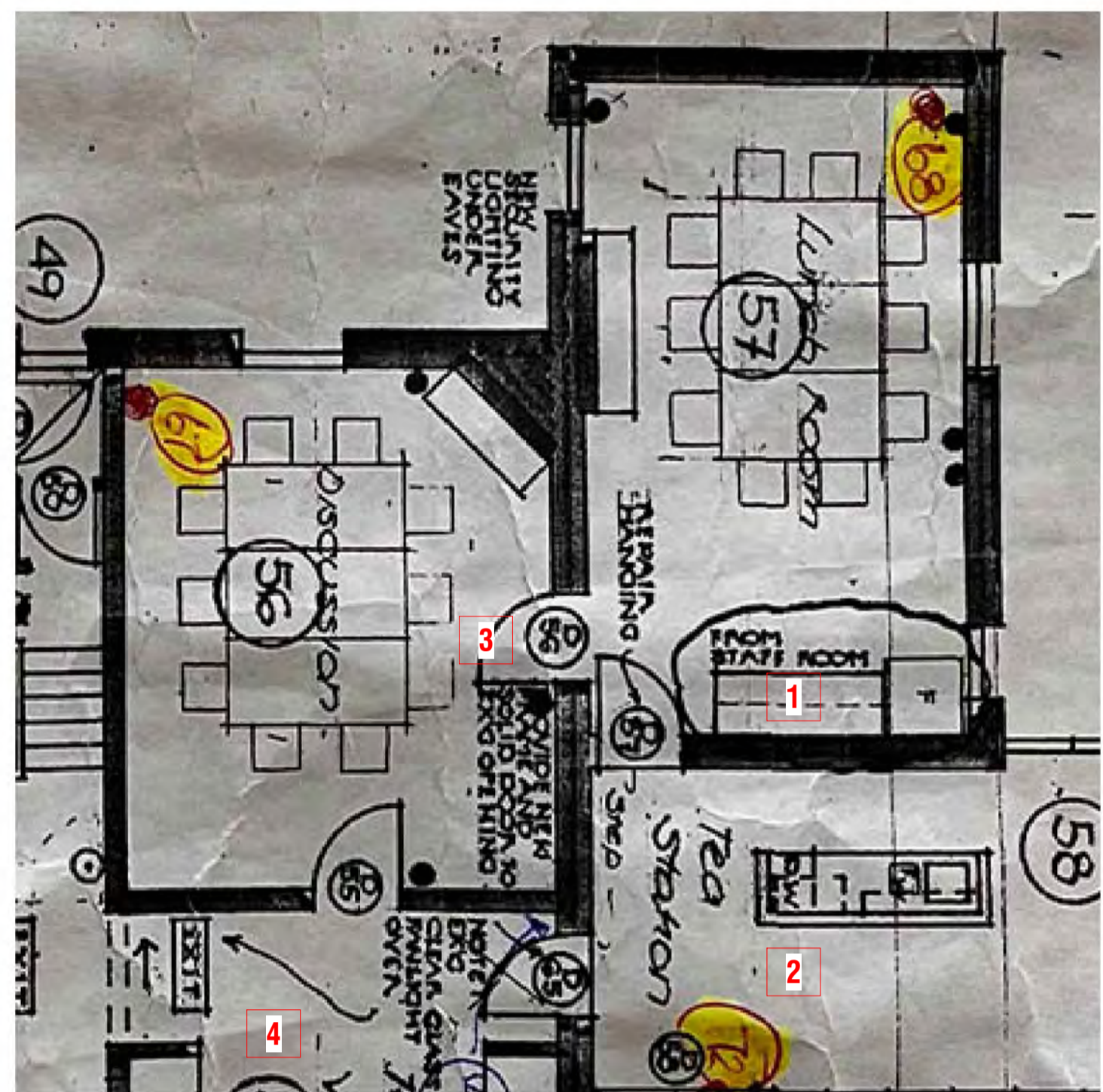
A	HW REF 01	NOV 2024
-	HW LODGE	SEPT 2024
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST	
DRAWING	ROOM ANALYSIS - PROPOSED LAUNDRY	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG '24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600		NORTH
		REVISION A
JOB NO:	2309	H51

LEGEND

RED TEXT	HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS

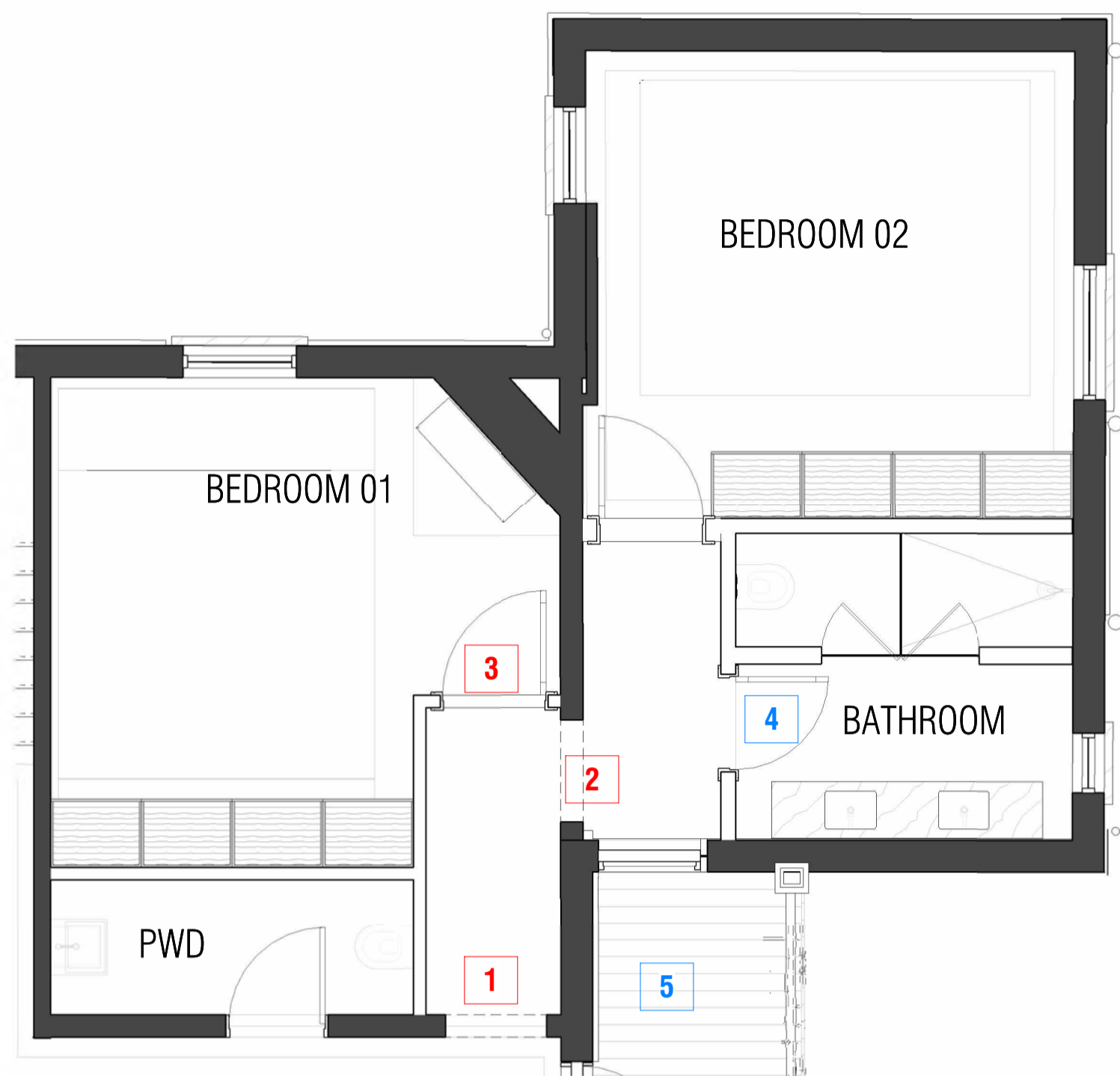


ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001

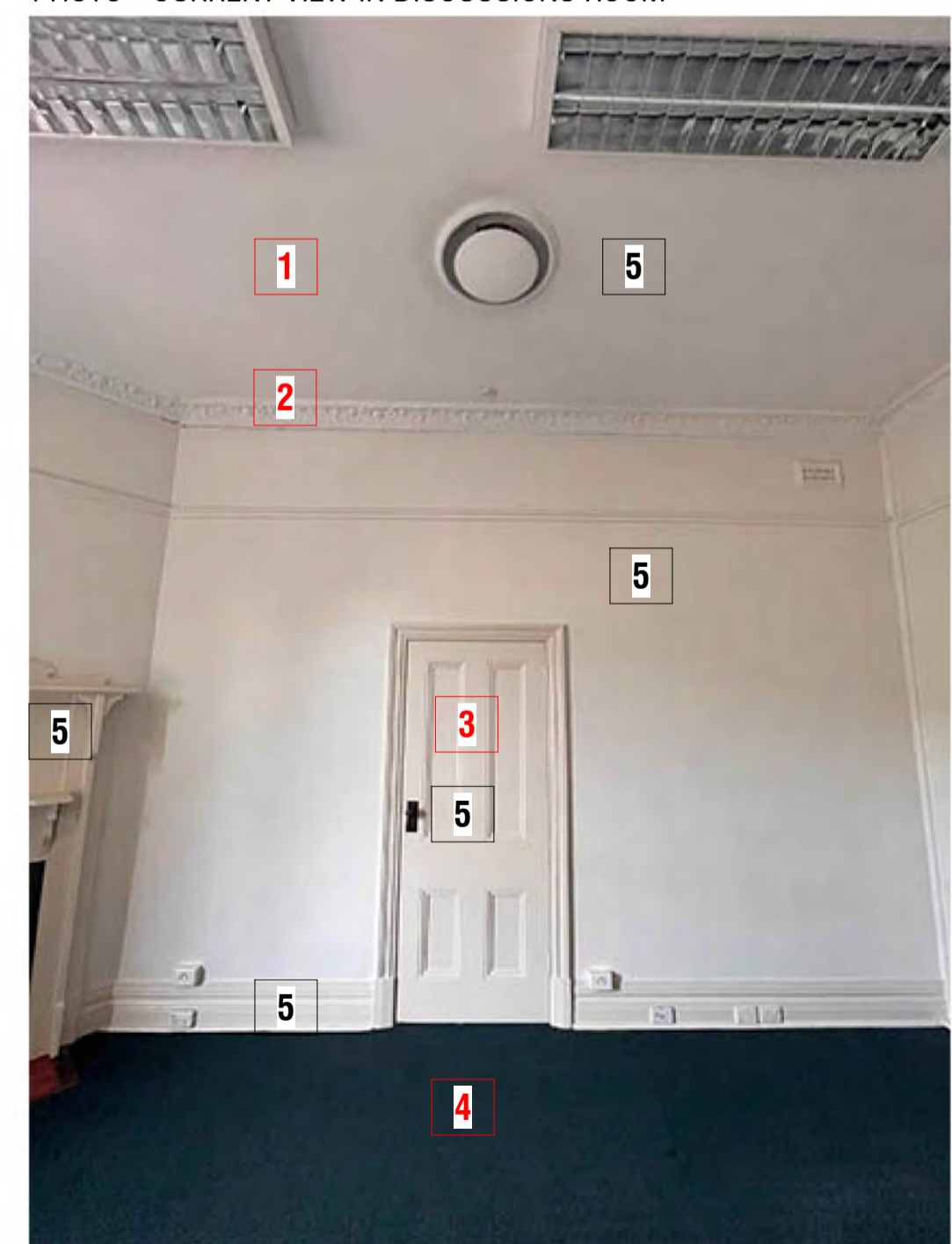
1. ORIGINAL BAHTROOM AND WALLS REMOVED
2. NEW BRIDGE LINK TO BUILDING
3. NEW DOOR OPENING AND DOOR IN WALL ADDED
4. NEW LARGE OPENING IN WALL



PROPOSED ROOM PLAN - BEDROOM
YEAR: 2024

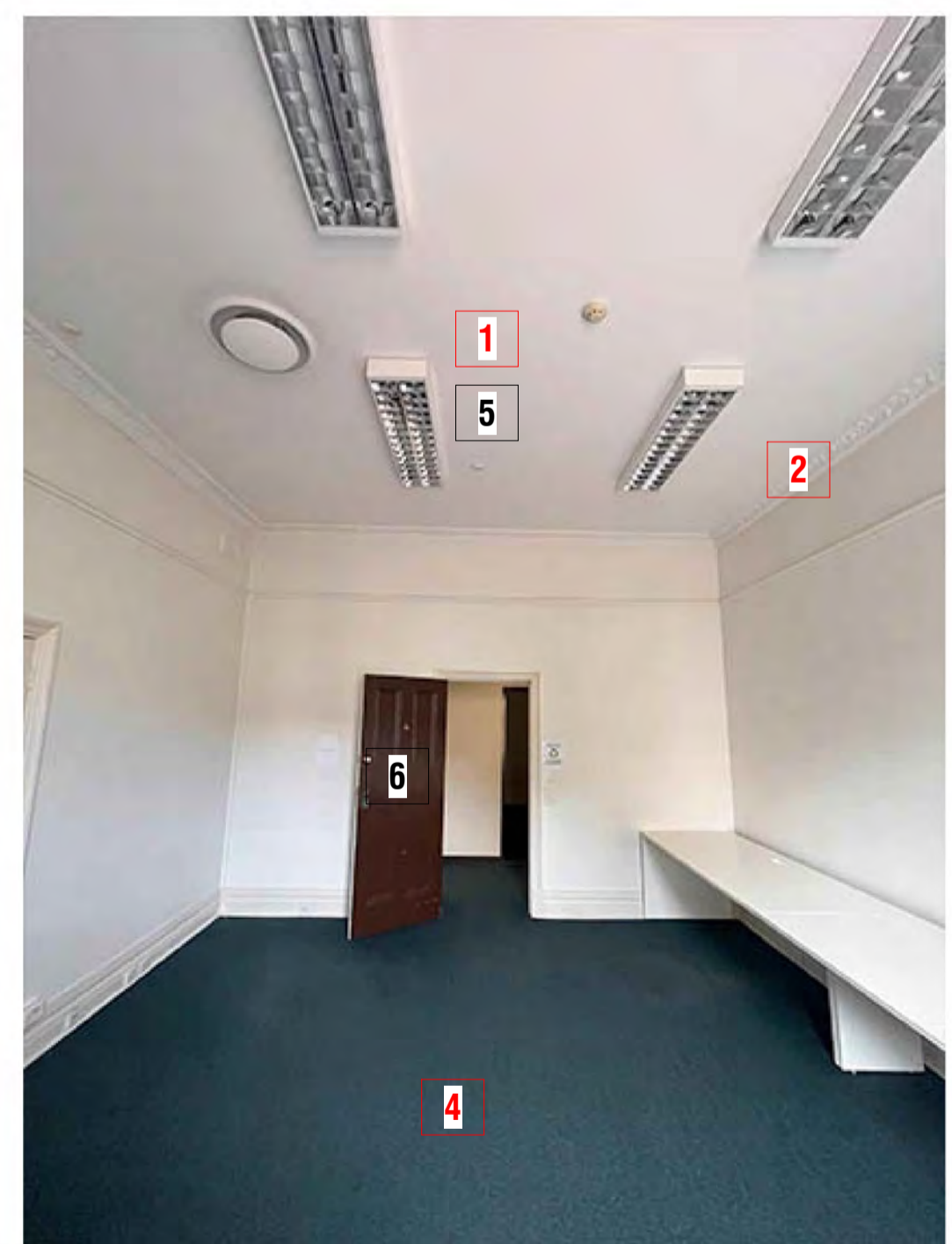
1. NEW OPENING TO ORIGINAL WALL
2. REMOVE NON-ORIGINAL DOOR AND OPENING AND SHIFT OPENING
3. CREATE SEPARATE BEDROOM AND POWDER ROOM IN SPACE
4. REINSTATE SEPARATE BATHROOM AND BEDROOM
5. REINSTATE OPEN VERANDAH ON FIRST FLOOR

PHOTO - CURRENT VIEW IN DISCUSSIONS ROOM



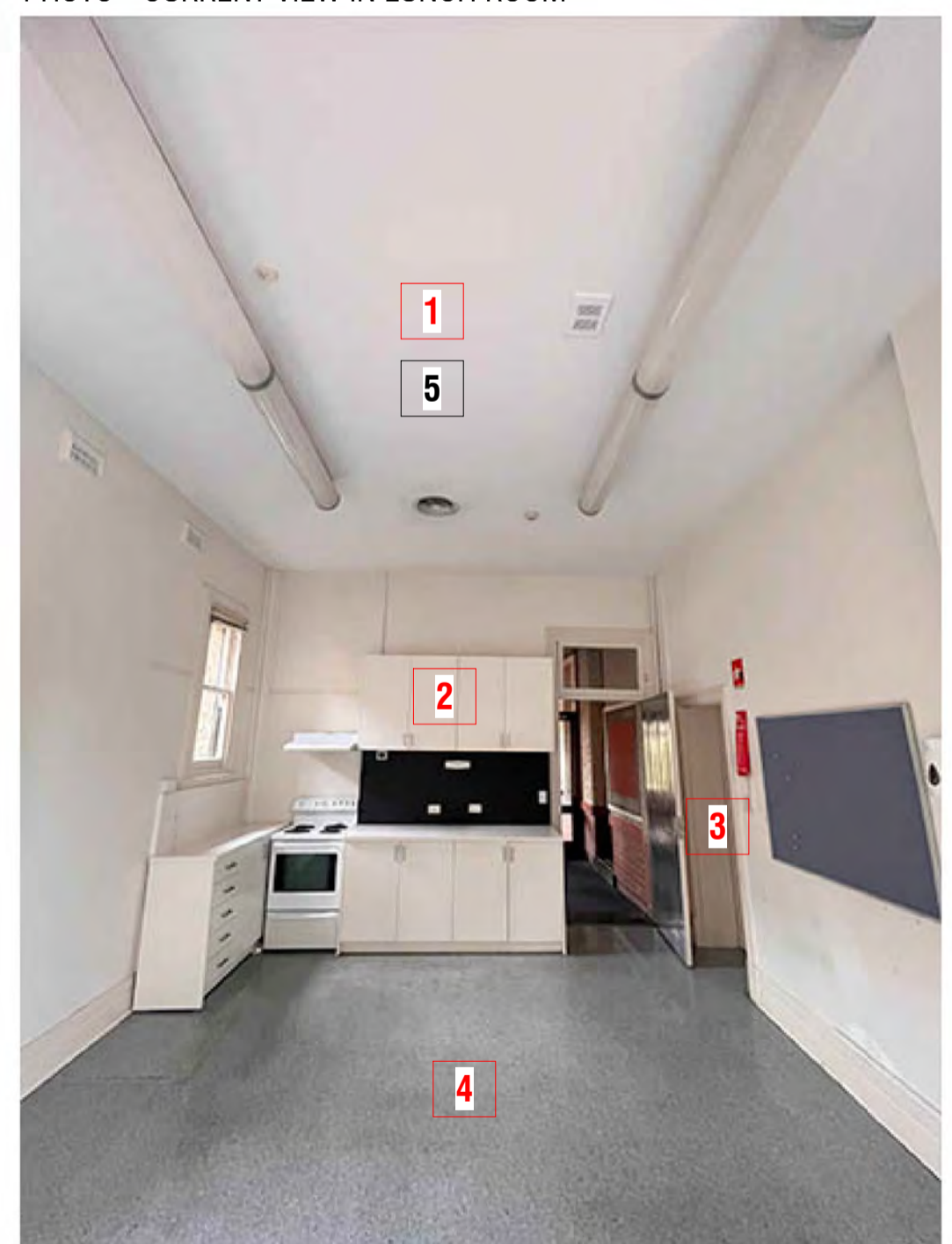
1. NON-ORIGINAL CEILING / LIGHT FITTINGS / HVAC VENTS. REMOVE
2. NON-ORIGINAL PLASTER CORNICE MOULD. REMOVE
3. NON-ORIGINAL DOOR AND OPENING. RELOCATE AND INFILL.
4. NON-ORIGINAL CARPET. REMOVE. NEW TIMBER FLOOR OVER
5. CURRENT PAINT FINISH TO CEILING / WALL / ARCHITRAVE / DOOR FACING ROOM / SKIRTING / FIREPALCE MANTLE. CURRENT PAINT FINISH TYPE: TBC CURRENT PAINT COLOUR: LIGHT WHITE TONE. PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER

PHOTO - CURRENT VIEW IN LUNCH ROOM



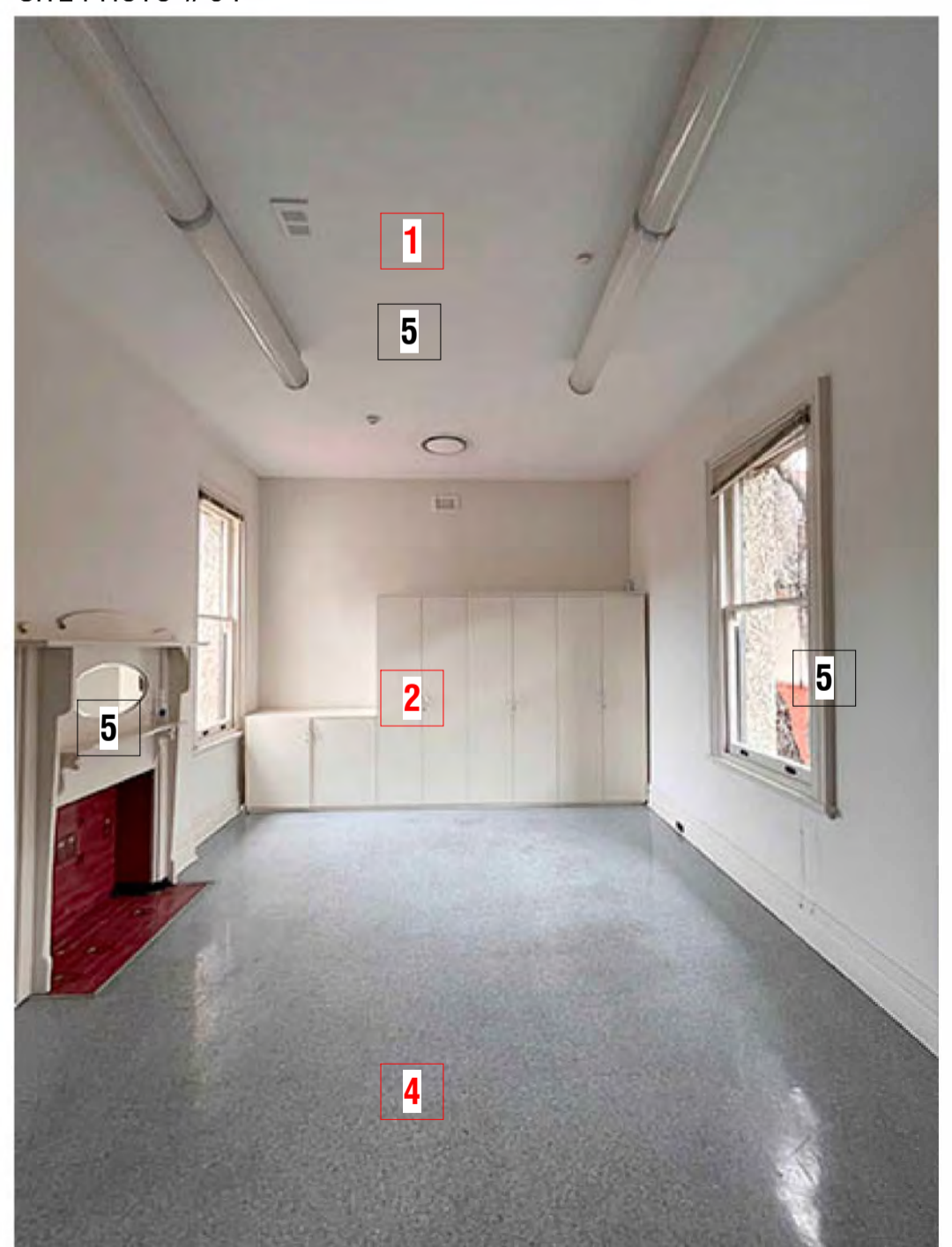
6. CURRENT PAINT FINISH TO DOOR FACING HALLWAY CURRENT COLOUR: BROWN. TBC IF ORIGINAL

PHOTO - CURRENT VIEW IN LUNCH ROOM



1. NON-ORIGINAL CEILING / LIGHT FITTINGS / HVAC VENTS. REMOVE
2. NON-ORIGINAL JOINERY. REMOVE
3. NON-ORIGINAL DOOR AND OPENING. RELOCATE.
4. NON-ORIGINAL VINYL. REMOVE. NEW TIMBER FLOOR OVER
5. CURRENT PAINT FINISH TO CEILING / WALL / ARCHITRAVE / DOOR FACING ROOM / SKIRTING / FIREPALCE MANTLE. CURRENT PAINT FINISH TYPE: TBC CURRENT PAINT COLOUR: LIGHT WHITE TONE. PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER

SITE PHOTO #54

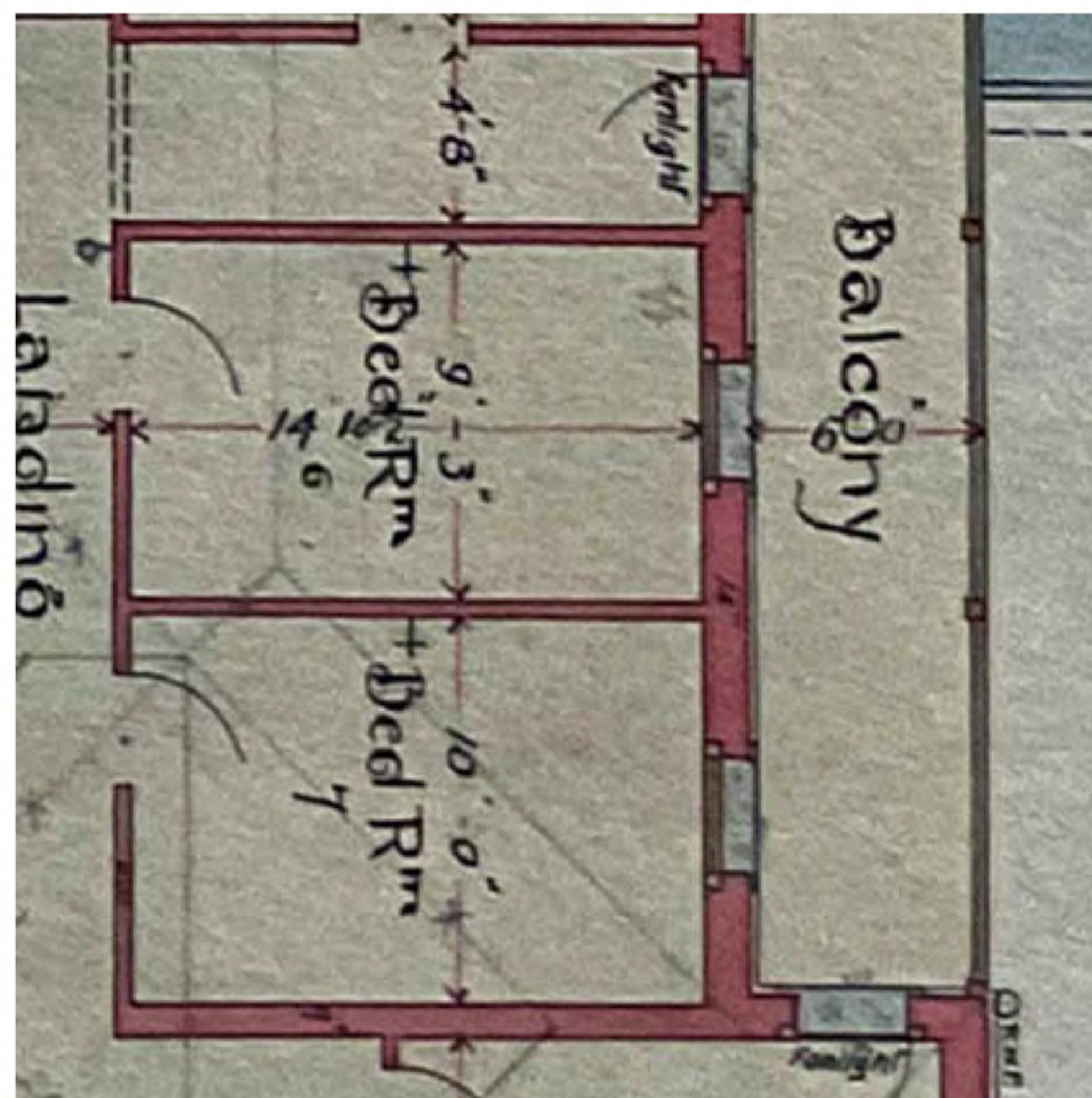


1. NON-ORIGINAL CEILING / LIGHT FITTINGS / HVAC VENTS. REMOVE
5. CURRENT PAINT FINISH TO CEILING / WALL / ARCHITRAVE / DOOR FACING ROOM / SKIRTING / FIREPALCE MANTLE. CURRENT PAINT FINISH TYPE: TBC CURRENT PAINT COLOUR: LIGHT WHITE TONE. PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER

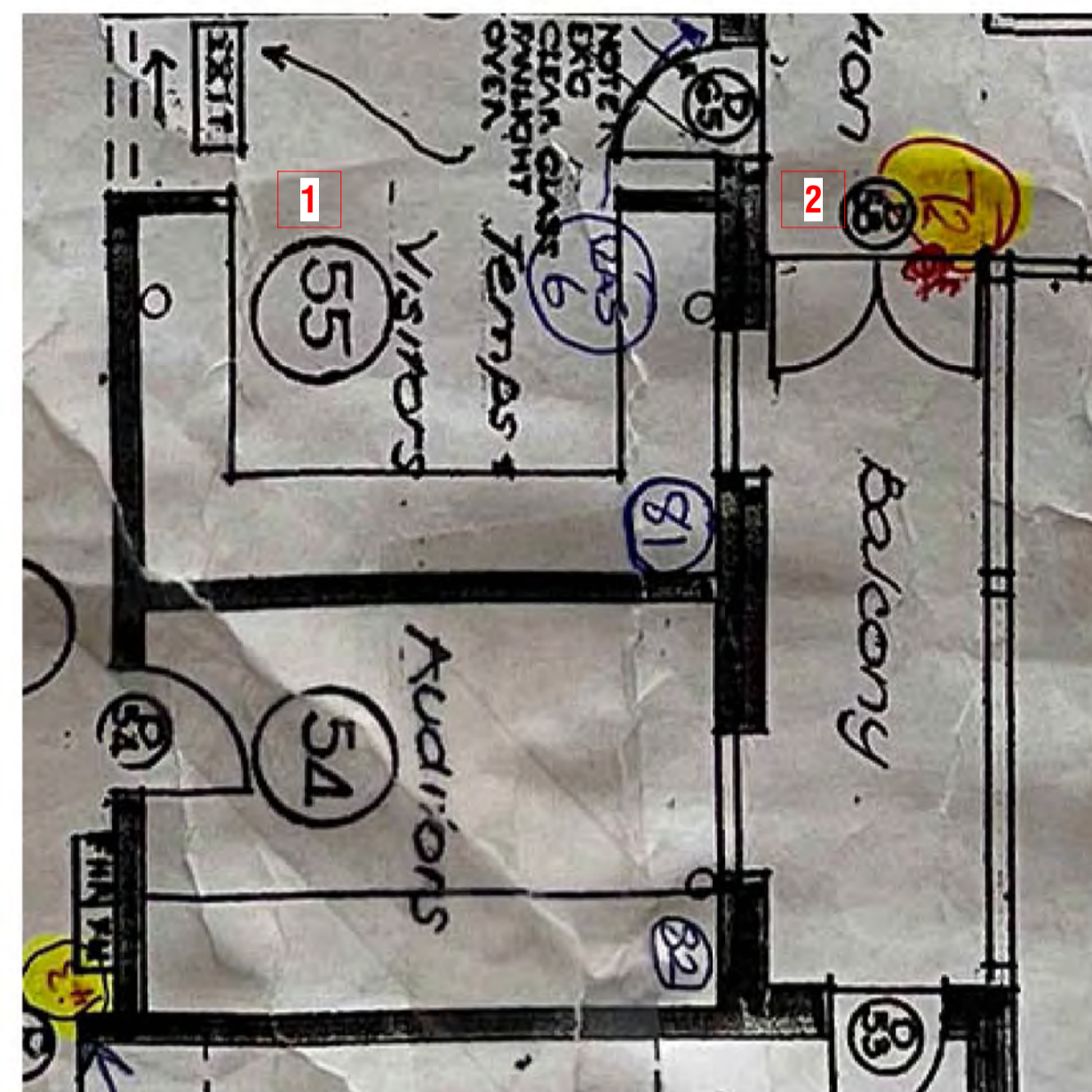
A	HV RFI 01	NOV 2024
-	HV LODGE	SEPT 2024
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST	
DRAWING	ROOM ANALYSIS - PROPOSED BEDROOM 01 & 02	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG '24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 8416 1600		NORTH
REVISION A		
JOB NO:	2309	H52

ROOM ANALYSIS - PROPOSED BEDROOM 01 & 02

LEGEND	
RED TEXT	HISTORIC ALTERATION AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS

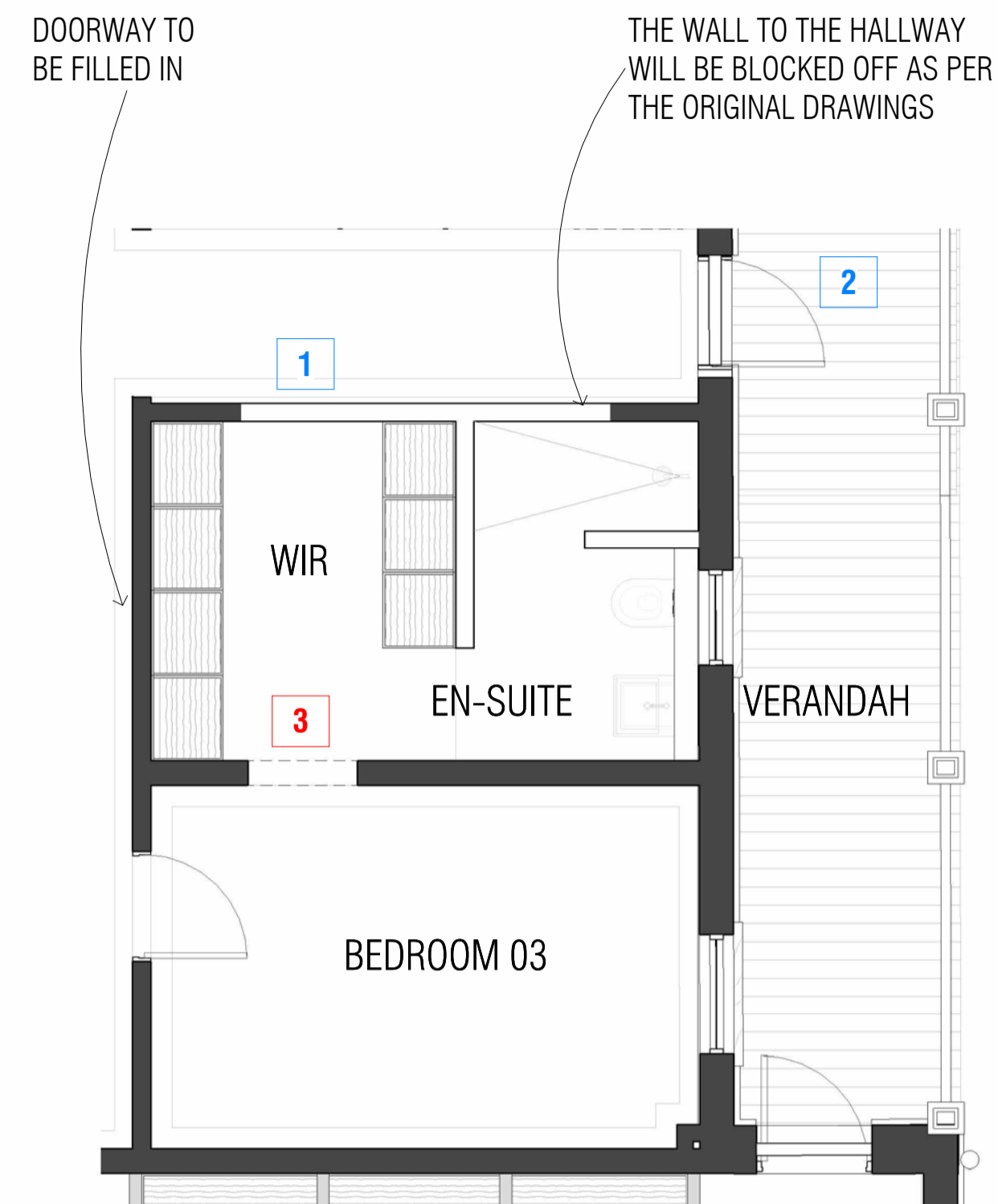


ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001

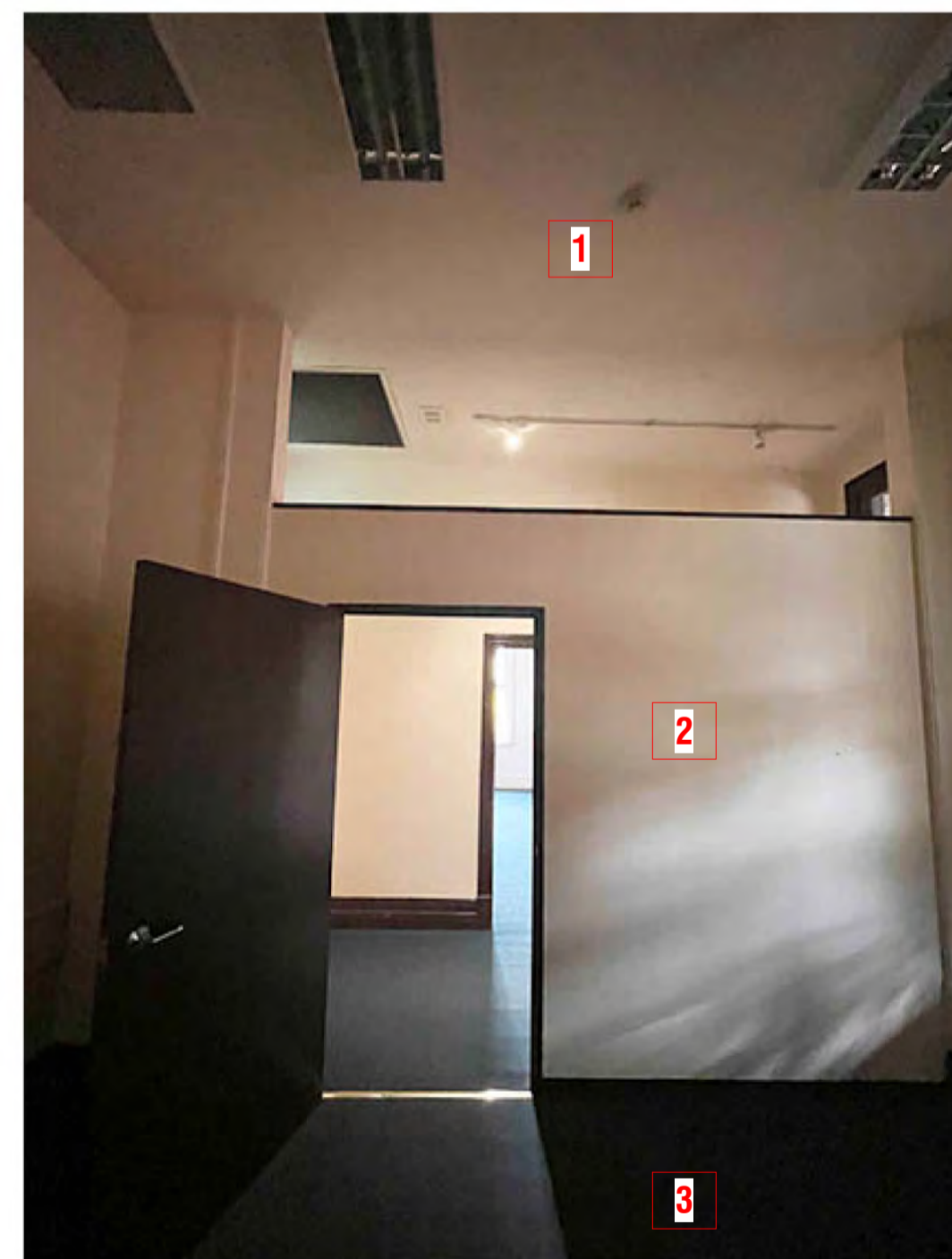
- 1. NEW OPENING TO ORIGINAL WALL.
- 2. NEW BRIDGE LINK TO BALCONY



PROPOSED ROOM PLAN - BEDROOM
YEAR: 2024

- 1. INFILL NON-ORIGINAL WALL OPENING
- 2. REMOVE BRIDGE LINK AND REINSTATE VERANDAH
- 3. NEW OPENING IN WALL

PHOTO - VIEW TOWARDS CURRENT OPENING TO HALLWAY



- 1. NON-ORIGINAL LIGHT FITTINGS / CEILING GRILLES. REMOVE
- 2. NON-ORIGINAL, LOW PARTITION WALL AND DOOR. REMOVE
- 3. NON-ORIGINAL CARPET. REMOVE. NEW TIMBER FLOOR

PHOTO - VIEW OF CURRENT AUDITORS ROOM



- 1. NON-ORIGINAL LIGHT FITTING. REMOVE
- 2. NON-ORIGINAL CARPET. REMOVE
- 3. CURRENT PAINT FINISH TO CEILING / WALL / ARCHITRAVE / DOOR FACING ROOM / SKIRTING
CURRENT PAINT FINISH TYPE: TBC
CURRENT PAINT COLOUR: LIGHT WHITE TONE.
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER

A	HW RFI 01	NOV 2024
-	HW LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - PROPOSED BEDROOM 03

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

be architecture

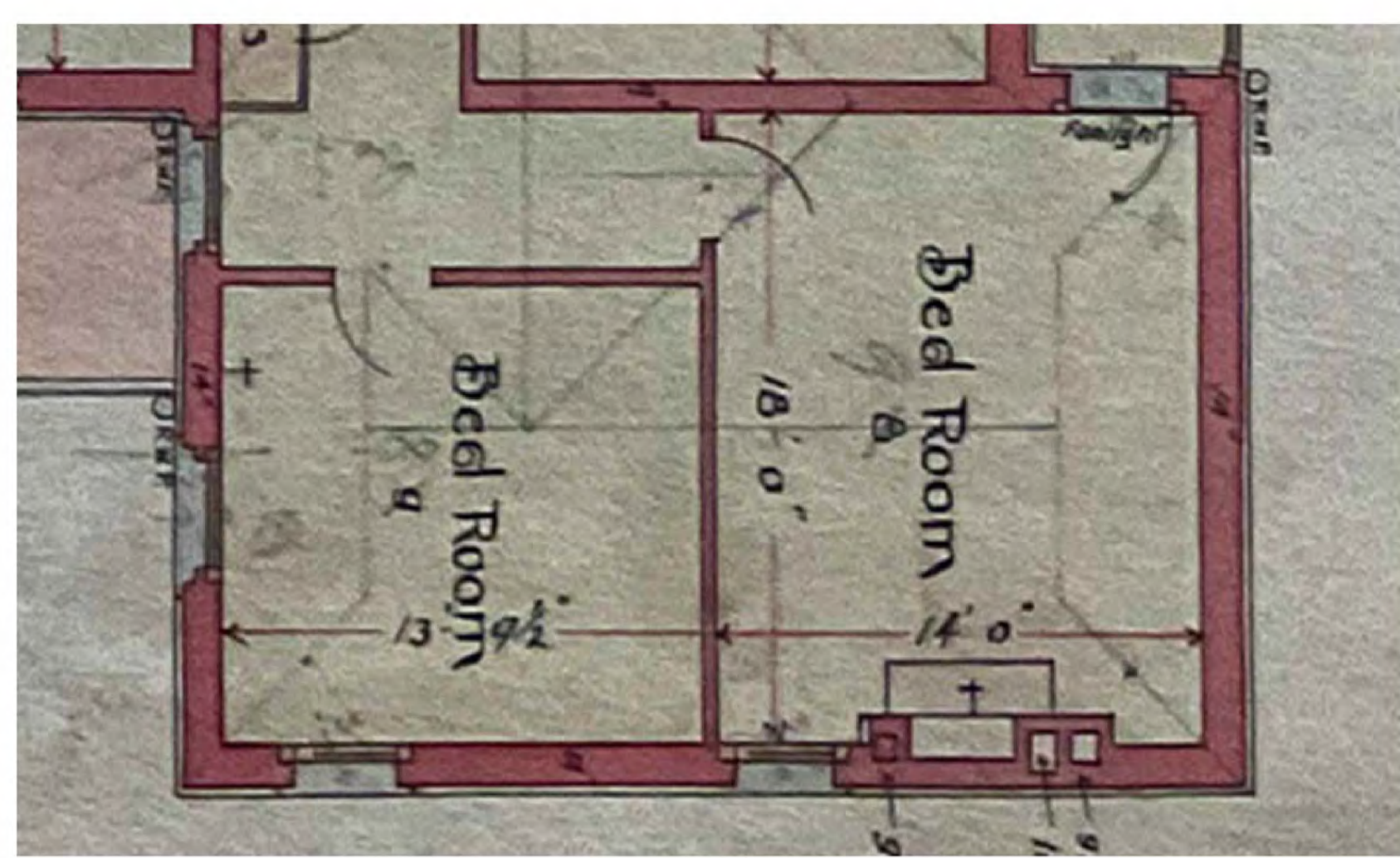
100 Stephenson Street, Cremorne VIC 3121 P: 03 9416 1600

REVISION A

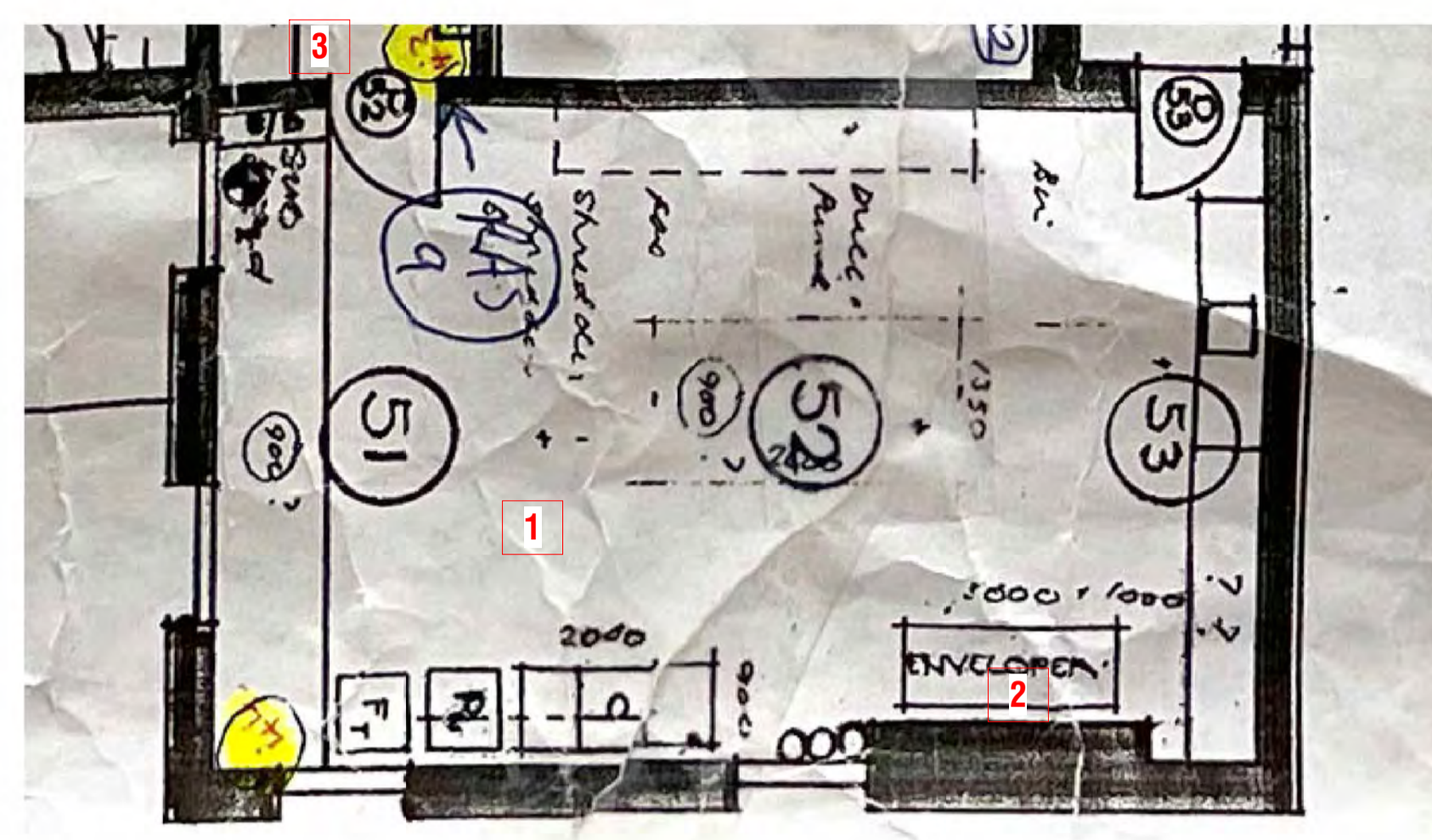
JOB NO: 2309

LEGEND

RED TEXT	HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS

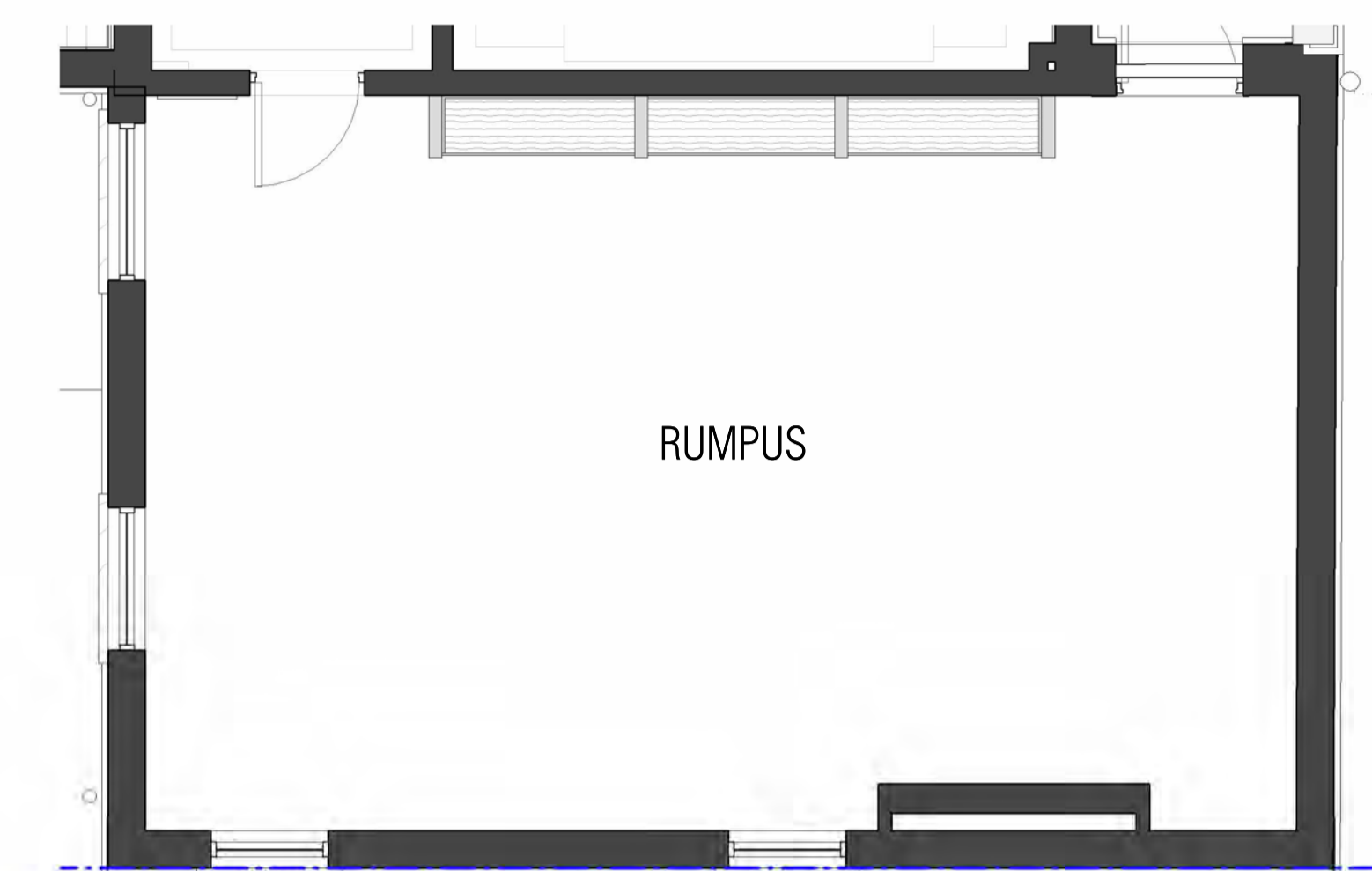


ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001

- ORIGINAL BEDROOM LAYOUT CHANGED. WALLS REMOVED
- ORIGINAL FIREPLACE BLOCKED OFF AND BUID OVER
- NEW WALL AND DOOR BUILT TO HALLWAY



PROPOSED ROOM PLAN - L1 RUMPUS
YEAR: 2024

PHOTO - CURRENT VIEW OF ROOM FACING SOUTH



PHOTO - CURRENT VIEW OF ROOM WITH NON-ORIGINAL WALL



PHOTO - CURRENT VIEW OF ROOM FACING NORTH

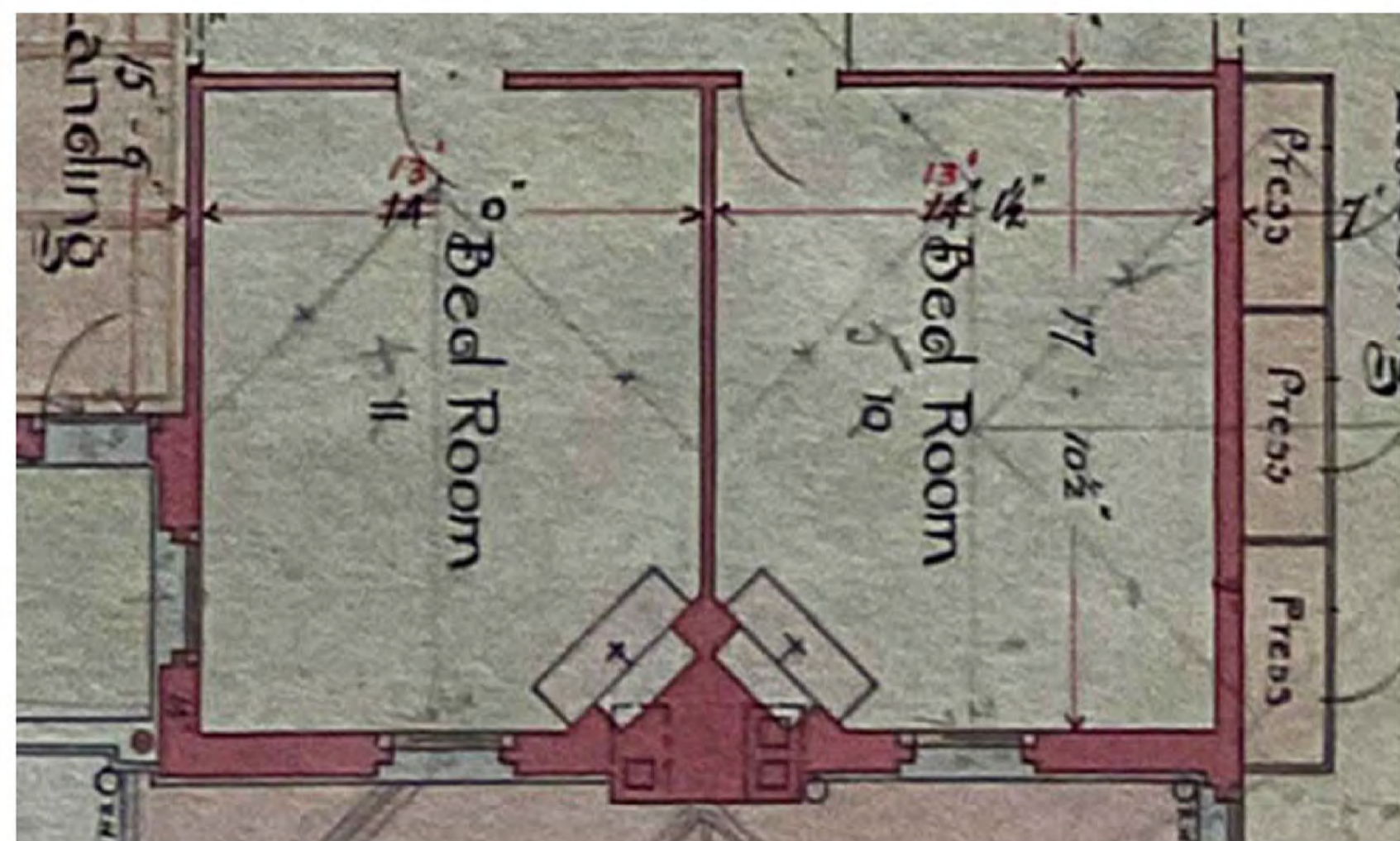


- NON-ORIGINAL CEILING / LIGHT FITTINGS / VENTS. REMOVE
- NON-ORIGINAL PAINT TO CEILING / WALLS / ARCH / SKIRTING. REPAINT
- NON-ORIGINAL WALL / WINDOW / DOOR INFILL TO HALLWAY. RE-BUILD.
- NON-ORIGINAL CARPET. REMOVE.
- NEW TIMBER FLOOR
- NON-ORIGINAL WALL OVER ORIGINAL FIREPLACE BREST.
- NON-ORIGINAL SERVICES DUCT. REMOVE.

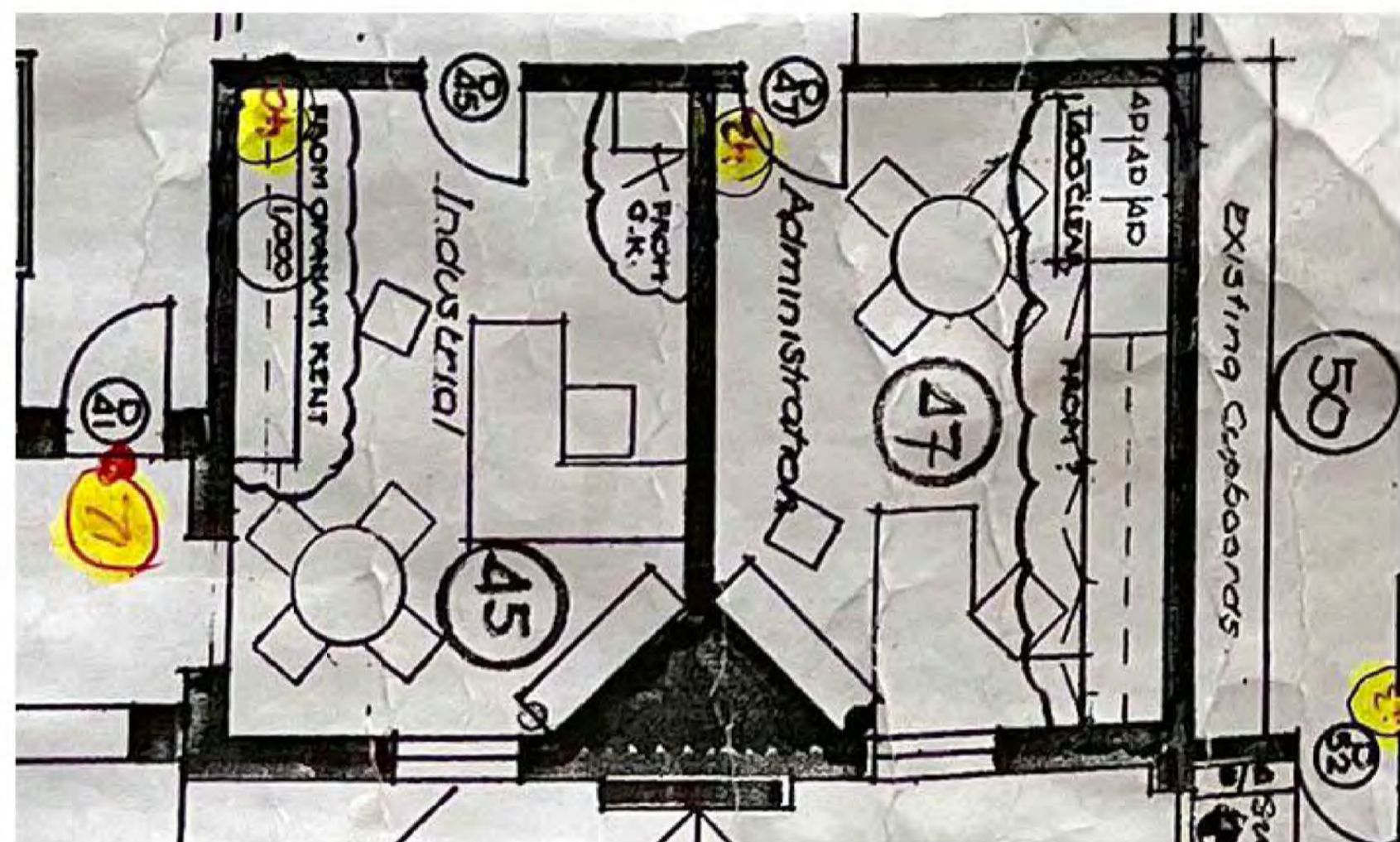
A	HW RFI 01	NOV 2024
-	HW LODGE	SEPT 2024
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST	
DRAWING	ROOM ANALYSIS - PROPOSED RUMPUS	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG '24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600		NORTH
REVISION A		
JOB NO:	2309	H54

LEGEND

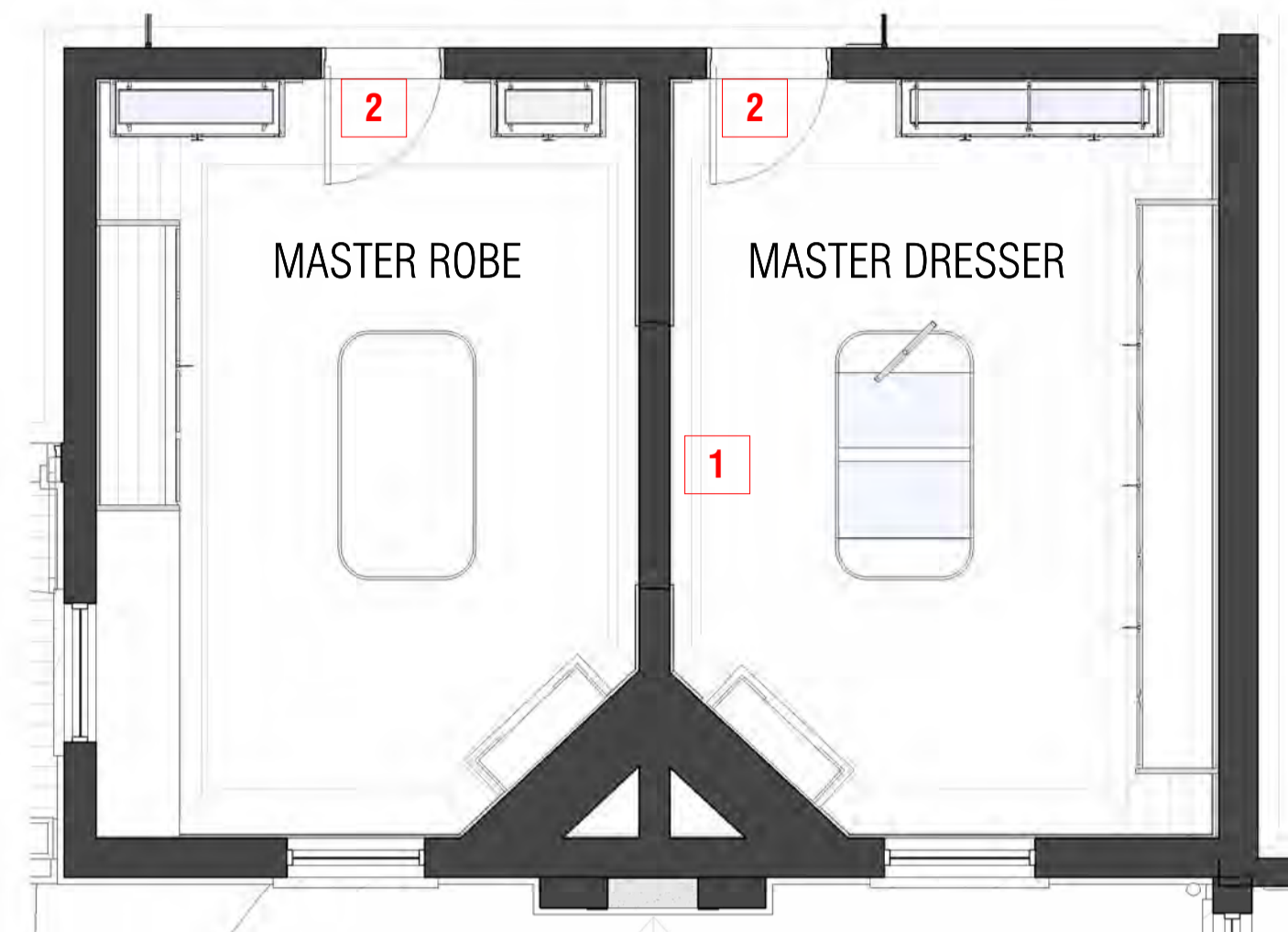
RED TEXT	HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT	PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS



ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001



PROPOSED ROOM PLAN - L1 MASTER ROBE & DRESSER
YEAR: 2024

- 1. NEW OPENING TO WALL
- 2. SWAP HINGE SIDE TO DOORS

PHOTO - CURRENT VIEW OF INDUSTRIAL ROOM



- 1. NON-ORIGINAL COMMERCIAL LIGHTS & VENTS. REMOVE
- 2. NON-ORIGINAL CARPET. REMOVE
- 3. CURRENT PAINT FINISH TO CEILING / WALL / ARCHITRAVE / DOOR FACING ROOM / SKIRTING / FIREPLACE MANTLE
CURRENT PAINT FINISH TYPE: TBC
CURRENT PAINT COLOUR: LIGHT WHITE TONE.
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER

PHOTO - CURRENT VIEW OF ADMINISTRATION ROOM



- 1. NON-ORIGINAL COMMERCIAL LIGHTS & VENTS. REMOVE
- 2. NON-ORIGINAL CARPET. REMOVE
- 3. CURRENT PAINT FINISH TO CEILING / WALL / ARCHITRAVE / DOOR FACING ROOM / SKIRTING
CURRENT PAINT FINISH TYPE: TBC
CURRENT PAINT COLOUR: LIGHT WHITE TONE.
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER
- 4. FIREPLACE TO REMAIN.
TIMBER MANTLE - TIMBER TYPE TBC
TIMBER FINISH - VARNISH. TBC IF ORIGINAL

A	HV RFI 01	NOV 2024
-	HV LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - PROPOSED MASTER ROBE

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG '24

SHEET SIZE A3

FILE b.e

be architecture

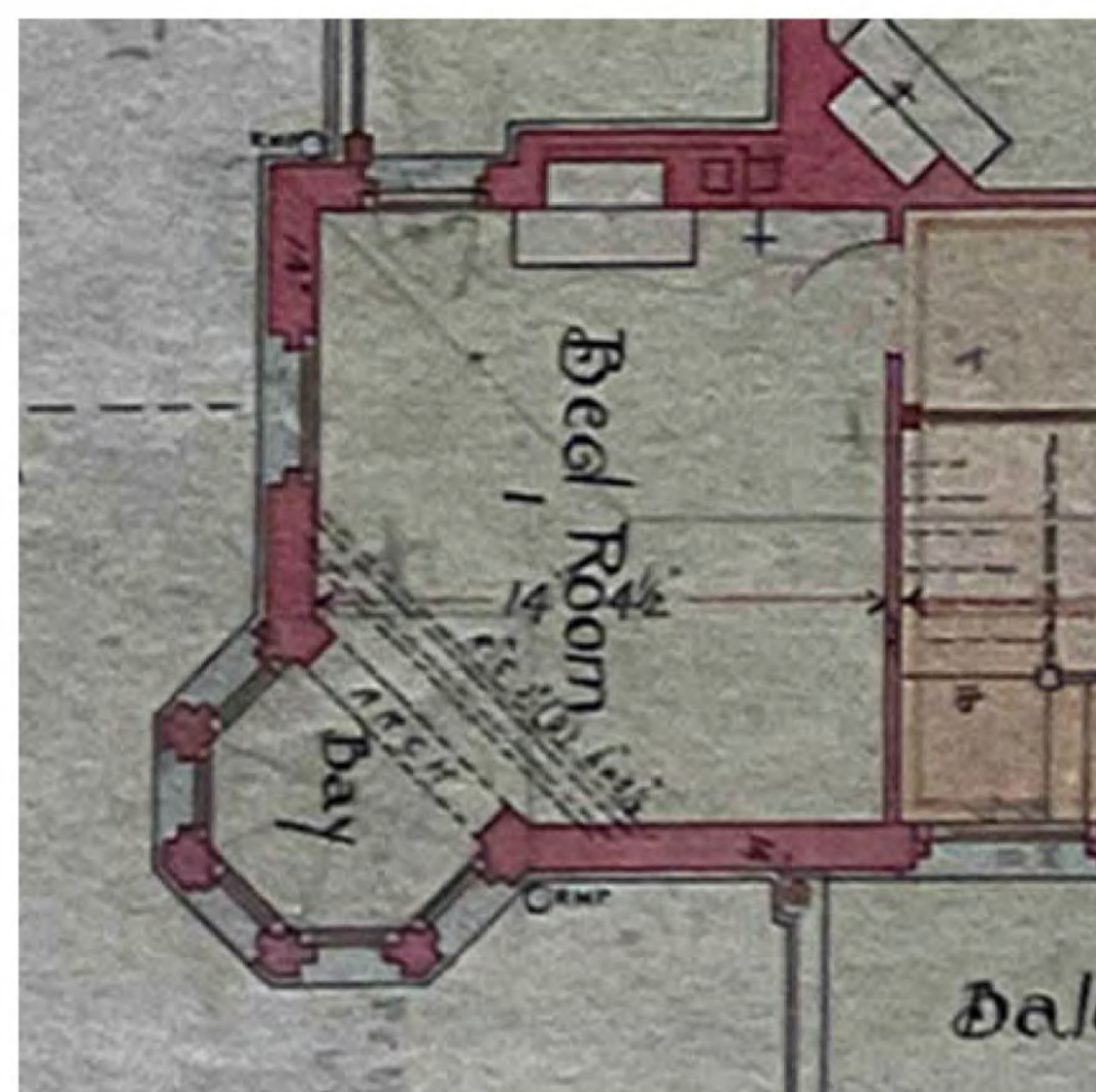
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REVISION A

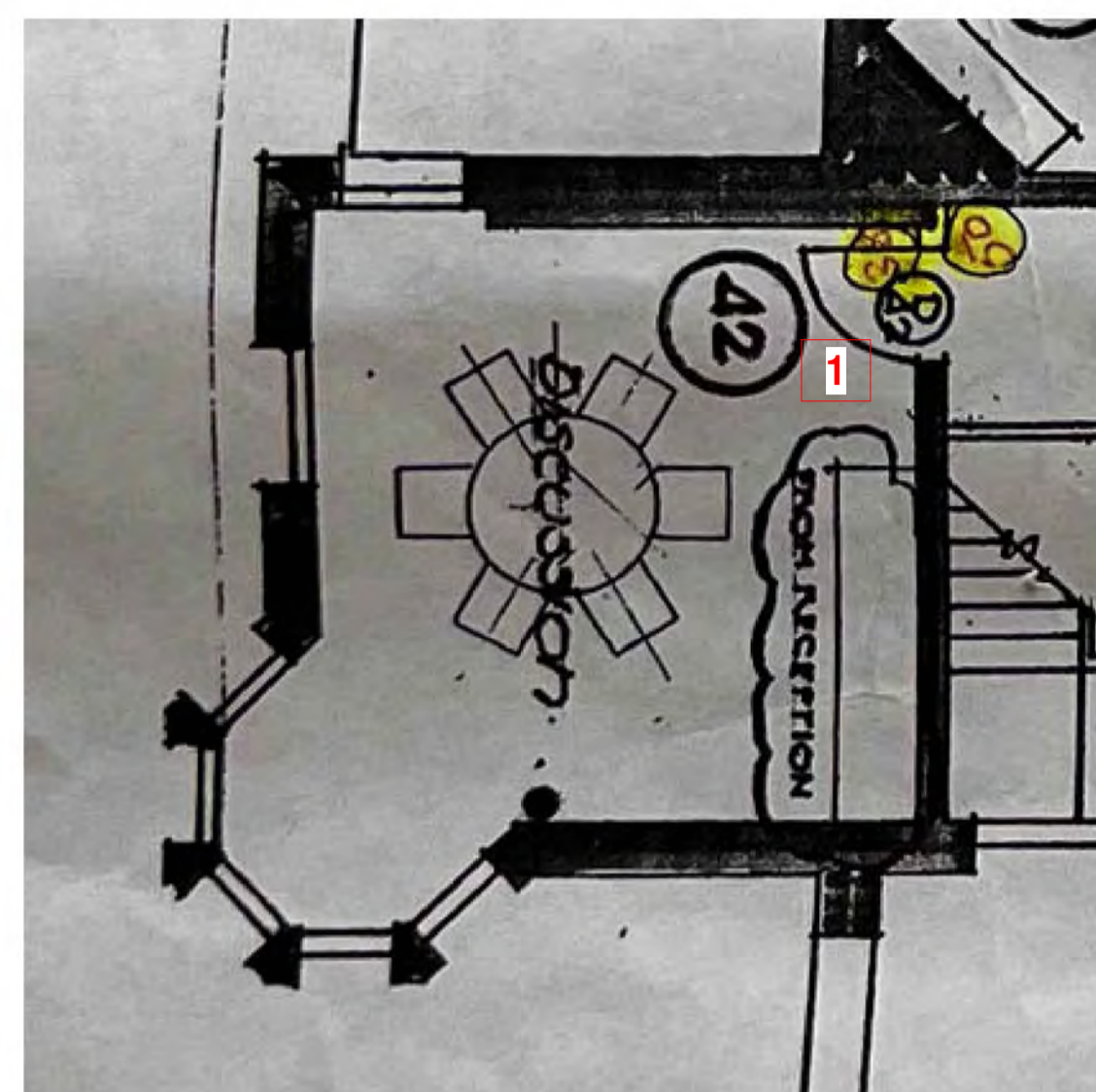
JOB NO: 2309 H55

LEGEND

- RED TEXT** HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
- BLUE TEXT** PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS

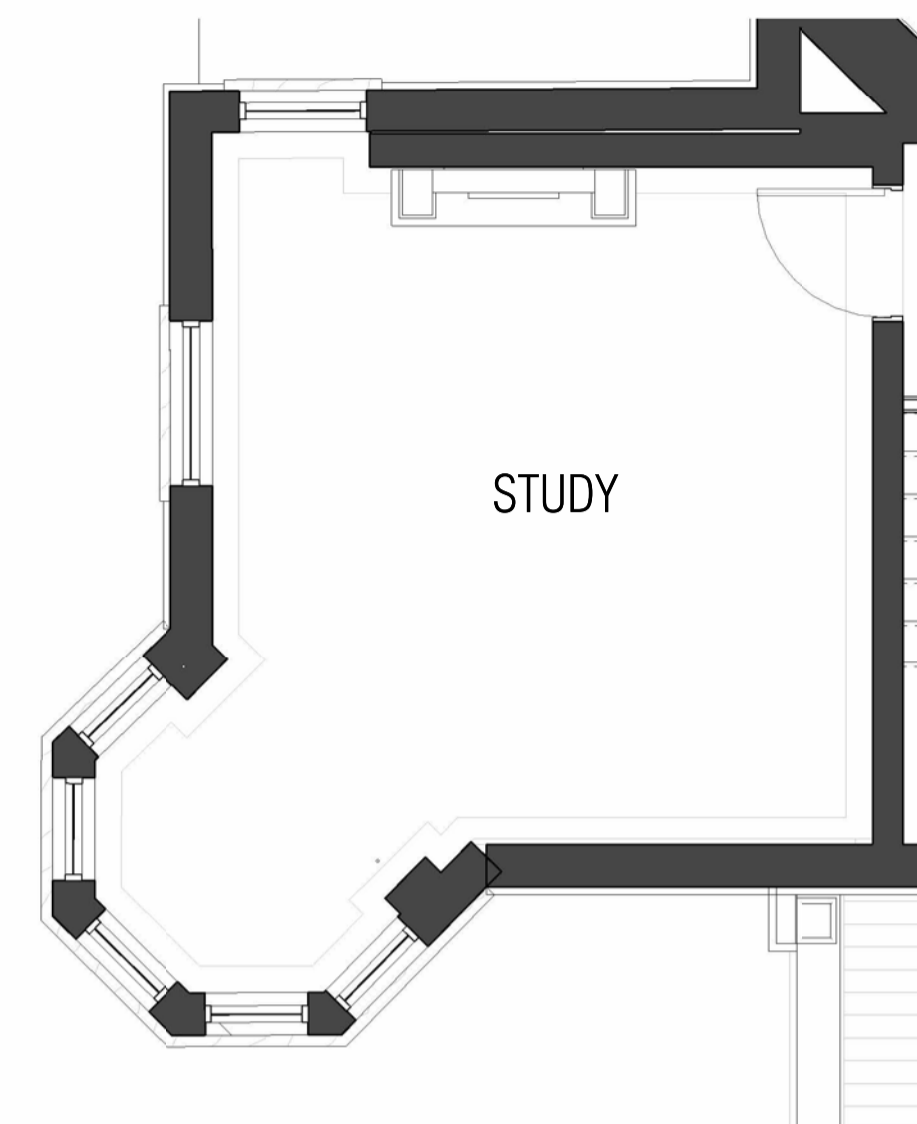


ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001

1. DOOR HING SWAPPED



PROPOSED ROOM PLAN - L1 STUDY
YEAR: 2024

PHOTO - VIEW OF CURRENT BAY WINDOW



PHOTO - VIEW OF CURRENT ROOM FACING WEST



1. **NON-ORIGINAL WINDOW FILM. REMOVE**
2. STAINED GLASS TO REMAIN.
3. **NON-ORIGINAL CARPET. REMOVE**
4. CURRENT PAINT FINISH TO CEILING / WALL / ARCHITRAVE / DOOR FACING ROOM / SKIRTING
CURRENT PAINT FINISH TYPE: TBC
CURRENT PAINT COLOUR: LIGHT WHITE TONE.
PROPOSED PAINT COLOUR: LIGHT WHITE TONE. DISTEMPER
5. **NON-ORIGINAL WINDOW BLINDS. REMOVE**
6. FIREPLACE TO REMAIN.
TIMBER MANTLE - TIMBER TYPE TBC
TIMBER FINISH - VARNISH. TBC IF ORIGINAL

A	HV RR 01	NOV 2024
-	HV LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - PROPOSED STUDY

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG '24

SHEET SIZE A3

FILE b.e

be architecture

100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600

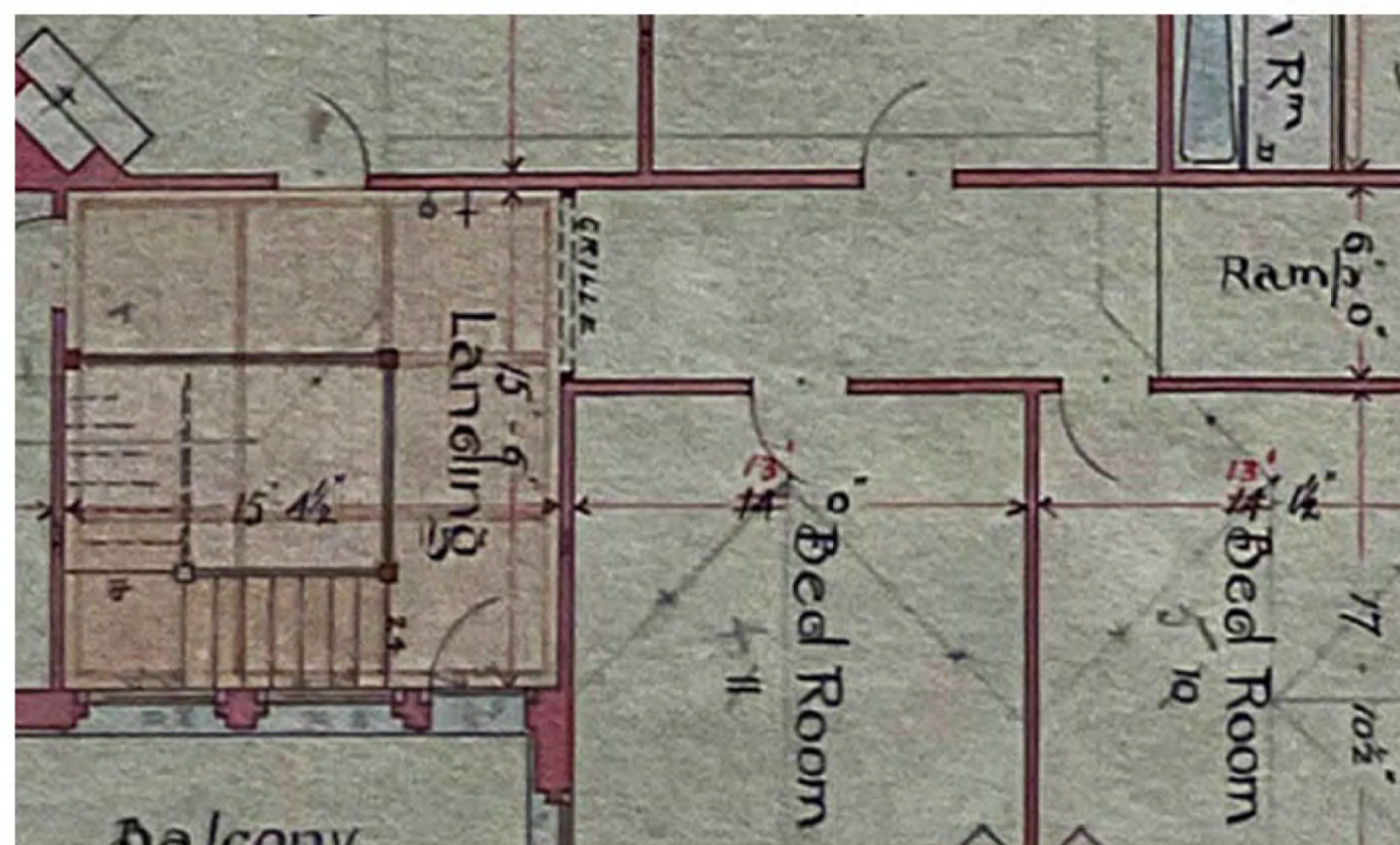
REVISION A

JOB NO: 2309

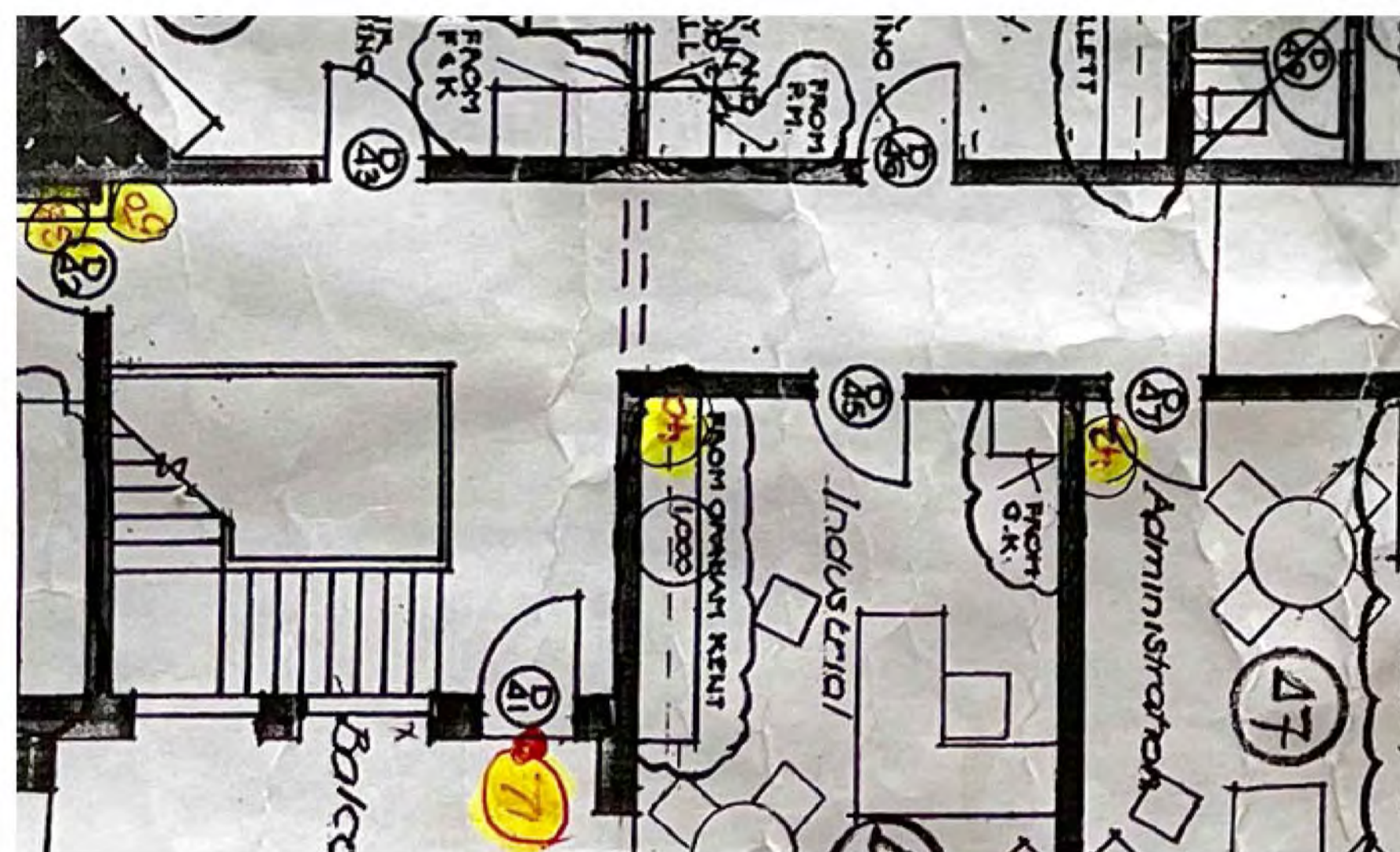
H56

LEGEND
RED TEXT HISTORIC ALTERATION, AND NEW PROPOSED TO ORIGINAL ELEMENTS
BLUE TEXT PROPOSED ALTERATION TO NON-ORIGINAL ELEMENTS

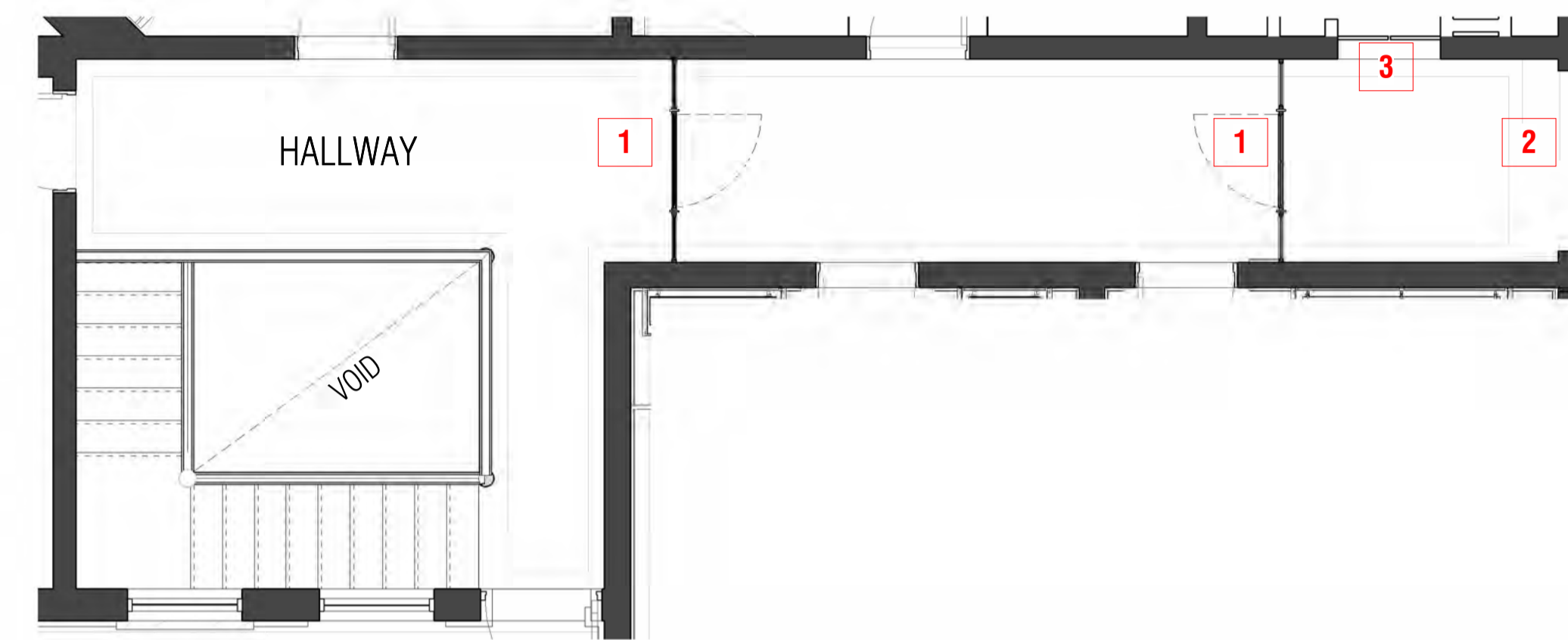
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ORIGINAL ROOM PLAN
YEAR: 1907



CURRENT ROOM PLAN
YEAR: 2001



PROPOSED ROOM PLAN - L1 HALLWAY
YEAR: 2024

- 1. NEW LIGHTWEIGHT STEEL PARTITION WITH GLAZED DOORS TO EITHER END OF HALLWAY
- 2. NEW STEPS BUILD OVER ORIGINAL RAMP
- 3. NEW WALL OPENING TO LIFT DOOR LANDING

PHOTO - VIEW OF MAIN STAIR TOWARDS BALCONY

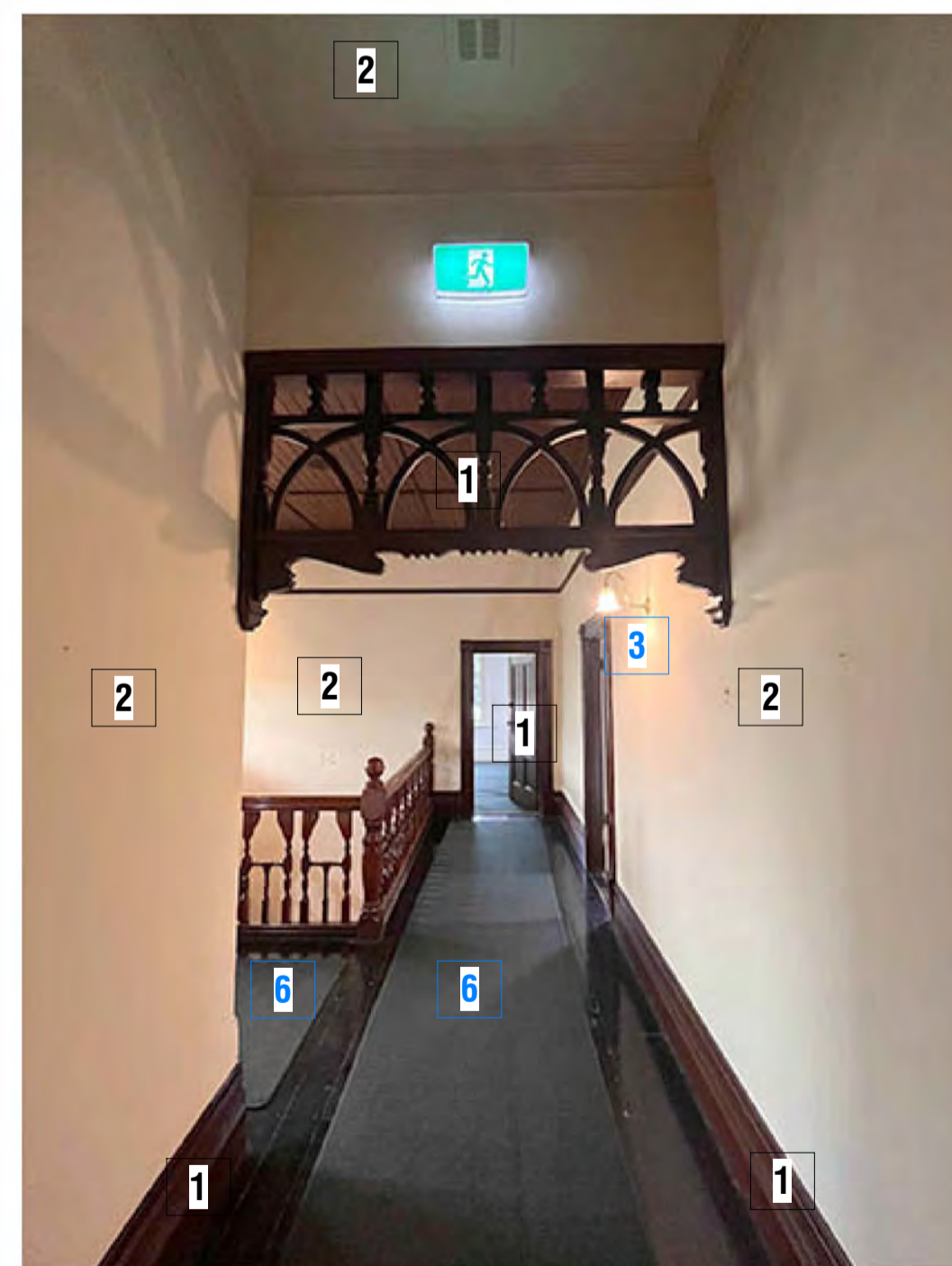


- 1. TIMBER CEILING / FRETWORK / ARCHITRAVE / DOOR / SKIRTING STAIR BALUSTRADE TO REMAIN. TIMBER TYPE: RED CEDAR. TIMBER FINISH: VARNISH. TBC IF ORIGINAL
- 2. CURRENT PAINT FINISH: TYPE TBC. COLOUR: LIGHT WHITE TONE. TBC IF ORIGINAL. PROPOSED COLOUR: LIGHT WHITE TONE.
- 3. NON-ORIGINAL LIGHT FITTING. TBC
- 4. STAINED GLASS WINDOW. TO REMAIN. REQUIRE REPAIR WITH BOWING.
- 5. NEW STAIR BUILT OVER ORIGINAL RAMP
- 6. NON-ORIGINAL CARPET. REMOVE. NEW TIMBER FLOORING OVER

SITE PHOTO #71



SITE PHOTO #74



SITE PHOTO #73



A	HW RFI 01	NOV 2024
-	HW LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING ROOM ANALYSIS - FF HALLWAY

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

bearchitecture

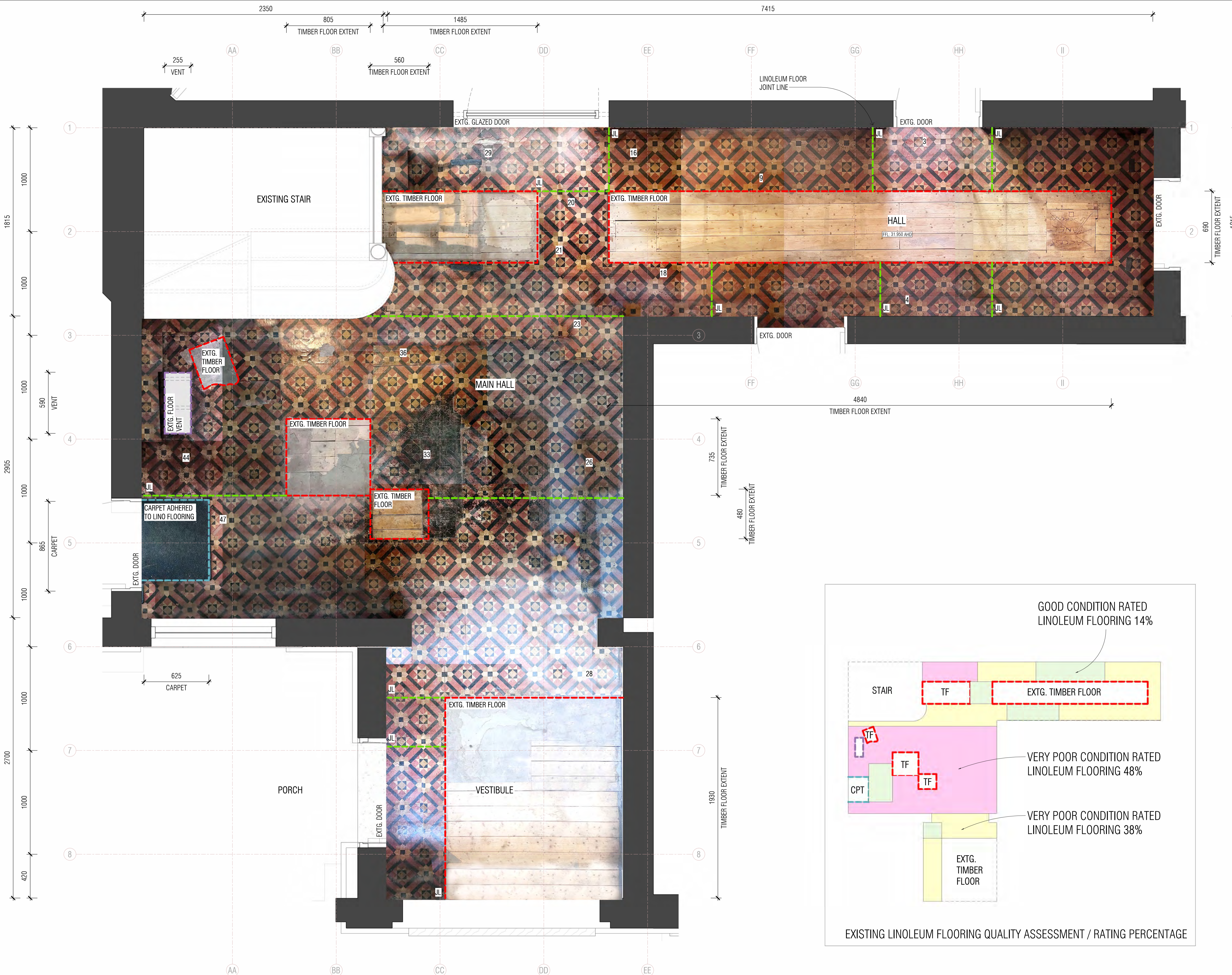
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JOB NO: 2309

H57

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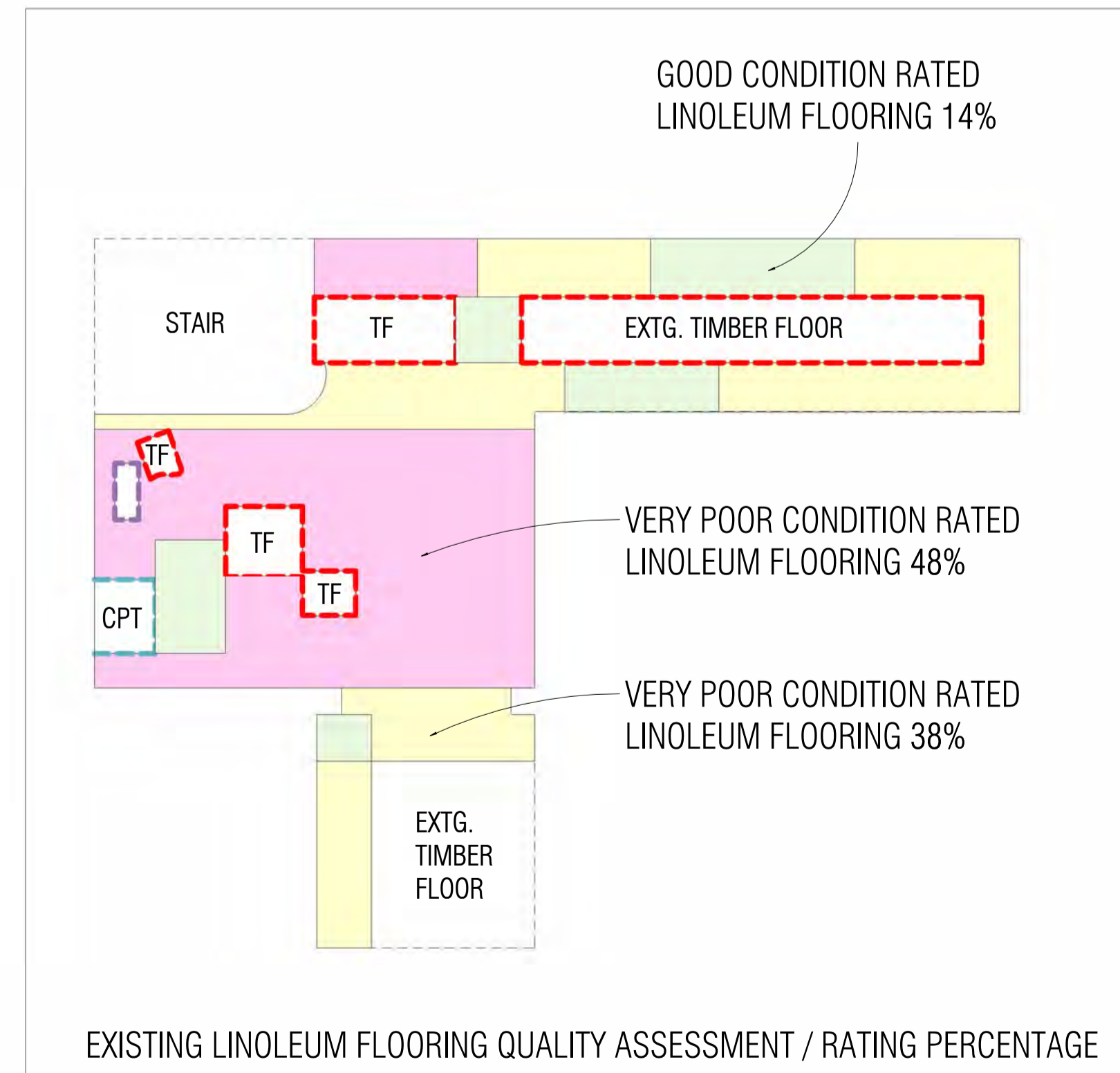
LINO FLOOR LEGEND

- LINO FLOOR EXTENT REMOVED
- LINO JOINT LINE

APPROX. FLOOR AREA COVERAGE M²

LINO (VERY POOR):	10M ²
LINO (POOR):	7.5M ²
LINO (GOOD):	4M ²
TOTAL FLOOR AREA:	32M²

REFER H59, H60, H61, H62 & H63 FOR LINO FLOOR LEGEND.



A	HW RFI 01	NOV 2024
	HW LODGE	SEPT 2024
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST	
DRAWING	EXTG. GROUND FLOOR - LINOLEUM ASSESSMENT	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG '24	
SHEET SIZE	A3	
FILE	b.e	

REFERENCE IMAGES



SITE PHOTO #01

CURRENTLY, THE LINO FLOORING IS UNDULATING, WITH EVIDENT CRACKING AND DAMAGE DUE TO PREVIOUS USE AND BUILDING MOVEMENT.



SITE PHOTO #03

VISUAL INSPECTION OF EACH AREA OF THE LINO FLOORING AND ASSIGNING A QUALITY RATING OF EITHER 'GOOD,' 'POOR,' OR 'VERY POOR.'



SITE PHOTO #04

VISIBLE CRACKING, STAINING, AND SIGNIFICANTLY DAMAGED SECTIONS OF THE LINO FLOORING.



SITE PHOTO #02

THE EXISTING CARPET IS ADHERED TO THE LINO FLOORING. REMOVING THE CARPET WILL LIKELY CAUSE THE FLOORING TO CRACK DUE TO THE BRITTLE NATURE OF THE MATERIAL AND ITS AGE.

A	HV RR 01	NOV 2024
-	HV LODGE	SEPT 2024
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT		KFO
PROJECT		1 - 19 CLARENDON ST
DRAWING		EXTG. LINO FLOOR SITE PHOTOS
ADDRESS		1 - 19 CLARENDON ST, EAST MELBOURNE
SCALE		AS SHOWN
DATE		AUG '24
SHEET SIZE		A3
FILE		b.e
be architecture		
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JOB NO: 2309		REVISION A

LINO FLOOR LEGEND



CODE: 3
CONDITION RATING: VERY POOR
NUMBER: 4
GRID LOCATION: 3-GG



CODE: 3
CONDITION RATING: VERY POOR
NUMBER: 26
GRID LOCATION: 5-DD



CODE: 3
CONDITION RATING: VERY POOR
NUMBER: 29
GRID LOCATION: 2-CC



CODE: 3
CONDITION RATING: VERY POOR
NUMBER: 37
GRID LOCATION: 5-BB



CODE: 3
CONDITION RATING: VERY POOR
NUMBER: 44
GRID LOCATION: 5-AA

APPROX. FLOOR AREA COVERAGE M²

LINO (VERY POOR):	10M ²
LINO (POOR):	7.5M ²
LINO (GOOD):	4M ²
TOTAL FLOOR AREA:	32M²

A	HV RR 01	NOV 2024
-	HV LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING LINO - VERY POOR CONDITION

ADDRESS 1-19 CLARENDON ST, EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

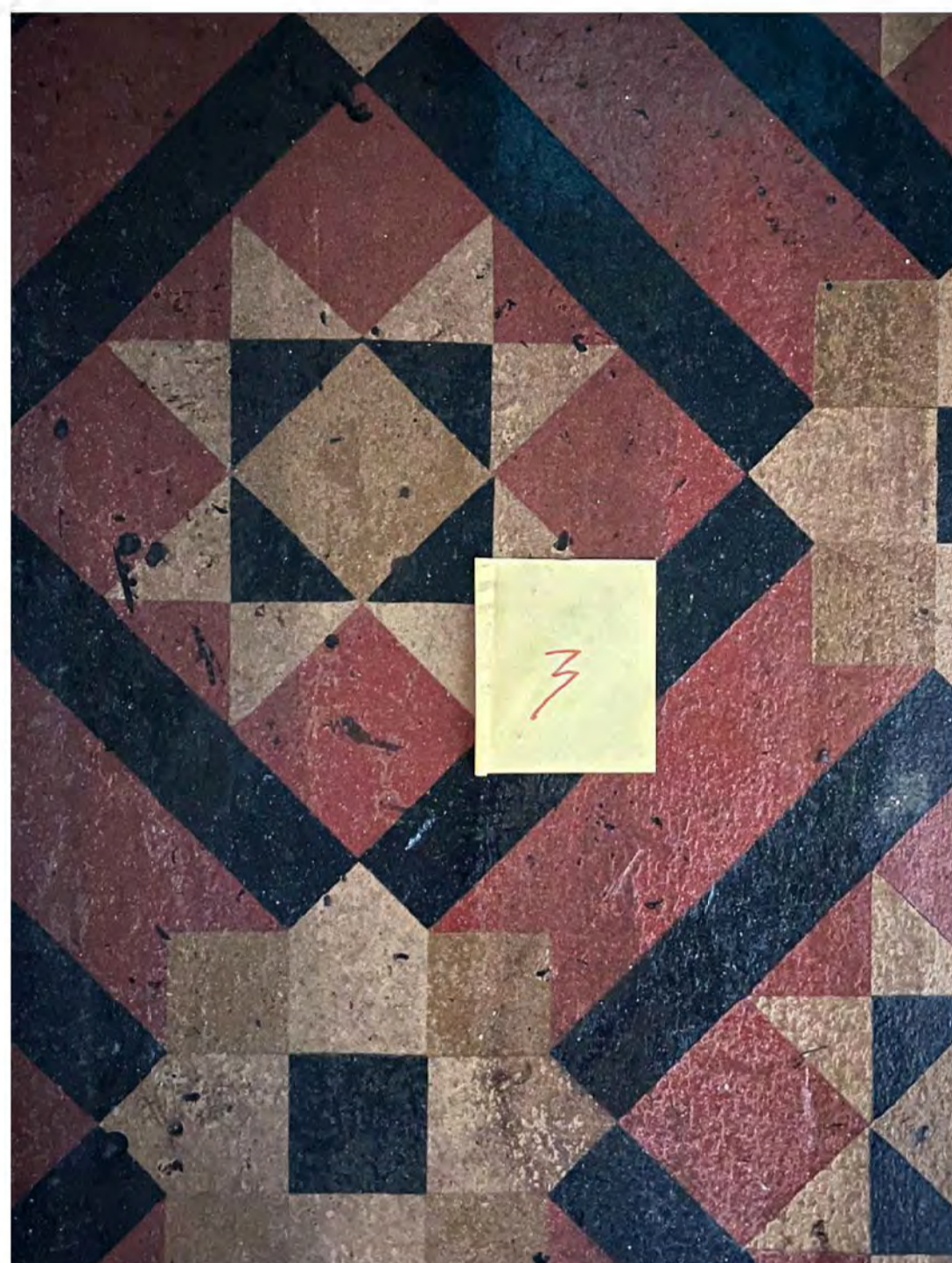
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REVISION A

JOB NO: 2309 **H60**

LINO FLOOR LEGEND



CODE: 2
CONDITION RATING: POOR
NUMBER: 3
GRID LOCATION: 1-GG



CODE: 2
CONDITION RATING: POOR
NUMBER: 18
GRID LOCATION: 3-EE



CODE: 2
CONDITION RATING: POOR
NUMBER: 20
GRID LOCATION: 2-CC



CODE: 2
CONDITION RATING: POOR
NUMBER: 28
GRID LOCATION: 6-DD



CODE: 2
CONDITION RATING: POOR
NUMBER: 36
GRID LOCATION: 4-BB

APPROX. FLOOR AREA COVERAGE M²

LINO (VERY POOR): 10M²
LINO (POOR): 7.5M²
LINO (GOOD): 4M²
TOTAL FLOOR AREA: 32M²

A	HV RFI 01	NOV 2024
-	HV LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING LINO - POOR CONDITION

ADDRESS 1-19 CLARENDON ST,
EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

bearchitecture

100 Stephenson Street, Cremorne
VIC 3121
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REVISION A

JOB NO: 2309

H61

LINO FLOOR LEGEND



CODE: 1
CONDITION RATING: GOOD
NUMBER: 9
GRID LOCATION: 2-FF



CODE: 1
CONDITION RATING: GOOD
NUMBER: 16
GRID LOCATION: 4-DD



CODE: 1
CONDITION RATING: GOOD
NUMBER: 21
GRID LOCATION: 3-DD



CODE: 1
CONDITION RATING: GOOD
NUMBER: 23
GRID LOCATION: 3-DD



CODE: 1
CONDITION RATING: GOOD
NUMBER: 47
GRID LOCATION: 5-AA

APPROX. FLOOR AREA COVERAGE M²

LINO (VERY POOR): 10M²
LINO (POOR): 7.5M²
LINO (GOOD): 4M²
TOTAL FLOOR AREA: 32M²

A	HV RFI 01	NOV 2024
-	HV LODGE	SEPT 2024

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		

CLIENT KFO

PROJECT 1-19 CLARENDON ST

DRAWING LINO - GOOD CONDITION

ADDRESS 1-19 CLARENDON ST,
EAST MELBOURNE

SCALE AS SHOWN

DATE AUG 24

SHEET SIZE A3

FILE b.e

bearchitecture

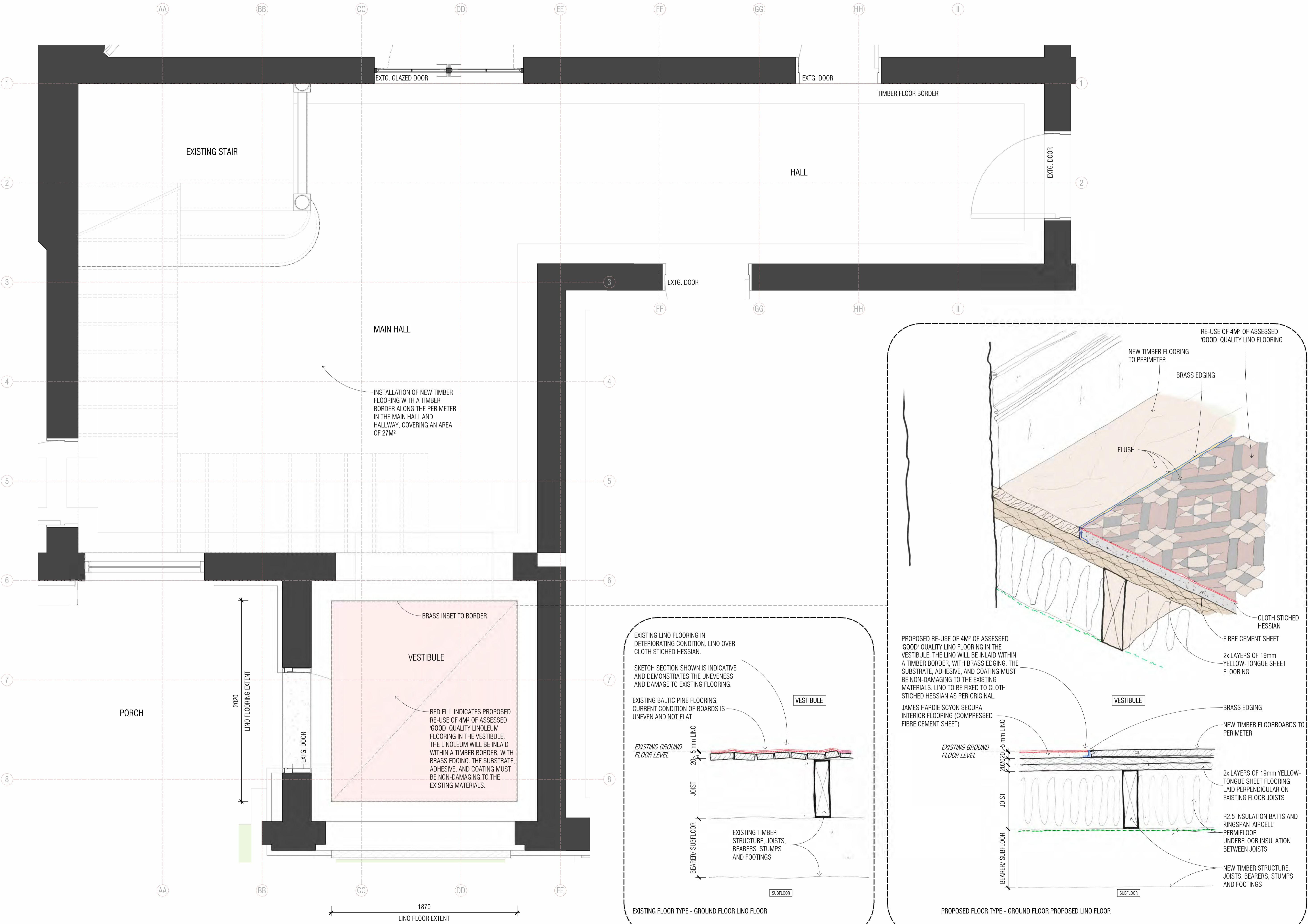
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P. 03 9416 1600

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JOB NO: 2309

H62

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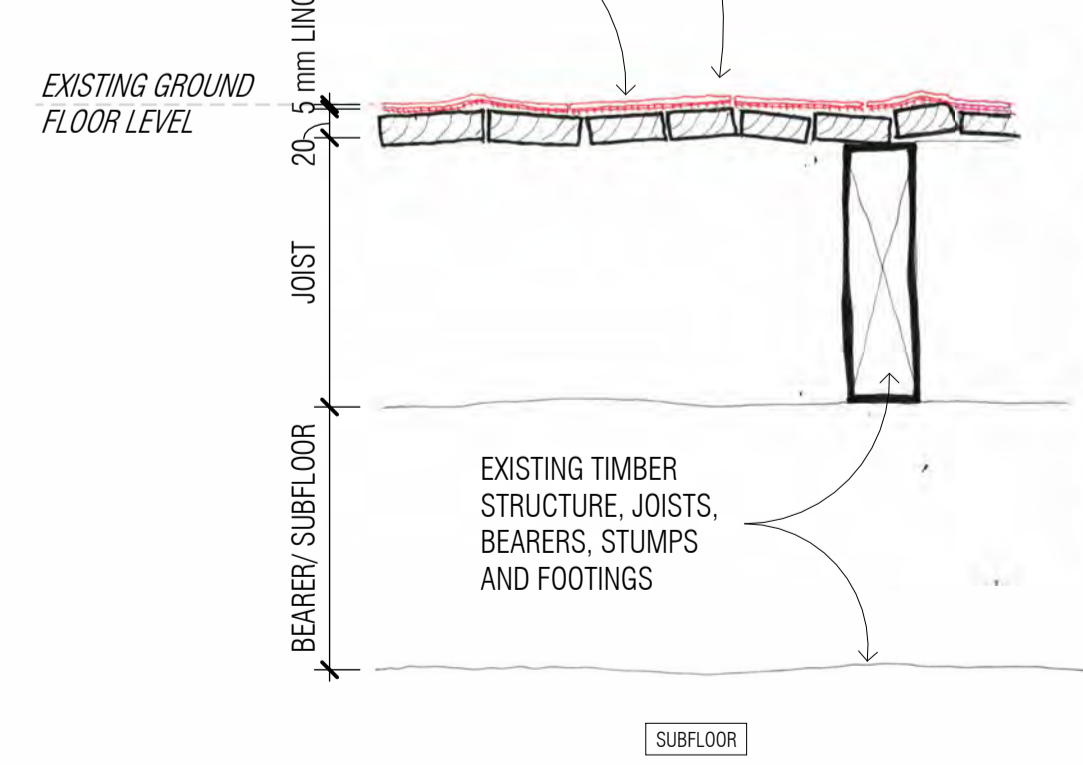


INSTALLATION OF NEW TIMBER FLOORING WITH A TIMBER BORDER ALONG THE PERIMETER IN THE MAIN HALL AND HALLWAY, COVERING AN AREA OF 27M²

BRASS INSET TO BORDER
VESTIBULE
RED FILL INDICATES PROPOSED RE-USE OF 4M² OF ASSESSED 'GOOD' QUALITY LINOLEUM FLOORING IN THE VESTIBULE. THE LINOLEUM WILL BE INLAID WITHIN A TIMBER BORDER, WITH BRASS EDGING. THE SUBSTRATE, ADHESIVE, AND COATING MUST BE NON-DAMAGING TO THE EXISTING MATERIALS.

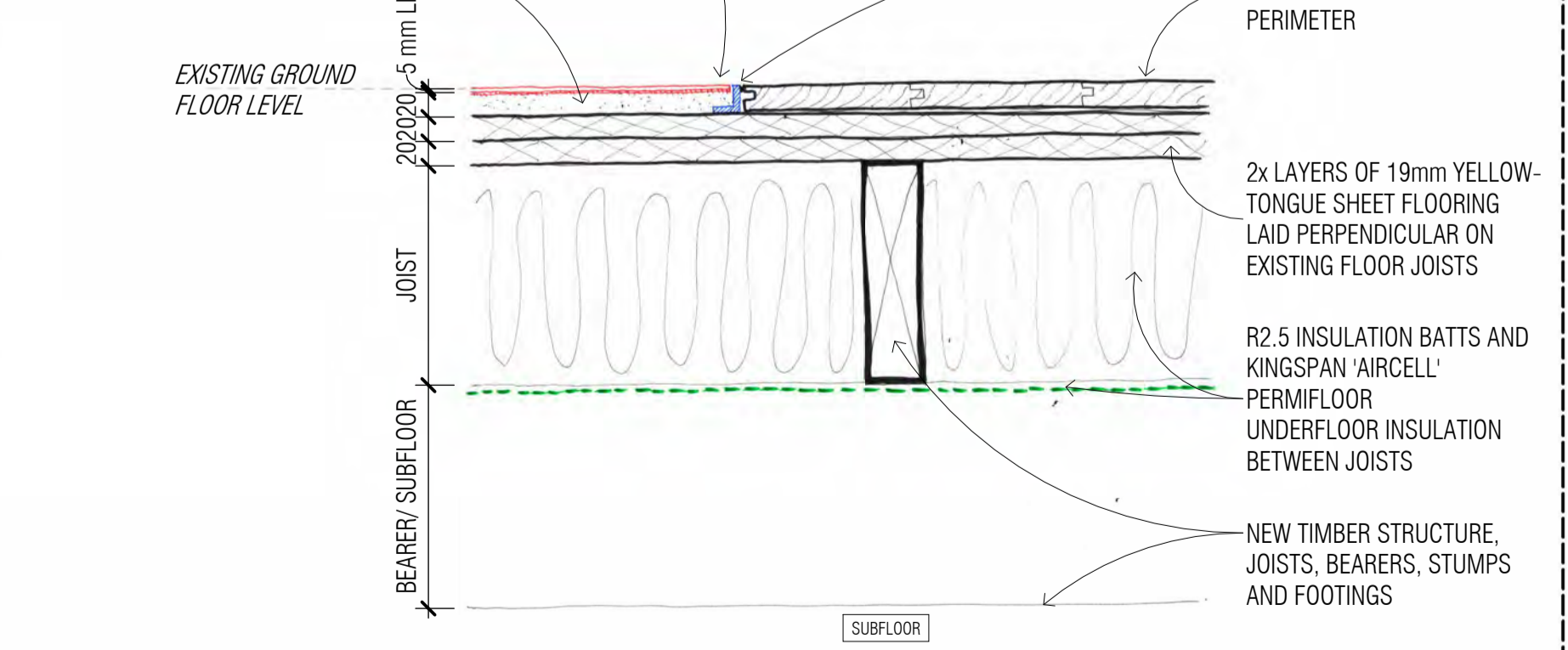
EXISTING LINO FLOORING IN DETERIORATING CONDITION. LINO OVER CLOTH STICHED HESSIAN.
SKETCH SECTION SHOWN IS INDICATIVE AND DEMONSTRATES THE UNEVENNESS AND DAMAGE TO EXISTING FLOORING.

EXISTING BALTIC PINE FLOORING, CURRENT CONDITION OF BOARDS IS UNEVEN AND NOT FLAT



EXISTING FLOOR TYPE - GROUND FLOOR LINO FLOOR

PROPOSED RE-USE OF 4M² OF ASSESSED 'GOOD' QUALITY LINO FLOORING IN THE VESTIBULE. THE LINO WILL BE INLAID WITHIN A TIMBER BORDER, WITH BRASS EDGING. THE SUBSTRATE, ADHESIVE, AND COATING MUST BE NON-DAMAGING TO THE EXISTING MATERIALS. LINO TO BE FIXED TO CLOTH STICHED HESSIAN AS PER ORIGINAL.
JAMES HARDIE SCYON SECURA INTERIOR FLOORING (COMPRESSED FIBRE CEMENT SHEET)



PROPOSED FLOOR TYPE - GROUND FLOOR PROPOSED LINO FLOOR

LOCATION OF REUSEABLE LINO FLOORING - PROPOSED

REVISION	DESCRIPTION	DATE
A	HW RFI 01	NOV 2024
	HW LODGE	SEPT 2024

REVISION SCHEDULE

CLIENT: KFO

PROJECT: 1-19 CLARENDON ST

DRAWING: PROPOSED GROUND FLOOR - LINO FLOORING

ADDRESS: 1-19 CLARENDON ST, EAST MELBOURNE

SCALE: AS SHOWN

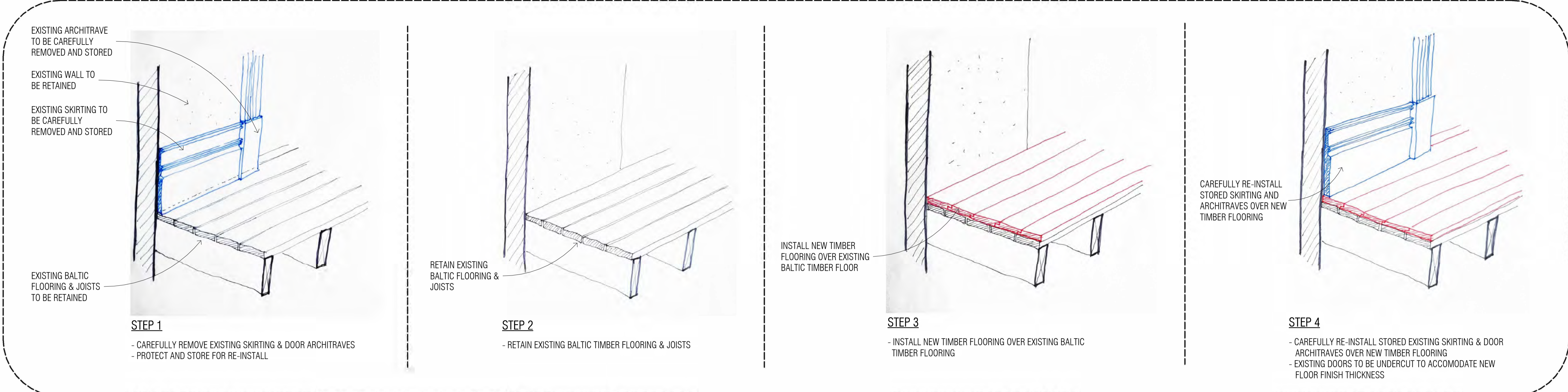
DATE: AUG '24

SHEET SIZE: A3

FILE: b.e

be architecture
100 Stephenson Street, Cremorne VIC 3121 P: 03 9416 1600

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PROPOSED FIRST FLOOR NEW TIMBER FLOORING
INSTALLATION DESIGN INTENT AXONOMETRIC VIEWS



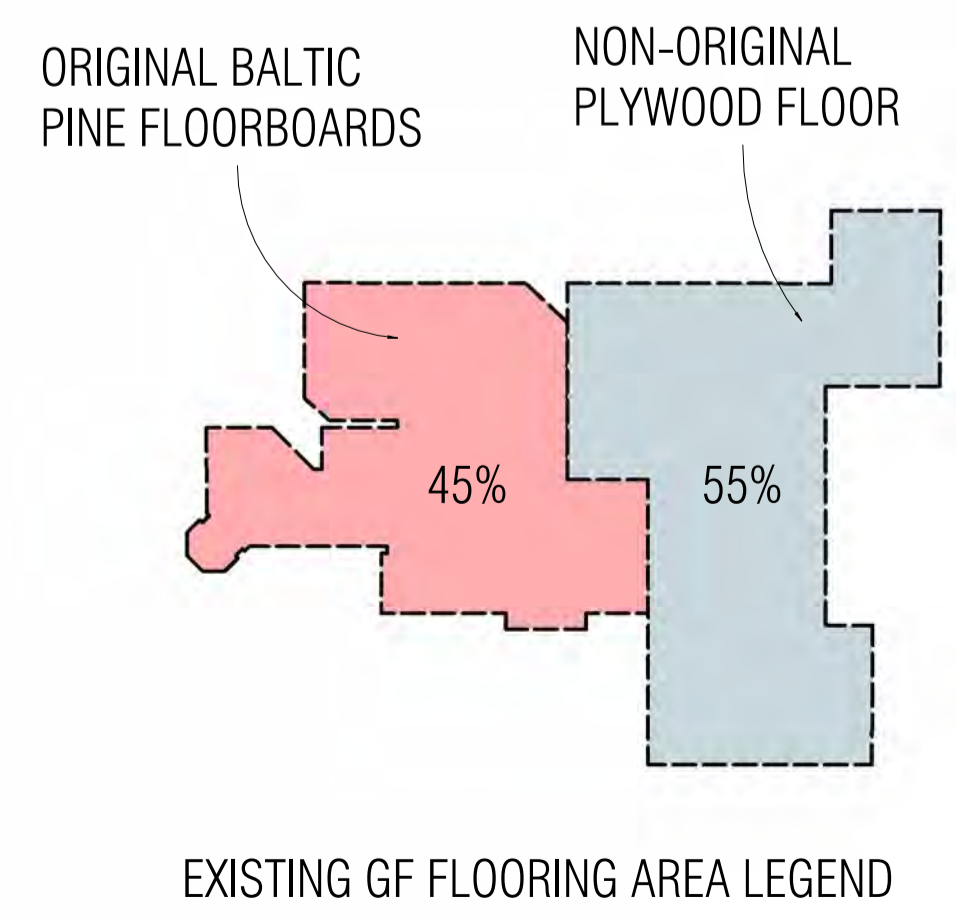
EXISTING BALTIC PINE FLOORBOARDS
DISCOLORATION & QUALITY REFERENCE



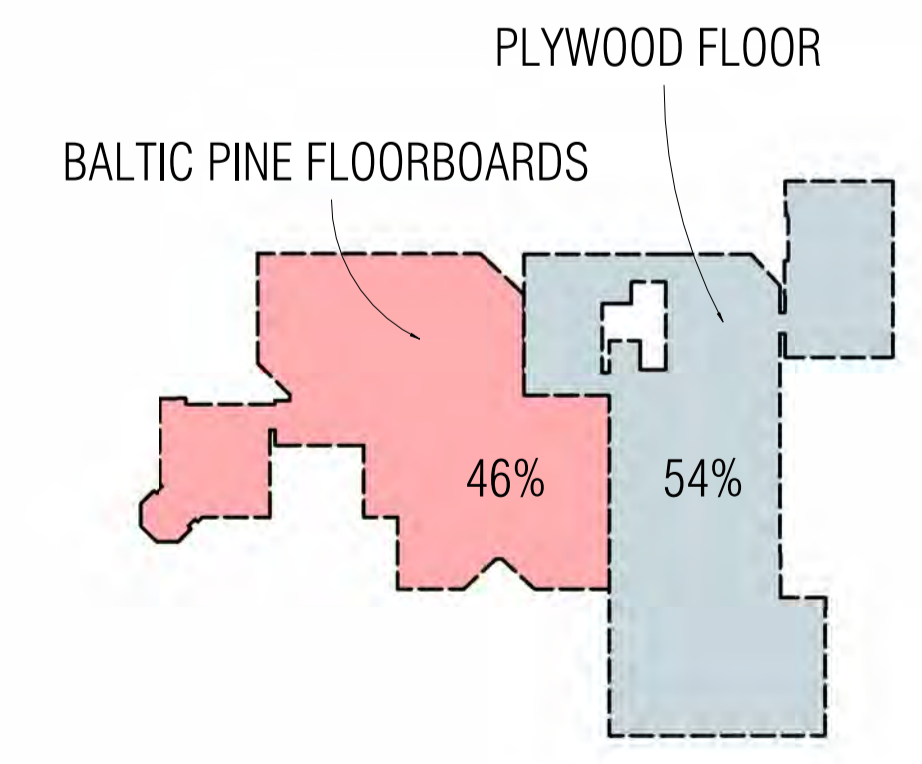
EXISTING BALTIC PINE FLOORBOARDS
DISCOLORATION & QUALITY REFERENCE



EXISTING CARPET OVER NON-ORIGNAL PLYWOOD FLOOR



EXISTING GF FLOORING AREA LEGEND



EXISTING L1 FLOORING AREA LEGEND

PROPOSED FIRST FLOOR - NEW TIMBER FLOORING

REVISION	DESCRIPTION	DATE
HR RR 01		NOV 2024
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST	
DRAWING	PROPOSED FIRST FLOOR - NEW TIMBER FLOORING	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG 24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne NORTH VIC 3121 P: 03 9416 1600		
REVISION		
JOB NO:	2309	H64

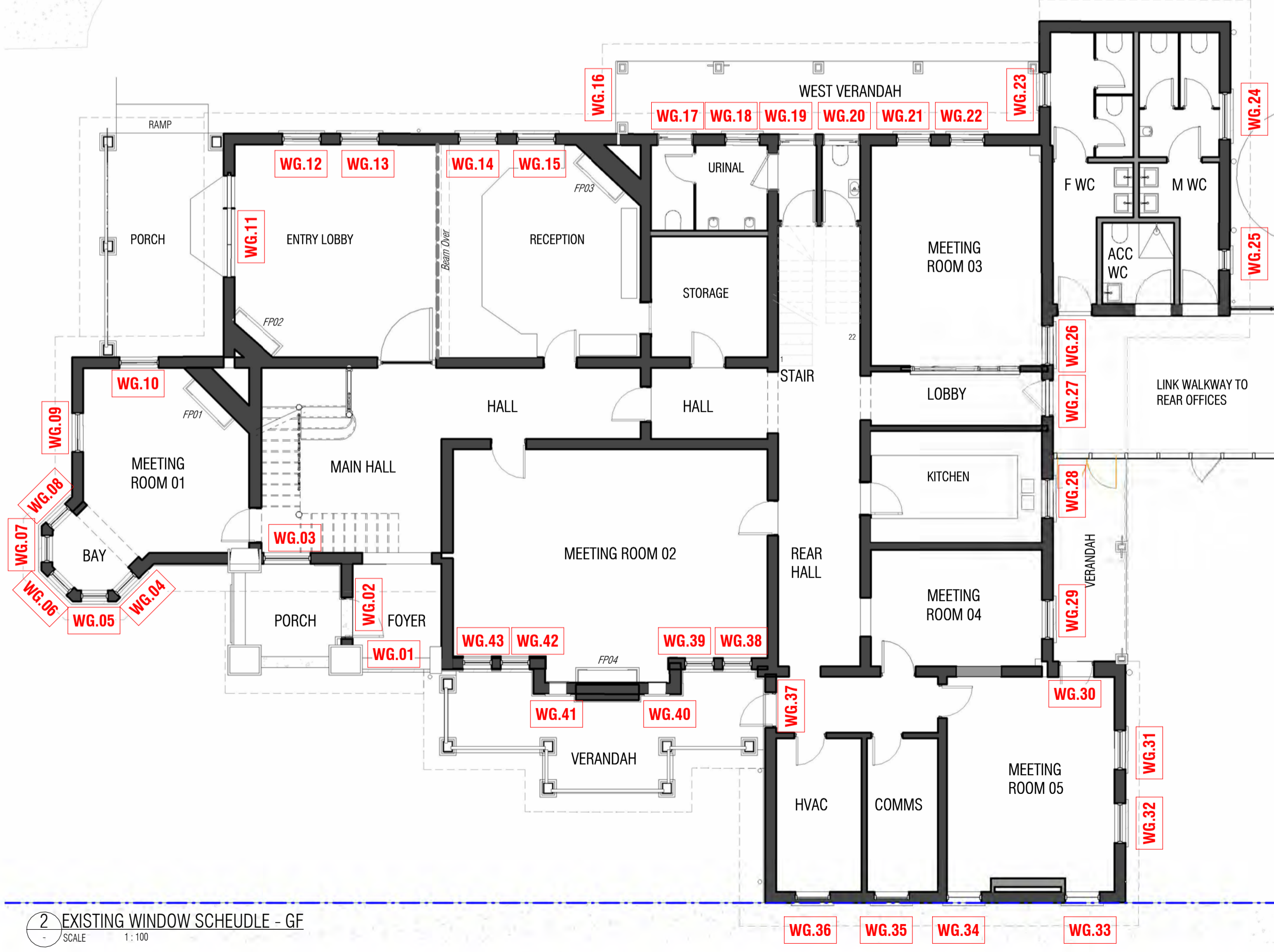
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LEGEND
⊗ NON-ORIGINAL GLAZING

EXISTING LEADLIGHT CONDITION - READ IN CONJUNCTION WITH ADADAZ REPORT



1 EXISTING WINDOW SCHEDULE - FF
SCALE 1:100



2 EXISTING WINDOW SCHEDULE - GF
SCALE 1:100

EXISTING WINDOW SCHEDULE - GF & FF



WG.01
STAINED GLASS - HEAVY BOWING WILL REQUIRE REPAIR OFF-SITE

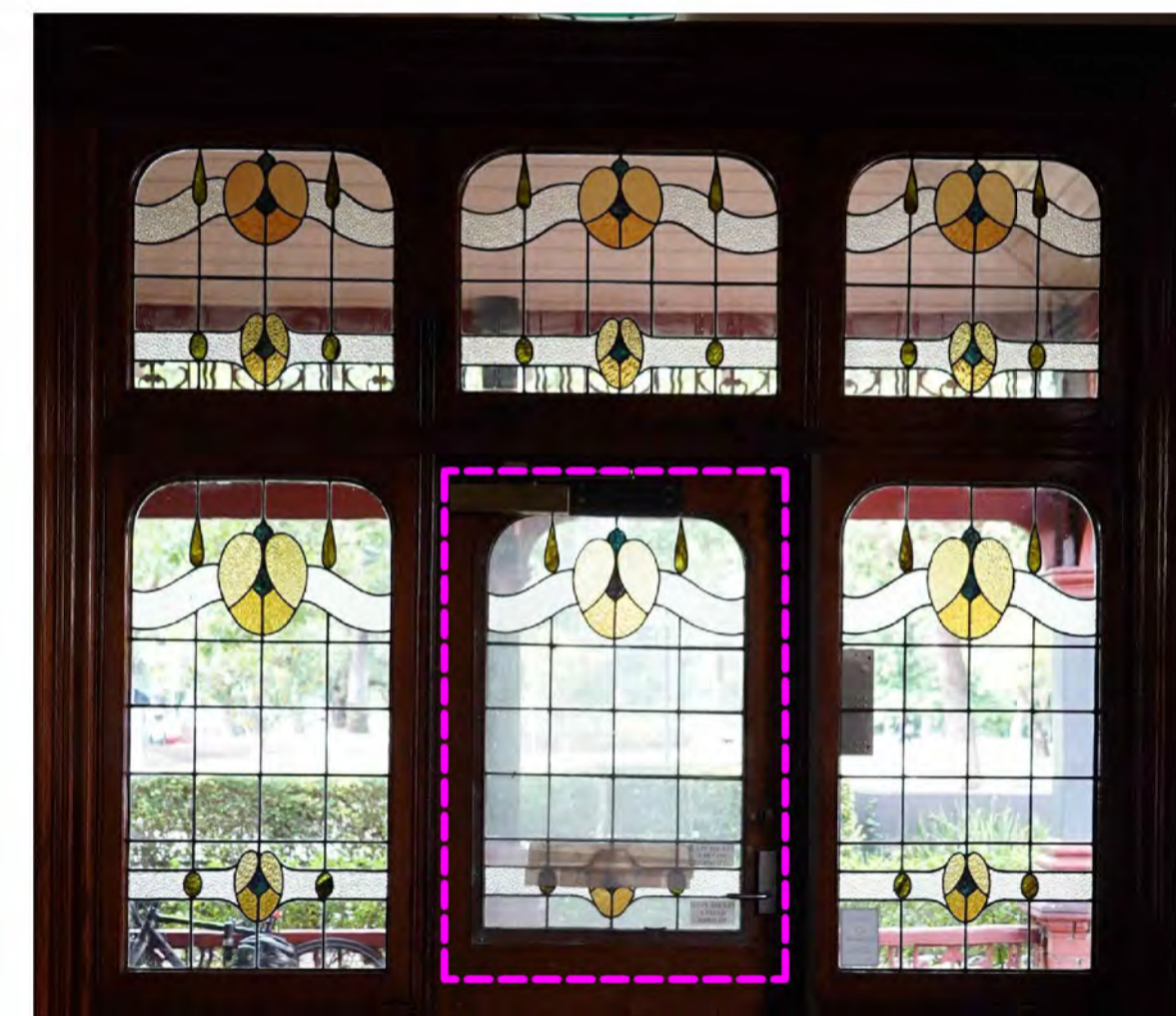
WG.02 - OVER DOOR
IN GOOD CONDITION



WG.03
STAINED GLASS - HAVE NON-ORIGINAL GLASS PANELS AND CRACKS FIXED OVER TIME



WG.04 WG.05 WG.06 WG.07 WG.08
STAINED GLASS TOPLIGHTS - ALL BOWING, BUT OTHERWISE IN GOOD CONDITION



WG.11 STAINED GLASS - MIDDLE PANEL REQUIRE FULL FIX



W1.04 W1.05 W1.06 W1.07 W1.08
TOPLIGHTS HAVE SIGNS OF BOWING

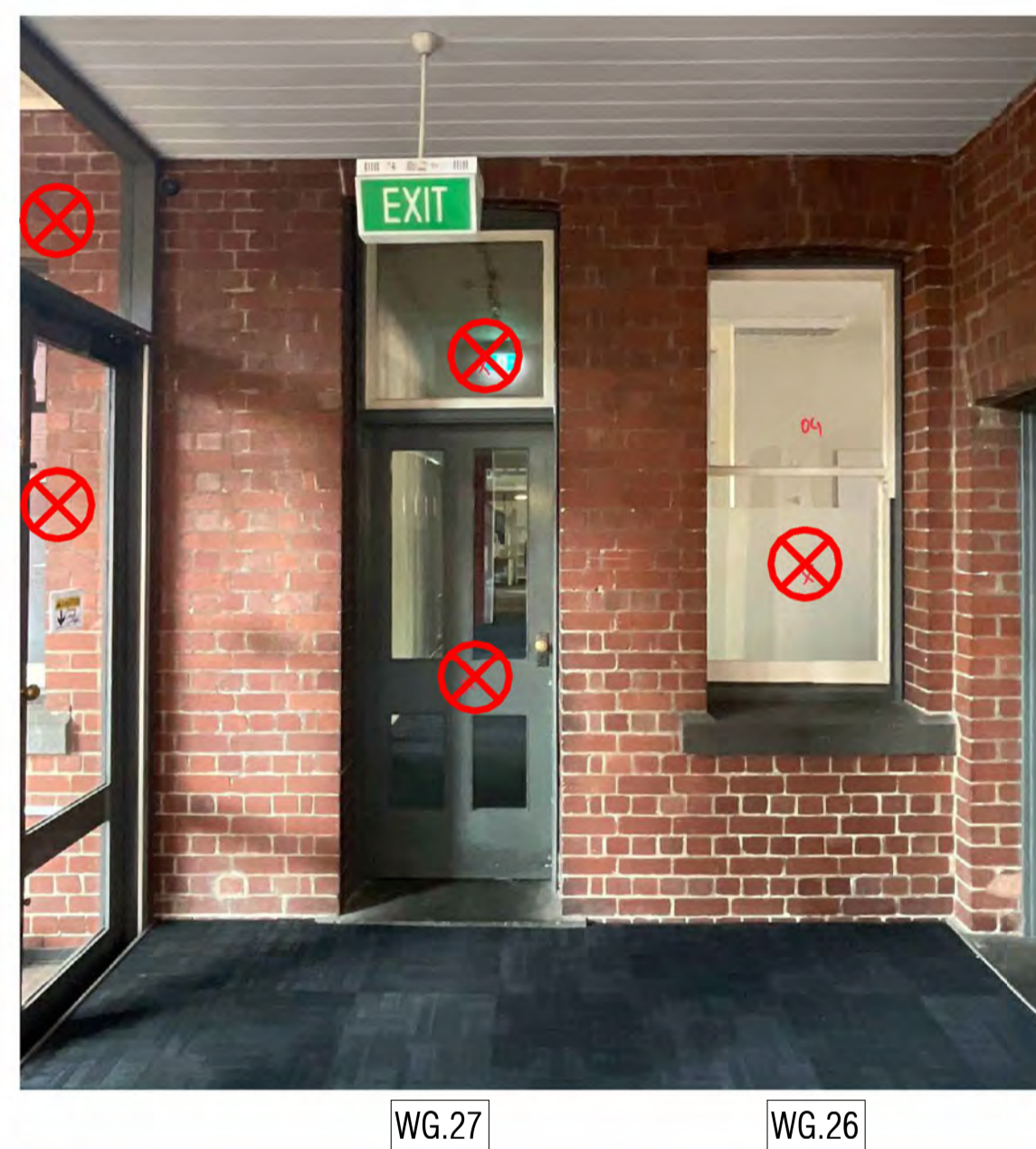
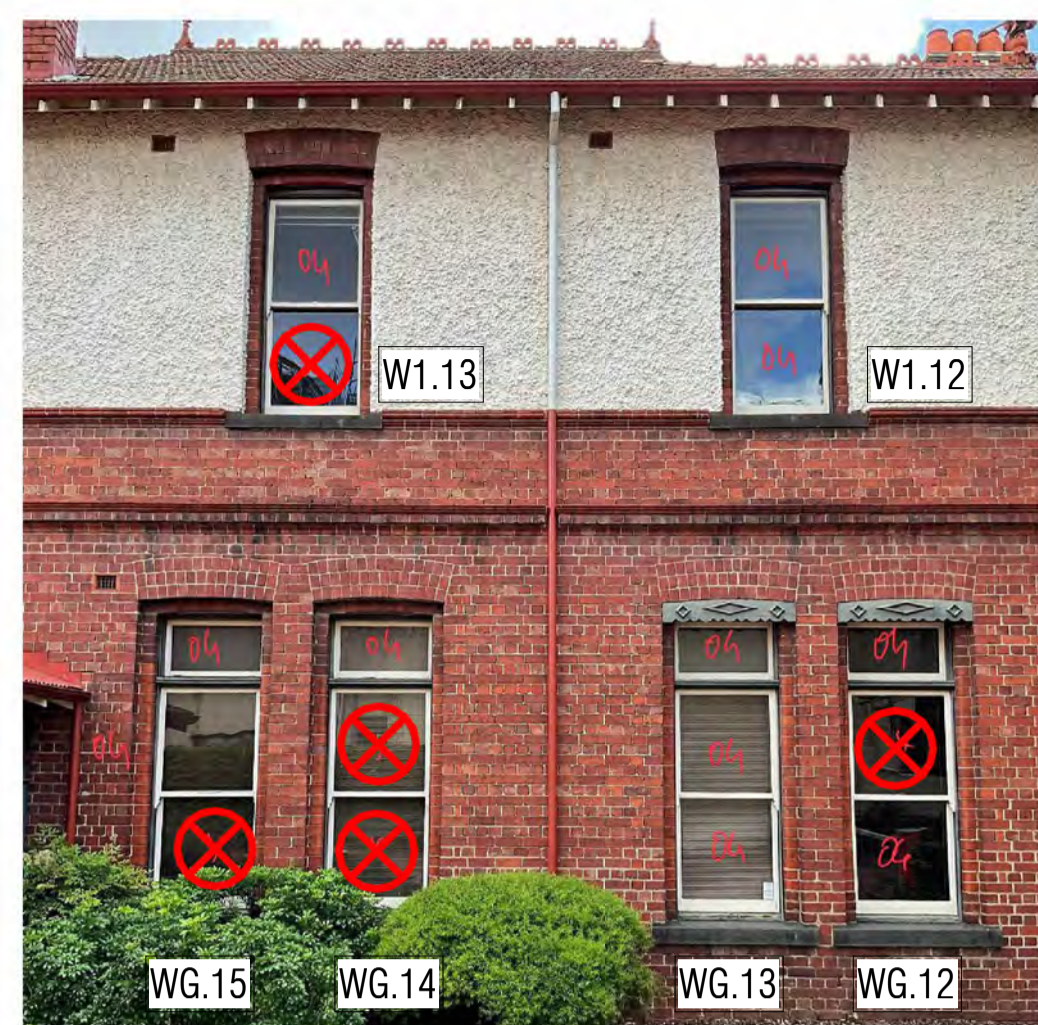


W1.01 W1.02 W1.03
AREAS OF NON-ORIGINAL GLAZING
TOP LITES HAVE SIGNS OF BOWING

HW RR 01	NOV 2024	
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST, EAST MELBOURNE	
DRAWING	WINDOW SCHEDULE	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG 24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600	NORTH	
	REVISION	
JOB NO: 2309		H65

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LEGEND
⊗ NON-ORIGINAL
GLAZING



EXISTING WINDOW AUDIT - GF & FF

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST, EAST MELBOURNE	
DRAWING	WINDOW SCHEDULE	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG 24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600	NORTH	
JOB NO: 2309	REVISION	-
		H66



W1.29



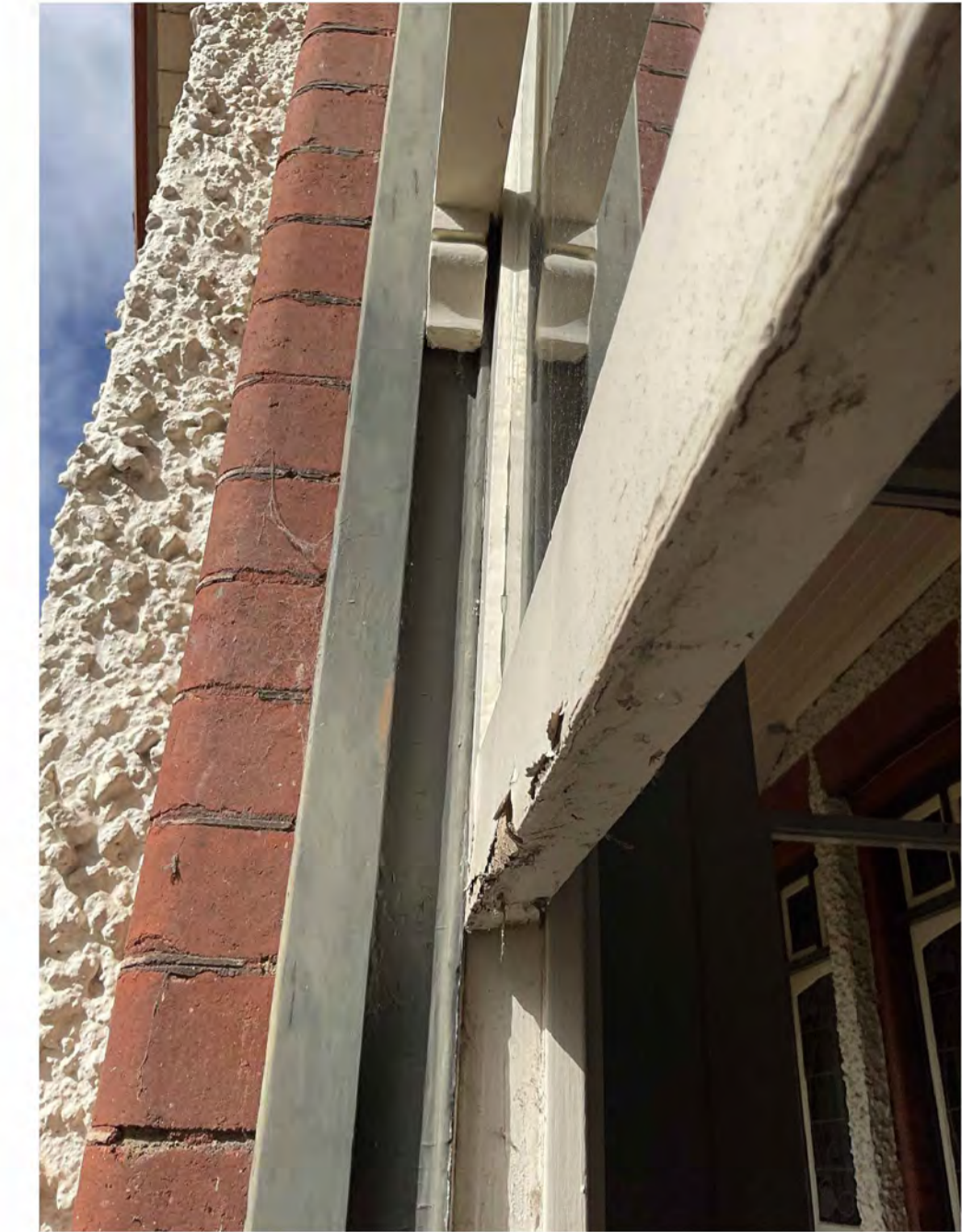
W1.19

W1.20



W1.23

TYPICAL EXISTING WINDOW FRAME / SILL CONDITION



W1.25

W1.26

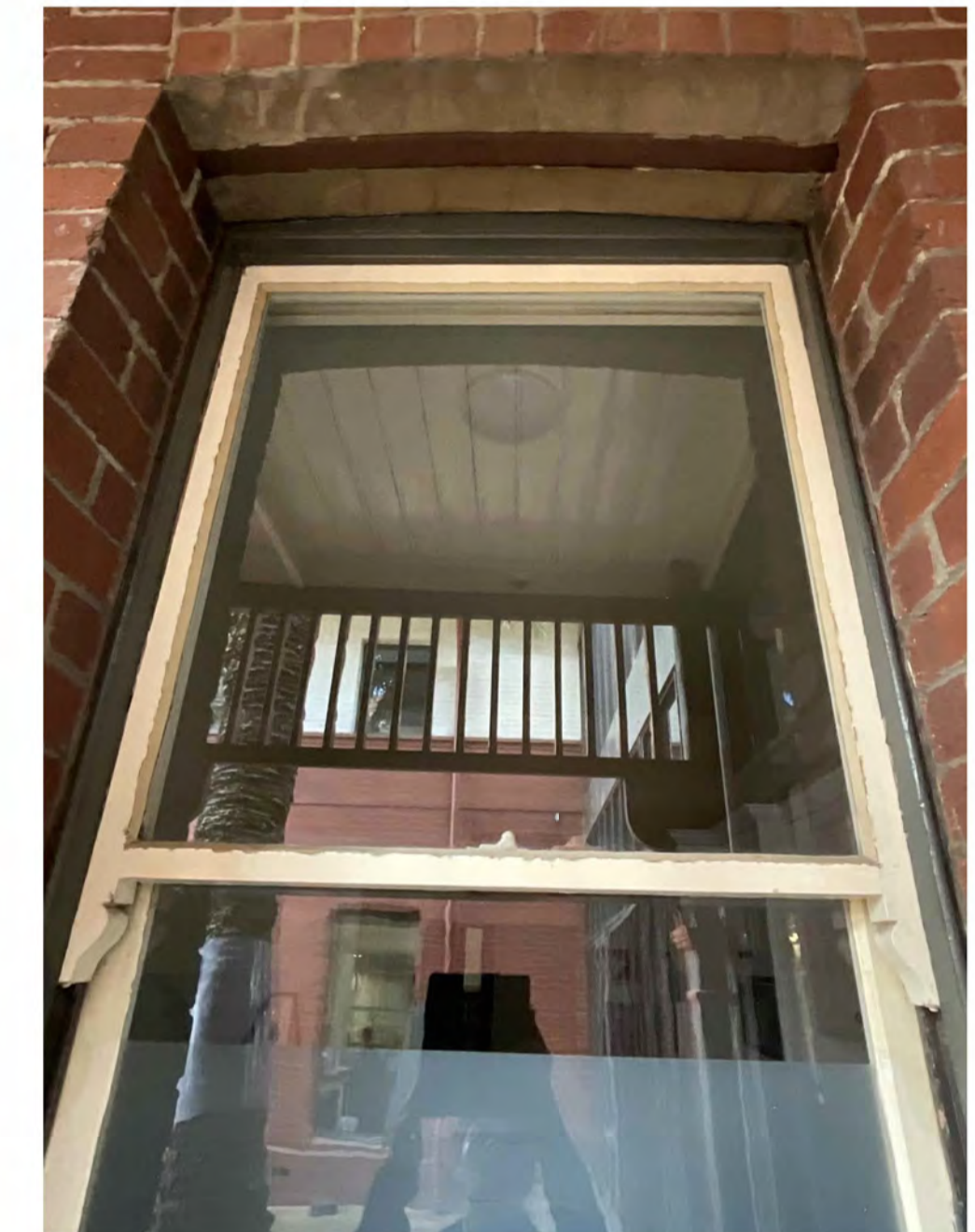
W1.27

W1.28




W1.30

W1.31



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LEGEND
 NON-ORIGINAL GLAZING

REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST, EAST MELBOURNE	
DRAWING	WINDOW SCHEDULE	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG 24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne		NORTH
VIC 3121		
P: 03 9416 1600		
REVISION	-	
JOB NO:	2309	

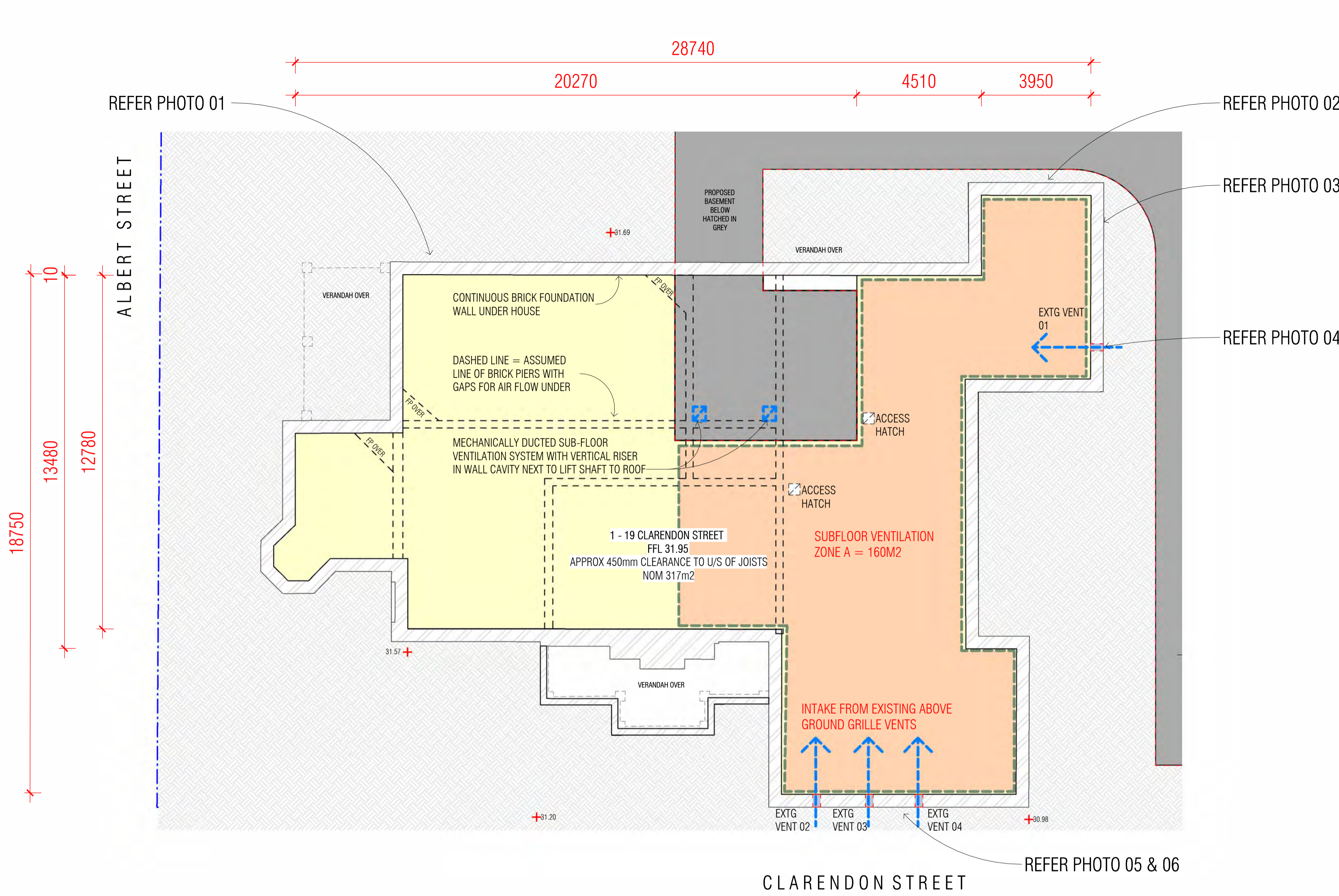


PHOTO 01



PHOTO 02



PHOTO 03



PHOTO 04

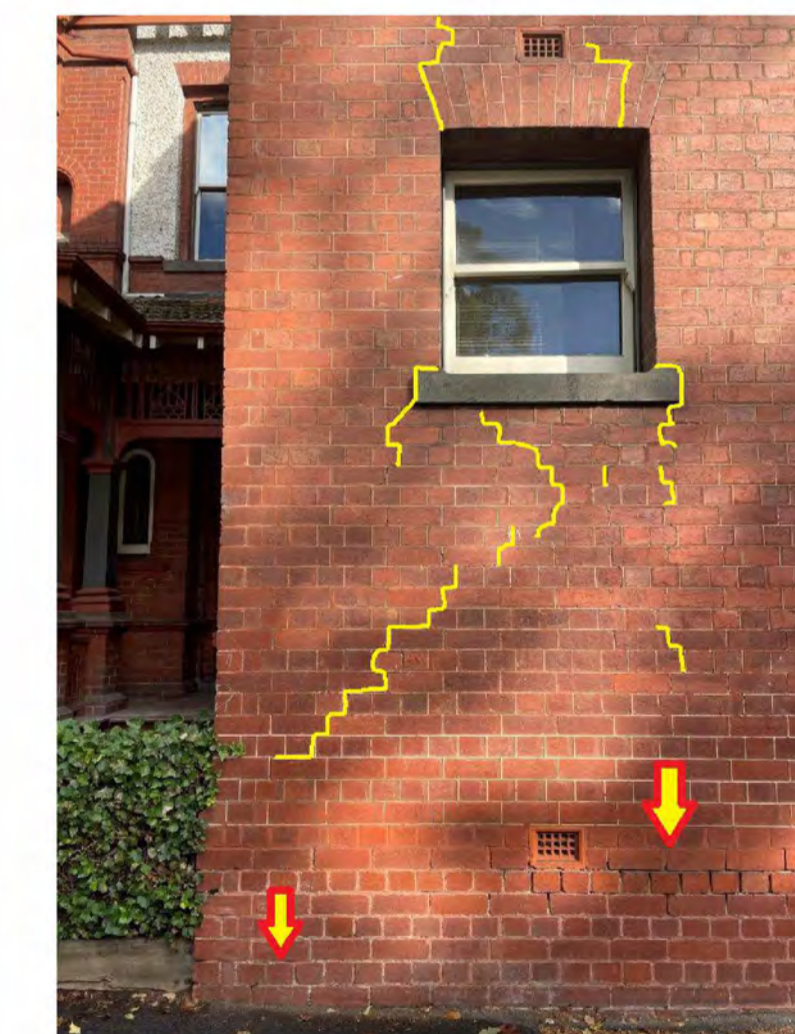
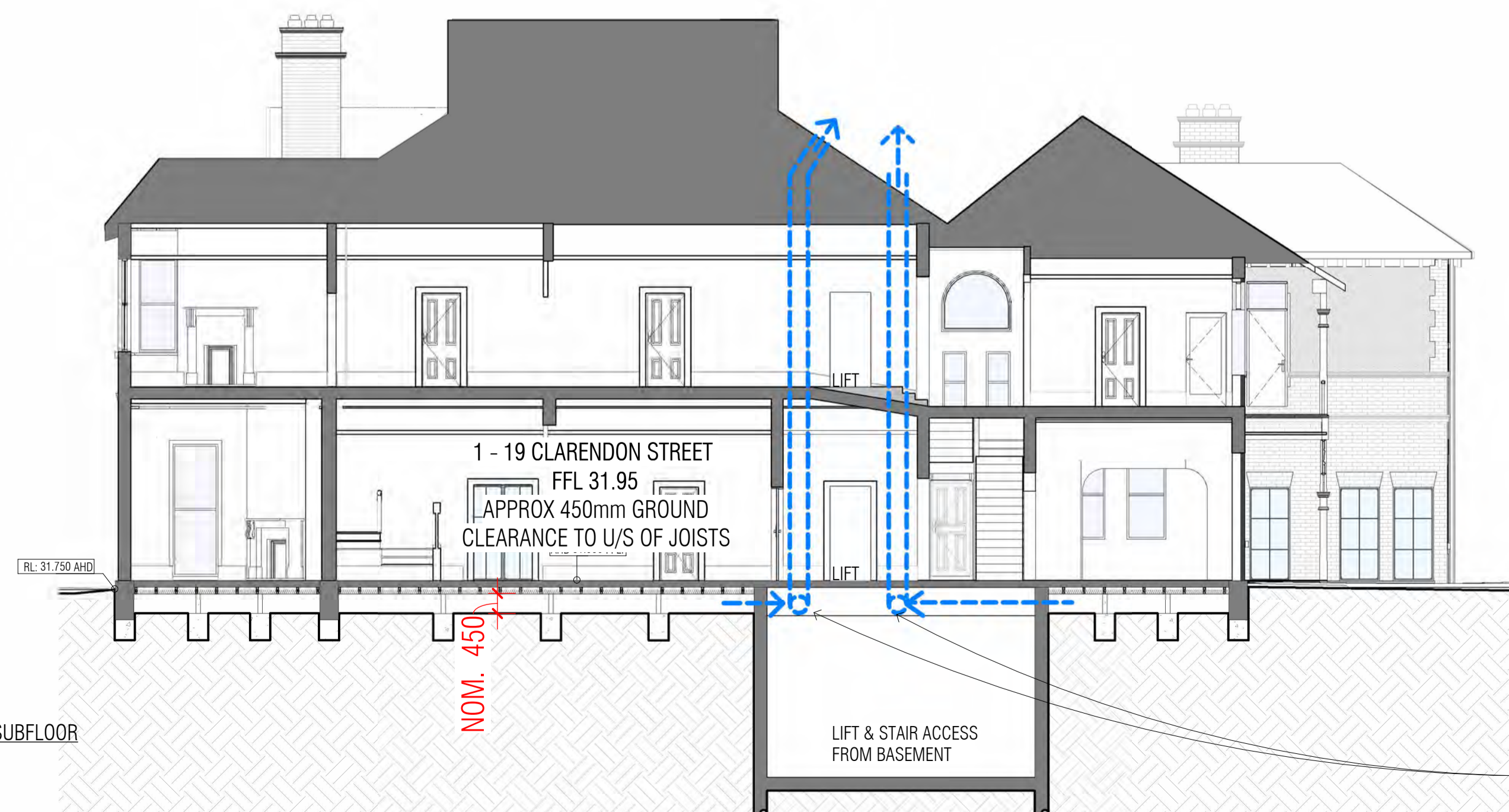


PHOTO 05



PHOTO 06

2 EXISTING - SUBFLOOR PLAN
SCALE 1:100



1 LONG SECTION - SUBFLOOR
SCALE 1:100

SUBFLOOR VENTILATION DUCT CONNECTED IN CEILING SPACE TO VERTICLE RISER IN WALL VOID NEXT TO LIFT SHAFT AND EXTRATED THROUGH ROOF SPACE IN ROOF VALLEY. NOT VISIBLE EXTERNALLY. EXACT SYSTEM TO BE CONFIRMED WITH MECHANICAL ENGINEER

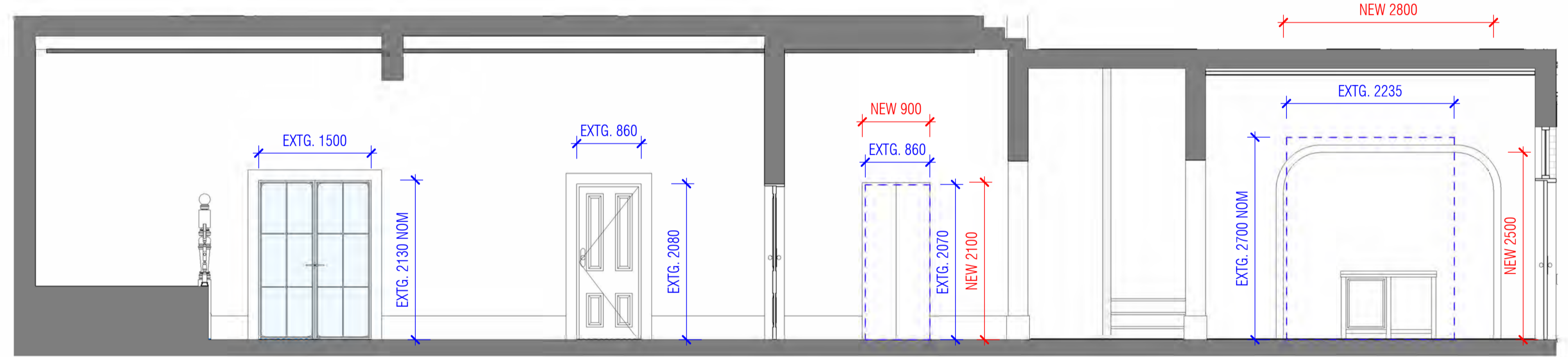
HR 01	NOV 2024	
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1 - 19 CLARENDON ST, EAST MELBOURNE	
DRAWING	SUBFLOOR VENTILATION	
ADDRESS	1 - 19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG 24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600	NORTH	
REVISION		
JOB NO: 2309	H68	



6 PROPOSED INTERNAL DOOR SCHEDULE - GF
SCALE 1:100

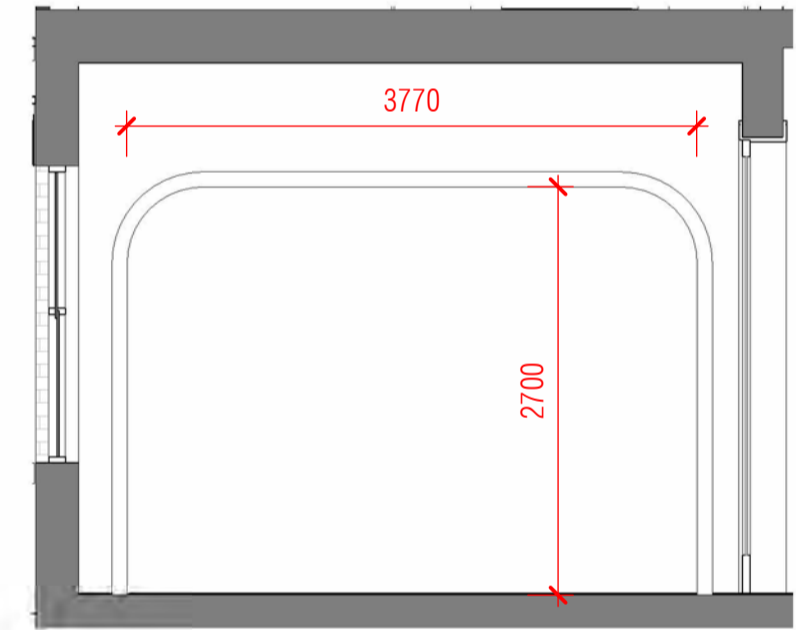


7 PROPOSED INTERNAL DOOR SCHEDULE - F1
SCALE 1:100



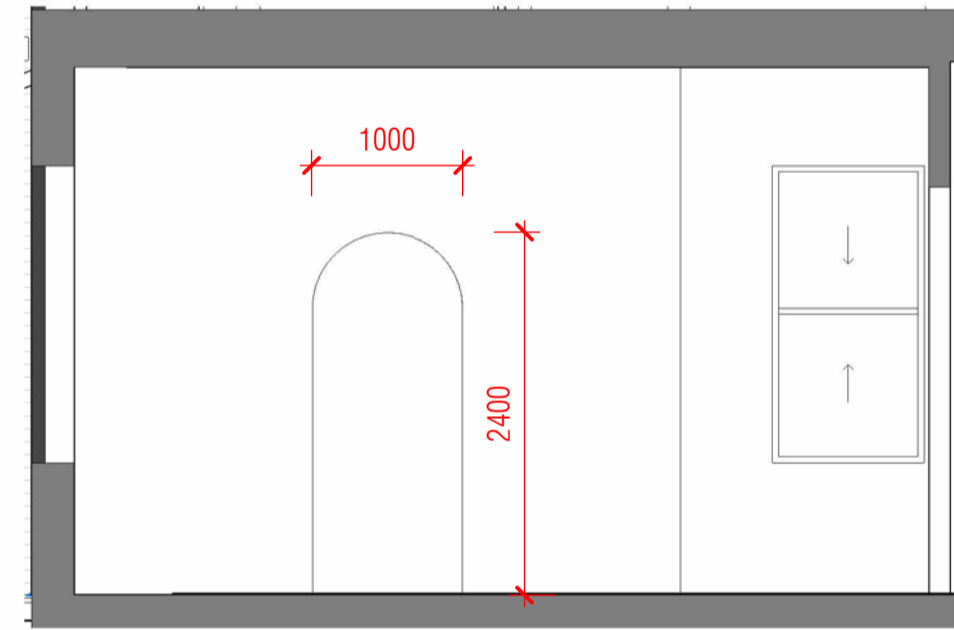
REPLACE NON-ORIGINAL GLASS PIVOT COMMERCIAL DOOR WITH NEW STEEL DOUBLE DOORS.
EXISTING DOOR
REMOVE EXISTING DOOR AND PUT INTO STORAGE ON SITE. REPLACE WITH NEW LIFT DOORS.
NON-ORIGINAL GLAZED PARTITION AND DOOR REMOVED AND REPLACE WITH NEW BLUNT ARCH OPENING.

1 GROUND FLOOR HALLWAY EAST ELEVATION
SCALE 1:50



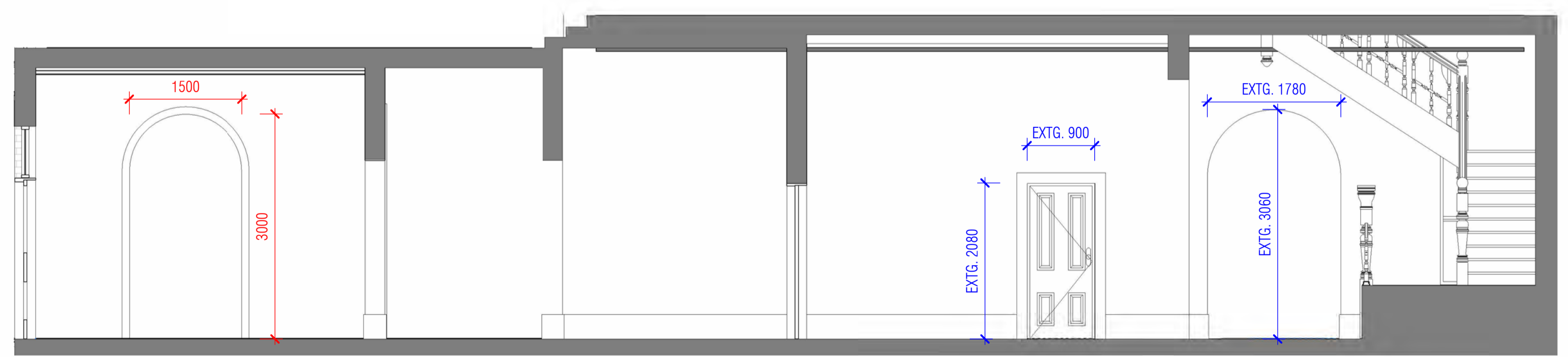
NEW ARCH OPENING 02 TO ORIGINAL WALL.

3 GROUND FLOOR DINING WEST ELEVATION
SCALE 1:50



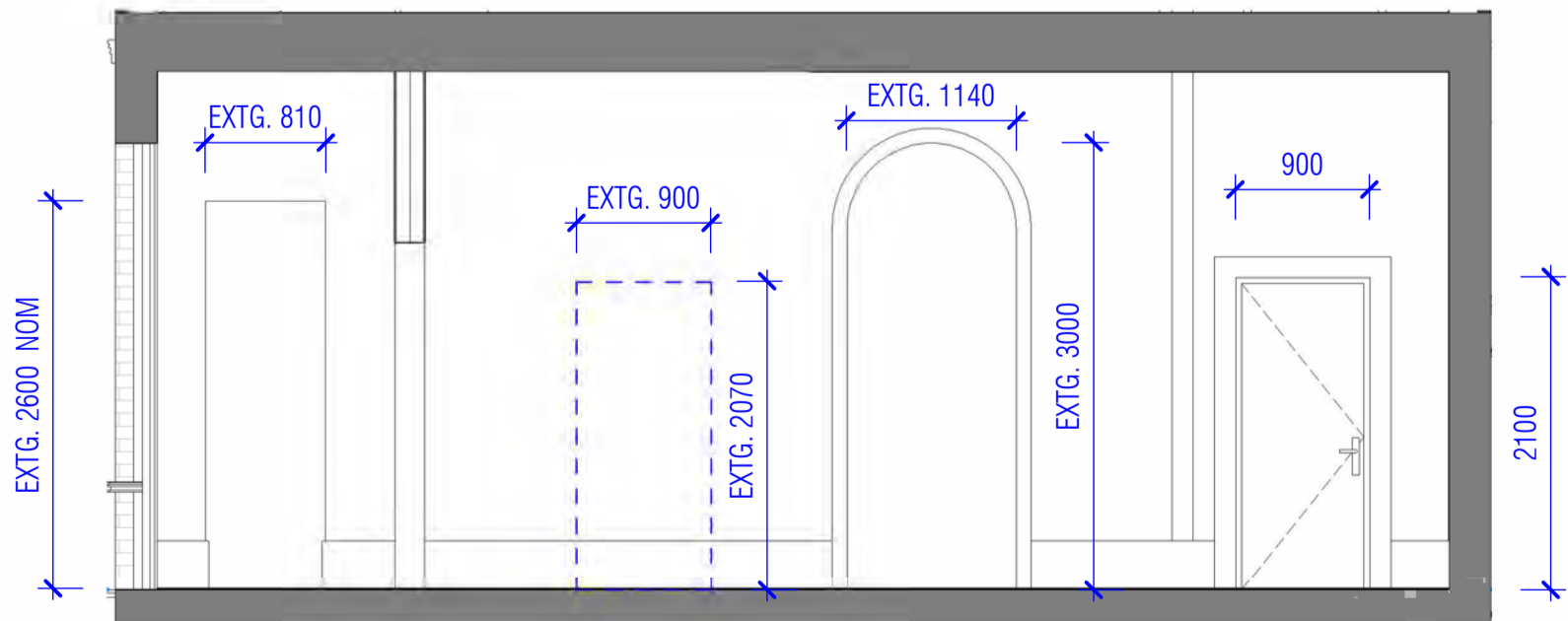
NEW ARCH OPENING 04 TO ORIGINAL WALL.
EXISTING WINDOW

4 GROUND FLOOR KITCHEN SOUTH ELEVATION
SCALE 1:50



NEW ARCH OPENING 01 TO ORIGINAL WALL.
EXISTING DOOR
EXISTING ARCH OPENING BEYOND

2 GROUND FLOOR HALLWAY WEST ELEVATION
SCALE 1:50

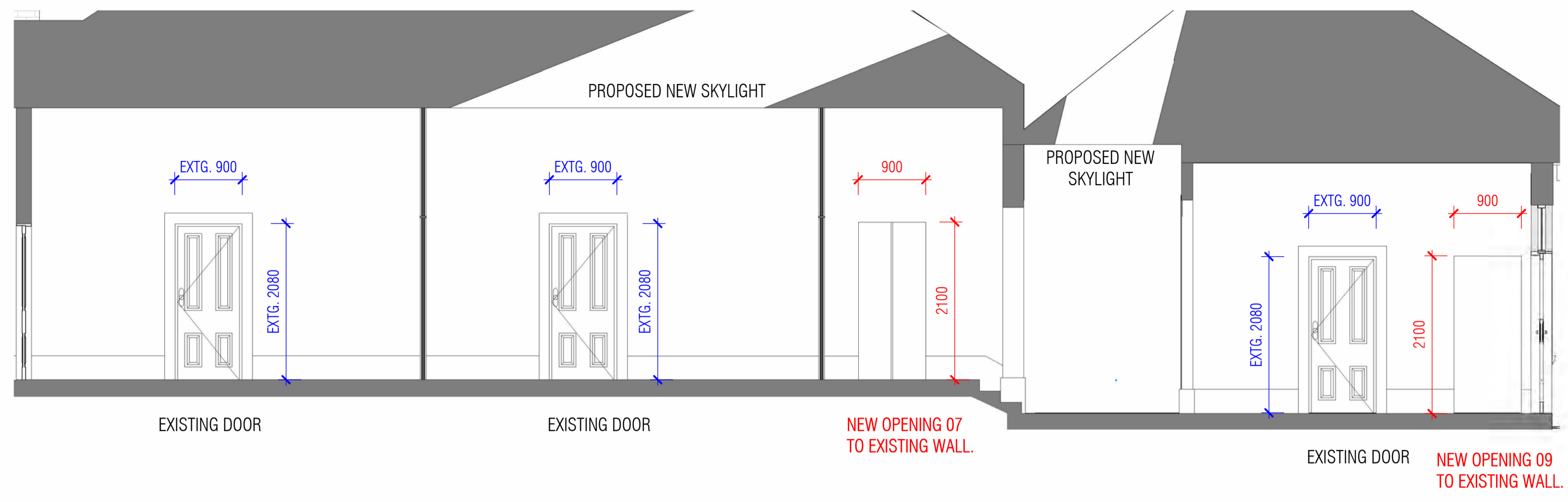


EXISTING OPENING
NON-ORIGINAL DOOR REMOVED & WALL INFILLED.
NON-ORIGINAL INFILL TO ORIGINAL OPENING REMOVED.
EXISTING DOOR

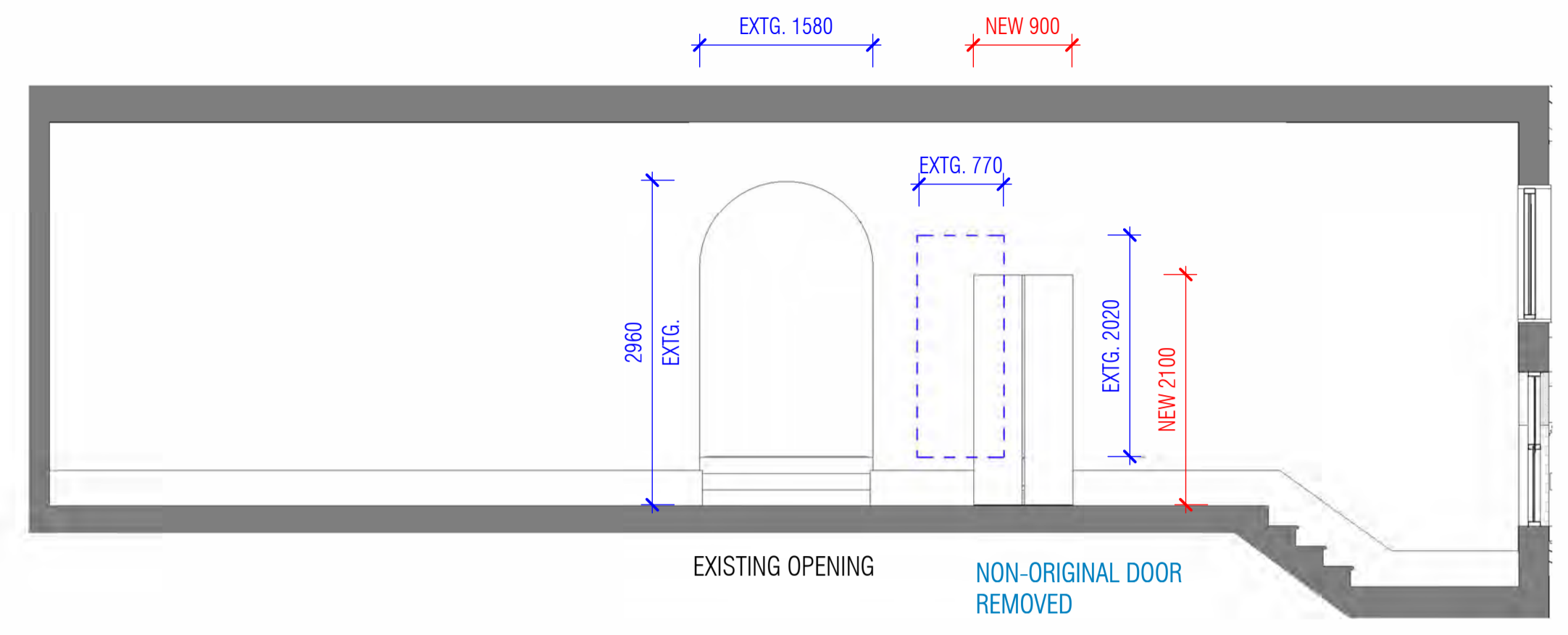
5 GROUND FLOOR FAMILY LIVING EAST ELEVATION
SCALE 1:50

REVISED BY	HR/RR/01	DATE	NOV 2024
REVISION	DESCRIPTION	DATE	
REVISION SCHEDULE			
CLIENT	KFO		
PROJECT	1-19 CLARENDON ST		
DRAWING	INTERNAL DOORS & OPENINGS - GROUND FLOOR		
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE		
SCALE	AS SHOWN		
DATE	AUG 24		
SHEET SIZE	A3		
FILE	b.e		
be architecture			
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600			NORTH
JOB NO: 2309			REVISION

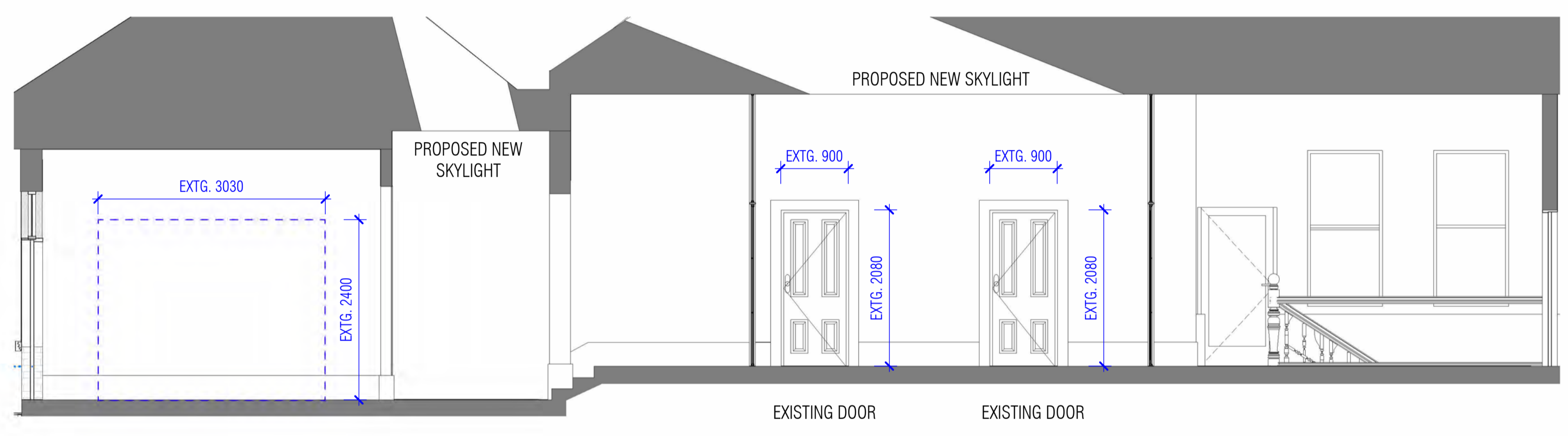
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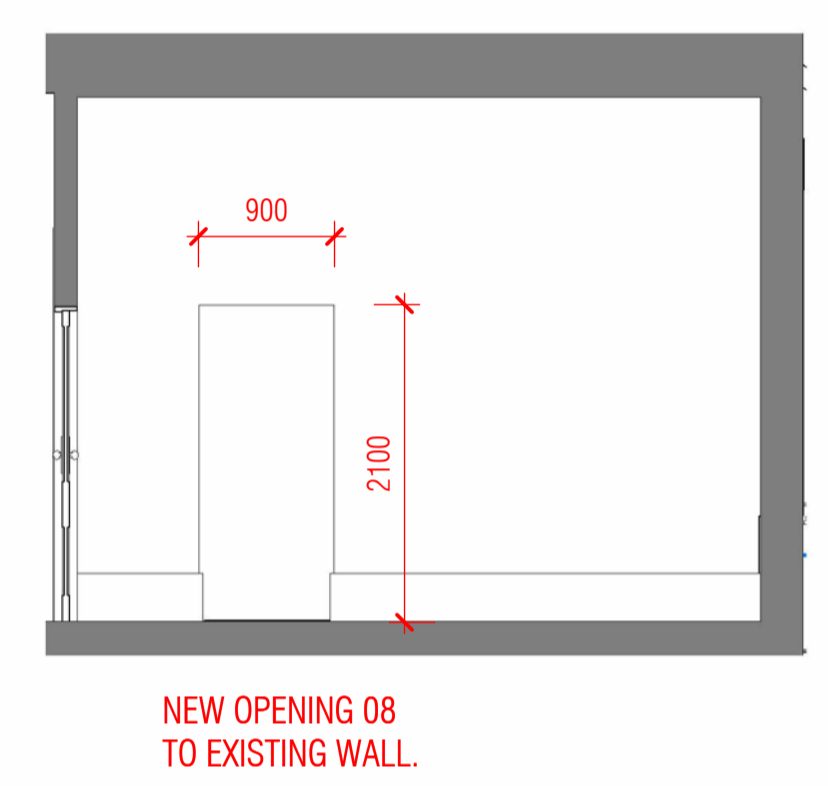
1 FIRST FLOOR HALLWAY EAST ELEVATION
SCALE 1:50



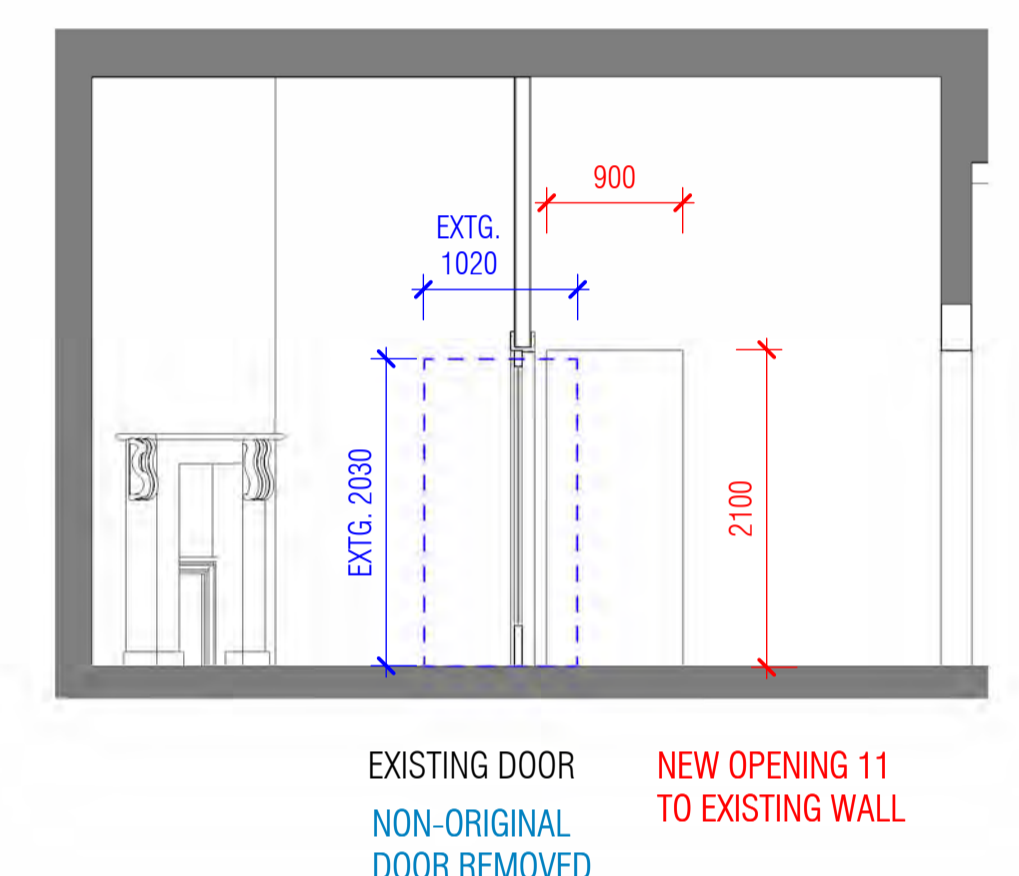
3 FIRST FLOOR REAR HALLWAY & MB ENSUITE NORTH ELEVATION
SCALE 1:50



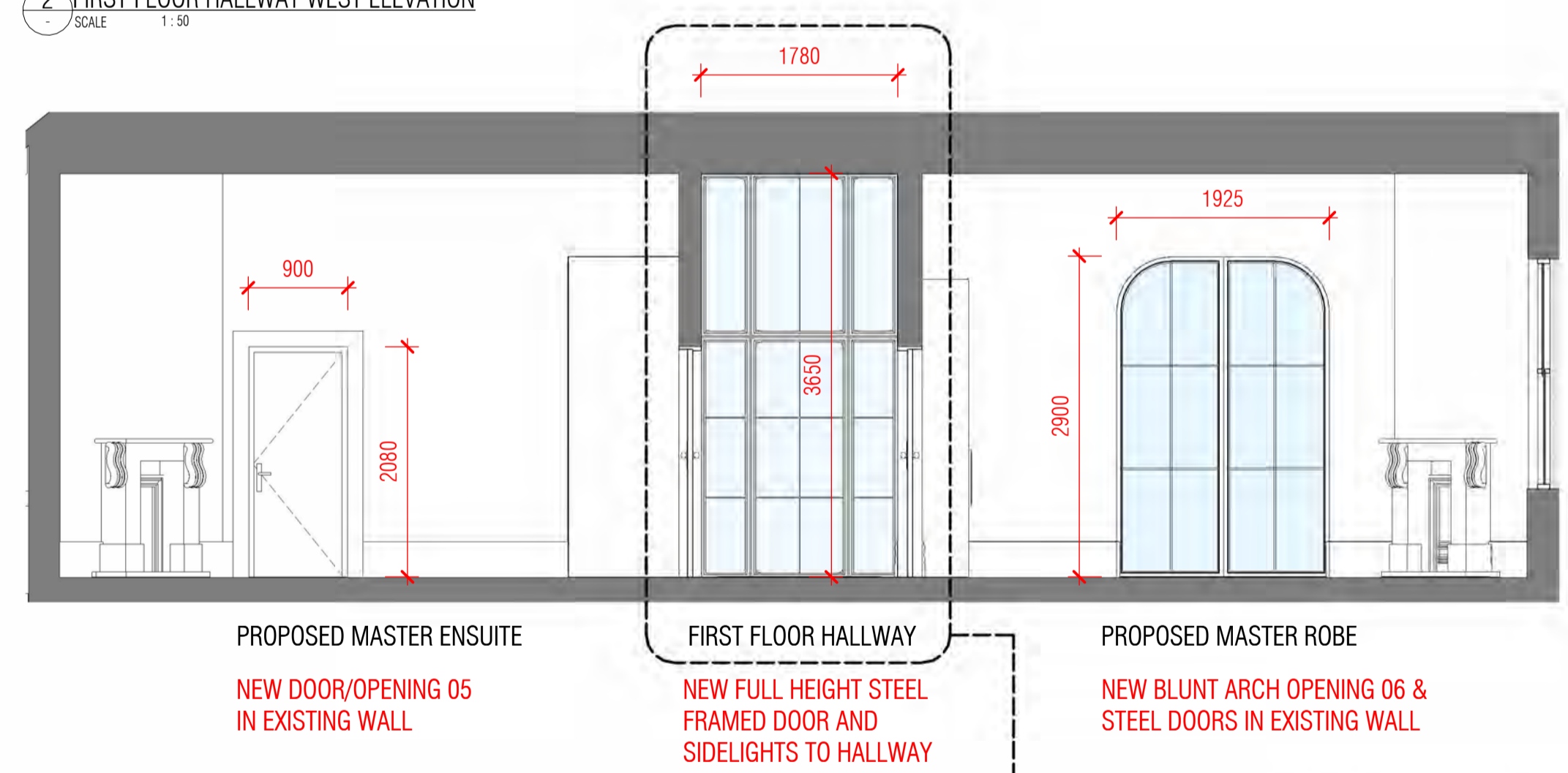
2 FIRST FLOOR HALLWAY WEST ELEVATION
SCALE 1:50



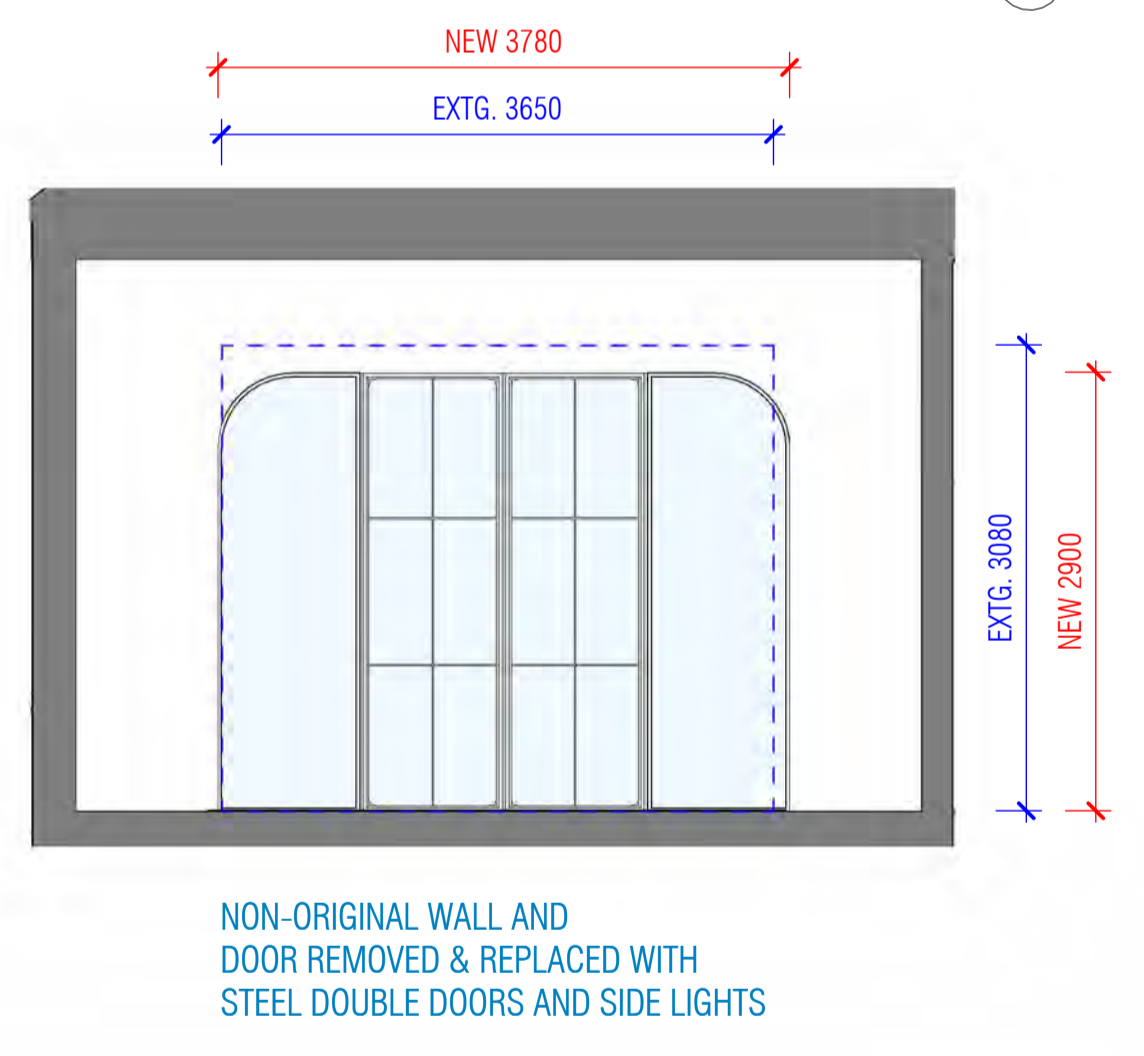
6 FIRST FLOOR BEDROOM 03 EAST ELEVATION
SCALE 1:50



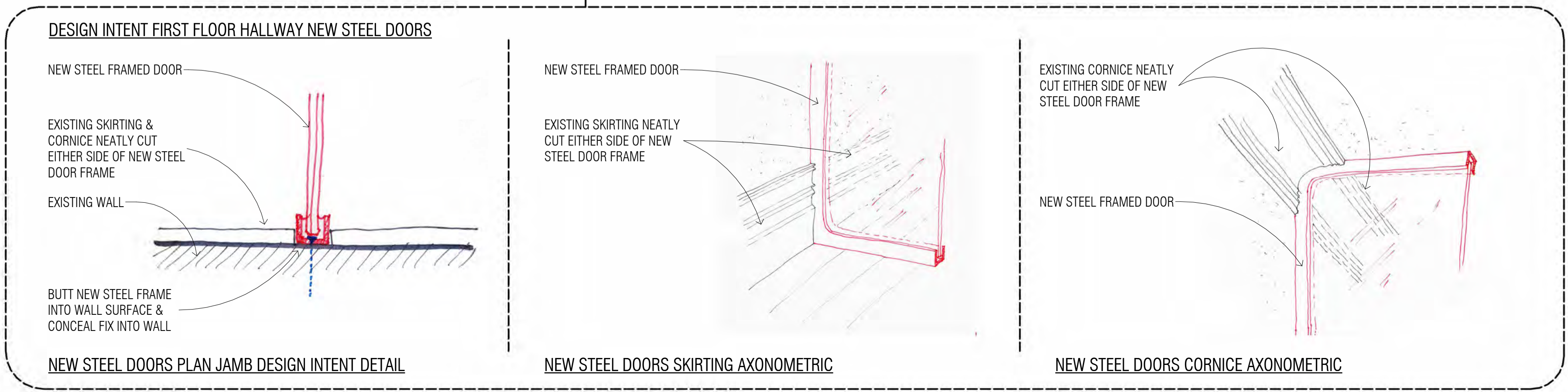
7 FIRST FLOOR BEDROOM 01 & HALL SOUTH ELEVATION
SCALE 1:50



4 FIRST FLOOR MB ROBE/ HALLWAY & MB ENSUITE SOUTH ELEVATION
SCALE 1:50



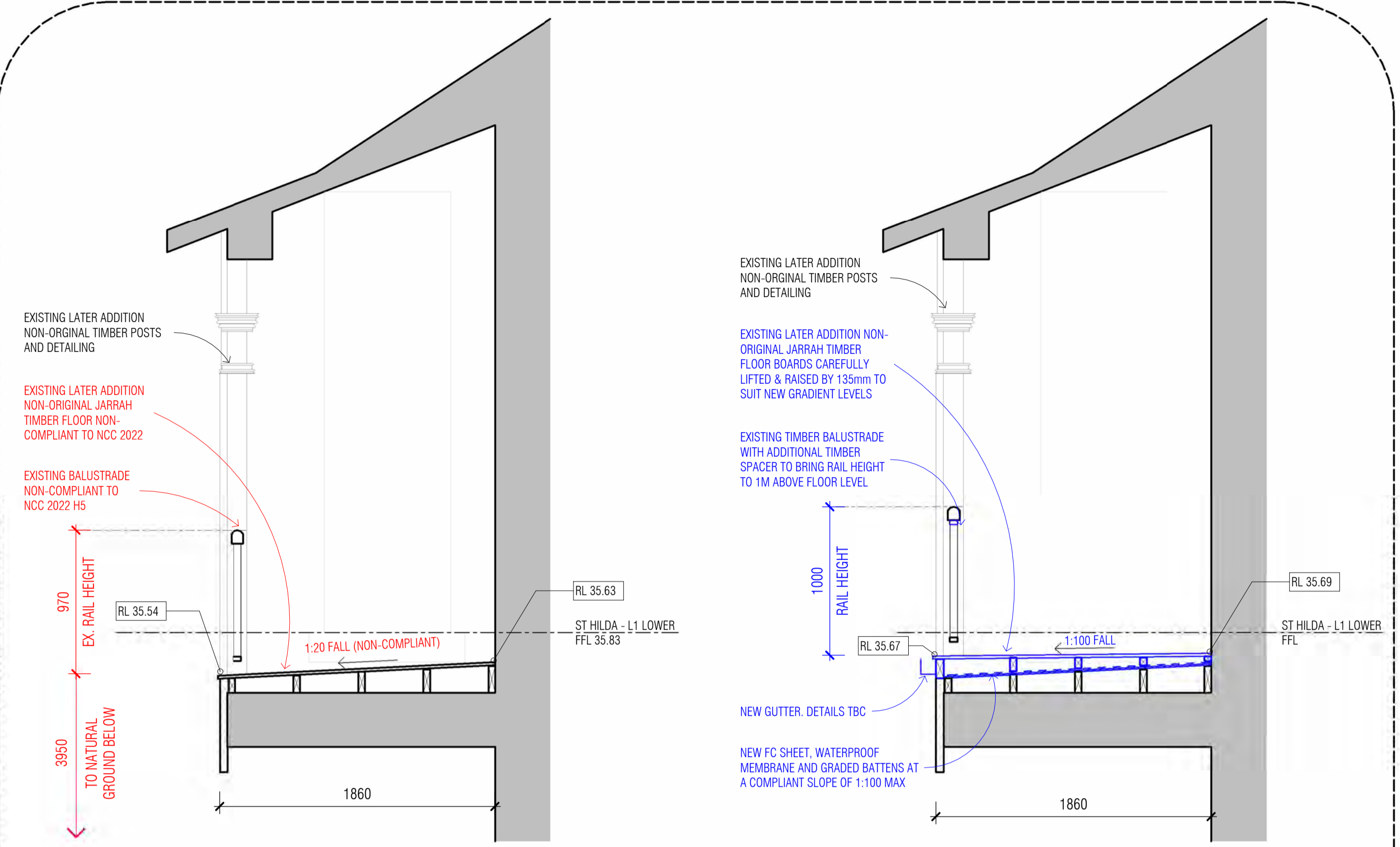
5 FIRST FLOOR MASTER BEDROOM SOUTH ELEVATION
SCALE 1:50



REVISION	DESCRIPTION	DATE

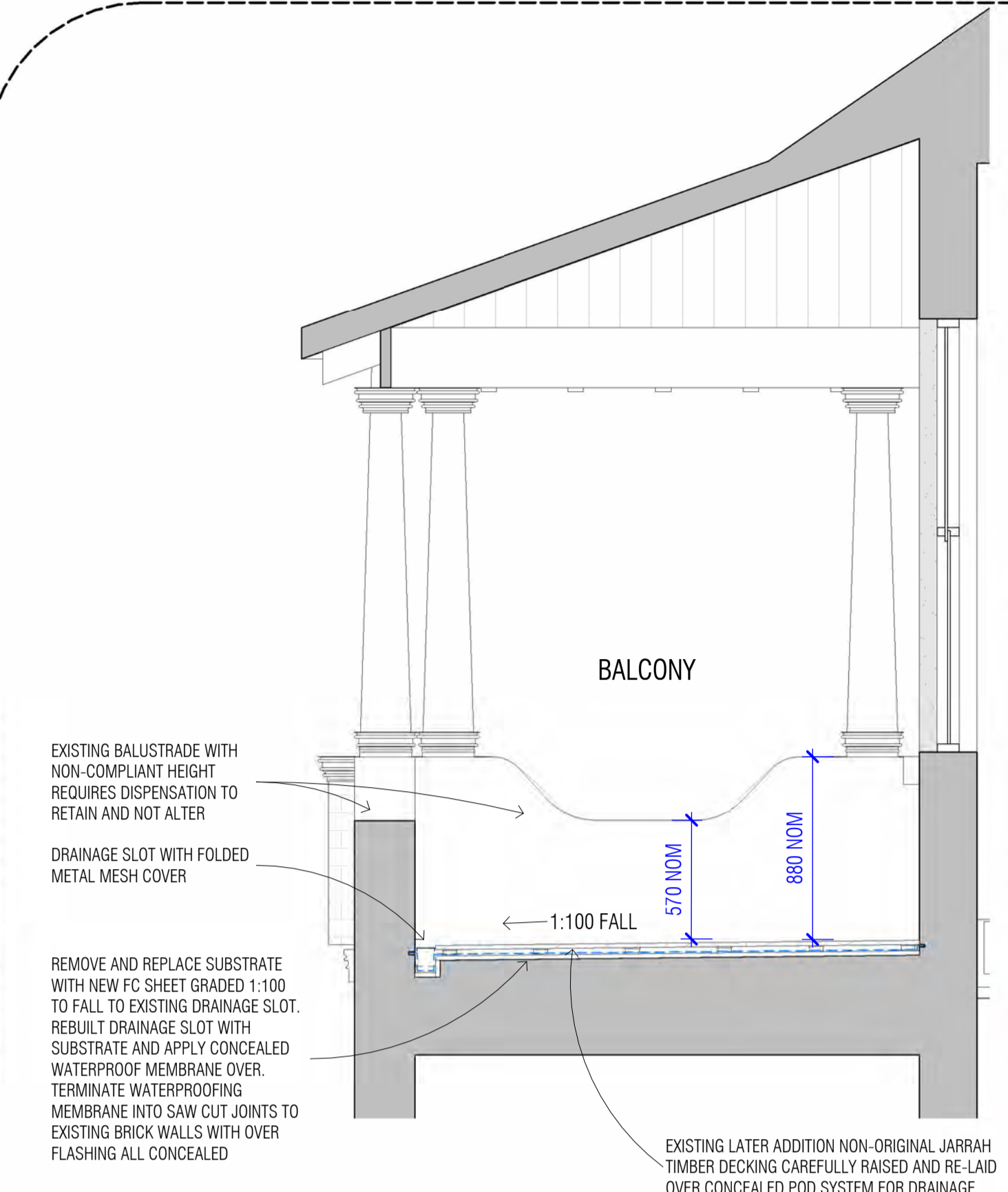
CLIENT: KFO
PROJECT: 1-19 CLARENDON ST
DRAWING: INTERNAL DOORS & OPENINGS - FIRST FLOOR
ADDRESS: 1-19 CLARENDON ST, EAST MELBOURNE
SCALE: AS SHOWN
DATE: AUG 24
SHEET SIZE: A3
FILE: b.e

be architecture
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600
NORTH
REVISION
JOB NO: 2309 **H70**

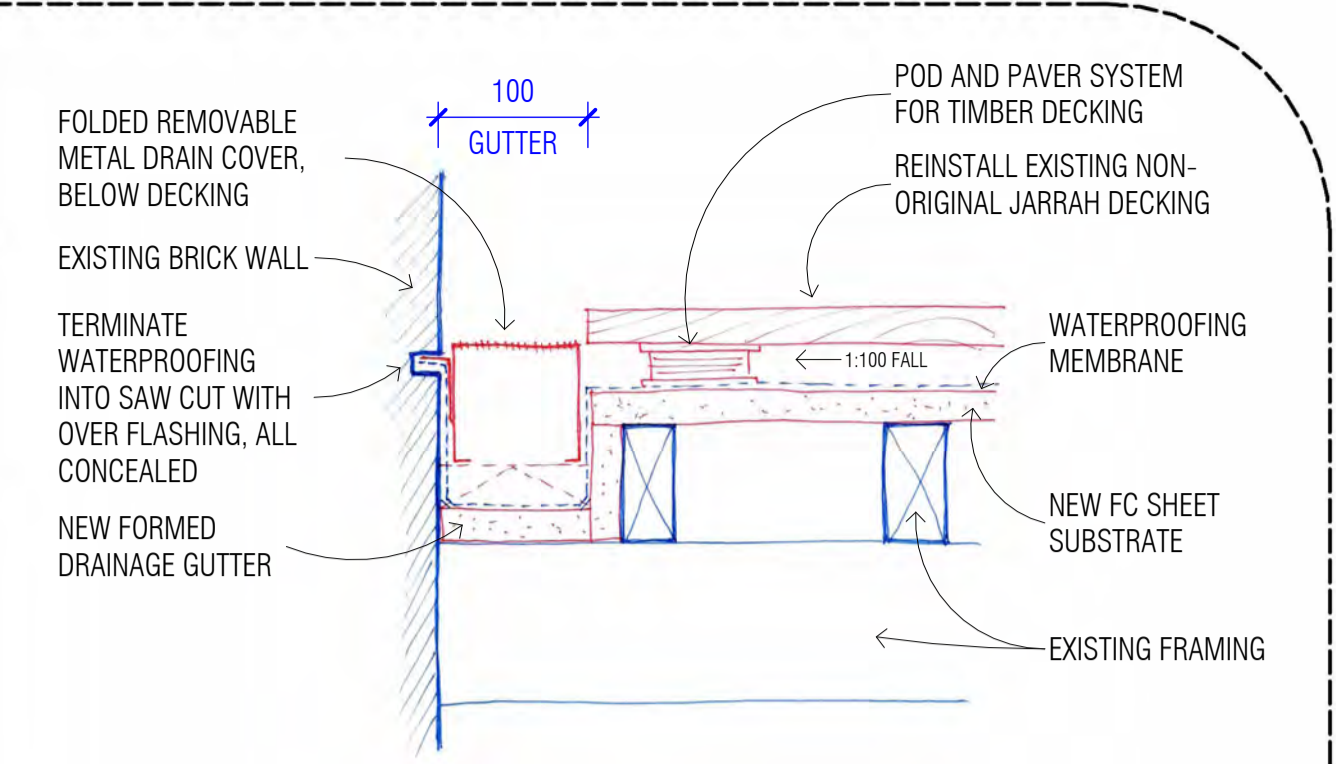


EXISTING SECTION THROUGH NORTHERN BALCONY
NORTHERN BALCONY PROPOSED ADJUSTMENTS

PROPOSED SECTION THROUGH NORTHERN BALCONY



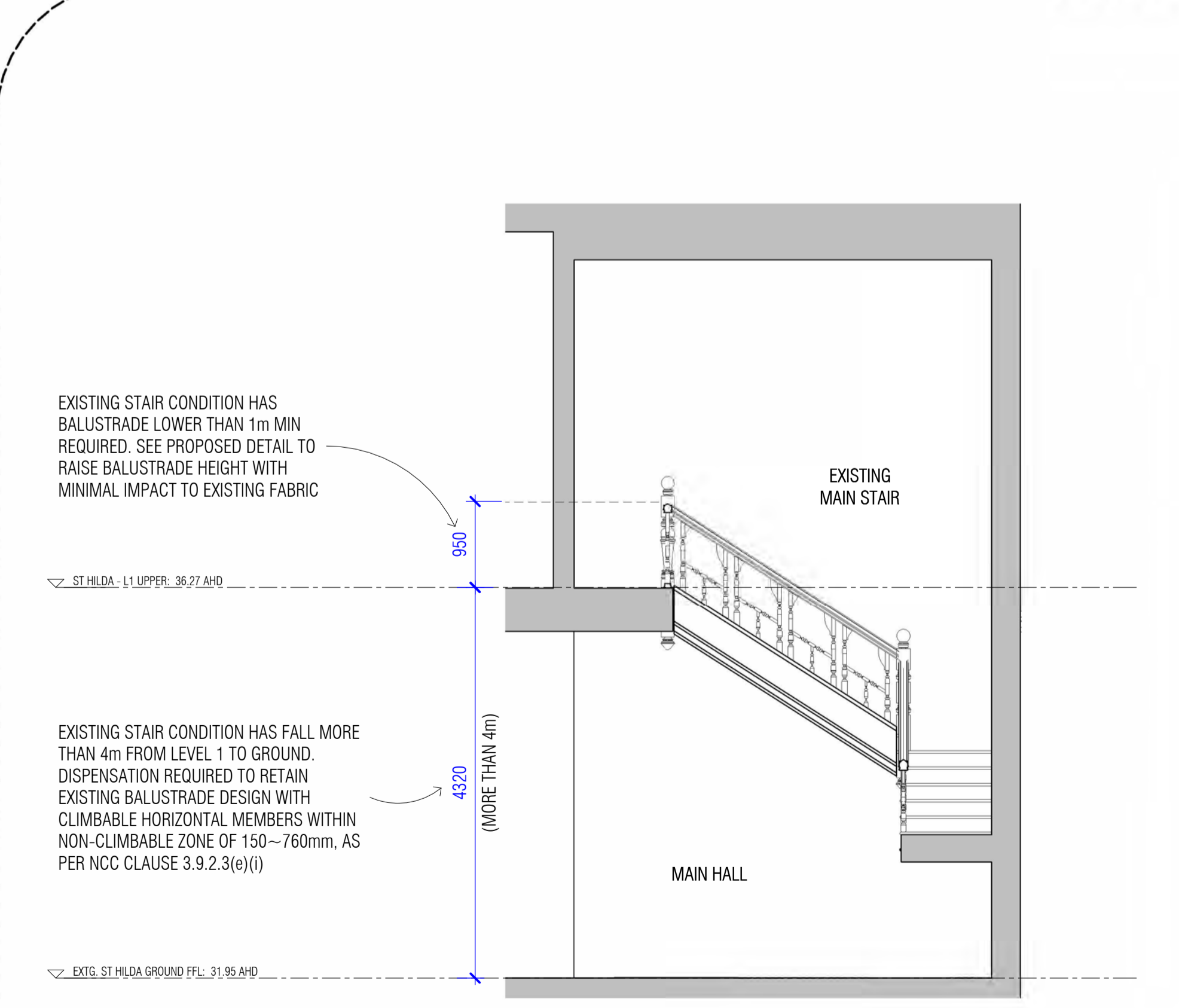
PROPOSED ADJUSTED EASTERN BALCONY SECTION
BALCONY RESTORATION SEQUENCE:
- CAREFULLY RAISE NON-ORIGINAL JARRAH TIMBER DECKING.
- REMOVE DAMAGED & LEAKING SUBSTRATE.
- CLEAN AREA.
- REPLACE SUBSTRATE WITH FC SHEET GRADED TO FALL TO NEW DRAINAGE SLOT.
- APPLY NEW WATERPROOFING MEMBRANE AND LAP UP WALLS AND TERMINATE IN SAW CUT (ALL CONCEALED FROM VIEW).
- INSTALL POD SYSTEM AND RE-LAY TIMBER DECKING.
- INSTALL STEEL MESH GUARD TO DRAINAGE SLOT BELOW DECKING LEVEL.



PROPOSED BALCONY RESTORATION DETAIL



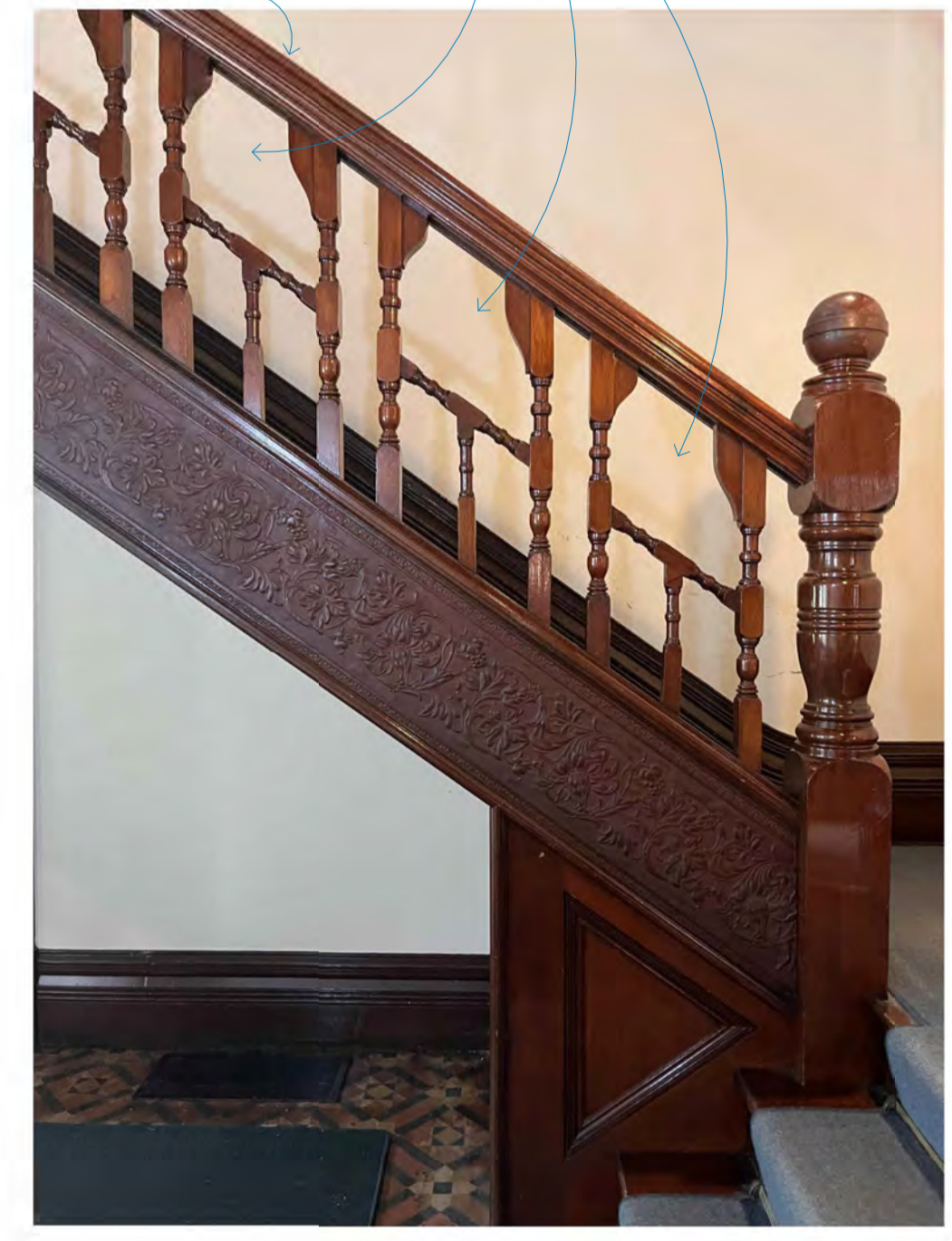
EXISTING BALCONY CONDITION
EXISTING BALCONY CONDITION HAS FOLLOWING NON-COMPLIANCES AND RESTORATION WORKS REQUIRED:
- NON-COMPLIANT LOW BALUSTRADE - REQUIRES DISPENSATION.
- DRAINAGE SLOT NOT IN WORKING ORDER.
- BOTH DRAINAGE SLOT AND BALCONY LEAKING TO PORCH BELOW.



MAIN STAIR EXISTING CONDITIONS SECTION

GAP GREATER THAN 125mm TO UPPER SECTION OF BALUSTERS.

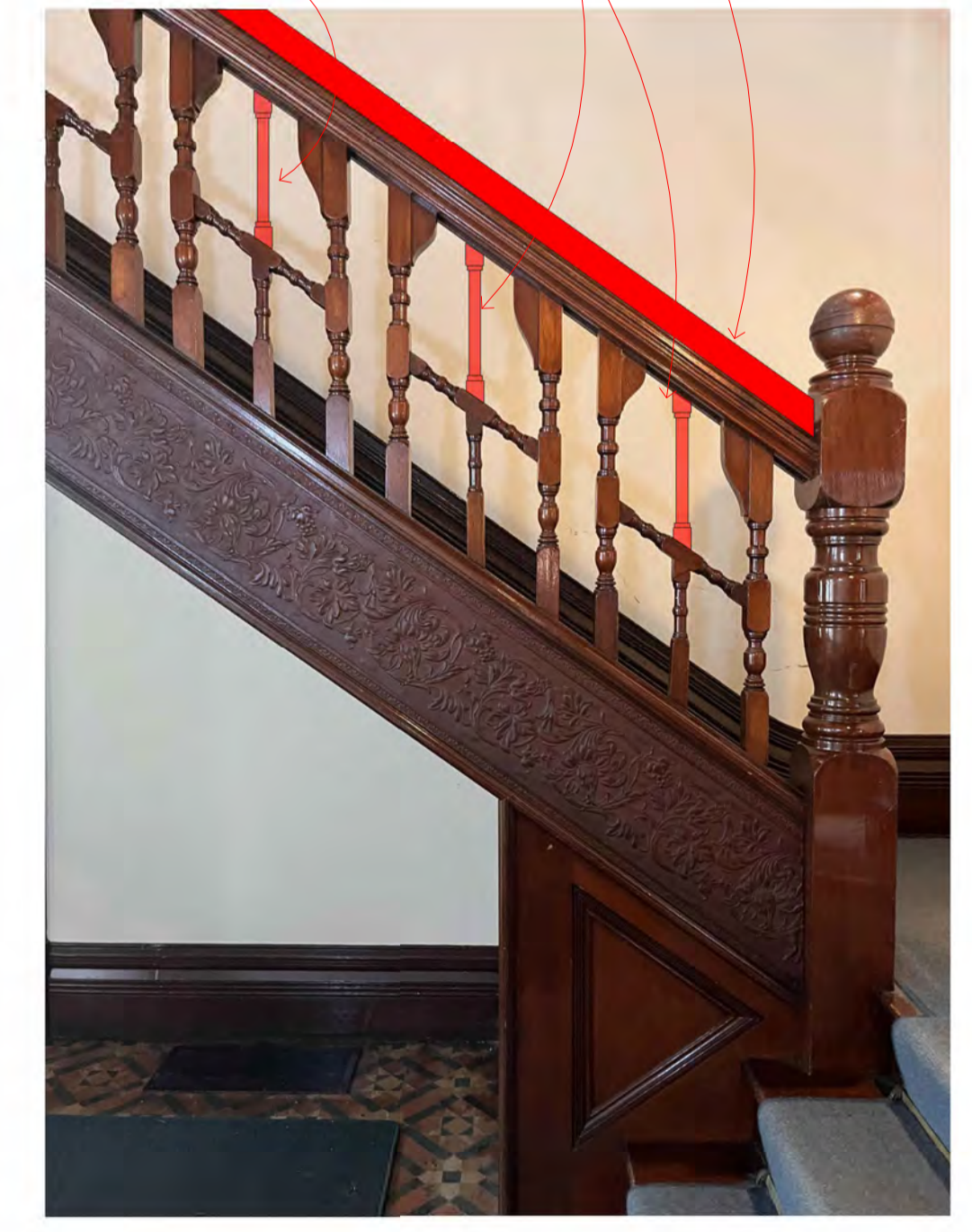
HEIGHT OF BALUSTRADE IS LOWER THAN REQUIRED 1m. CURRENTLY HEIGHT OF 950mm.



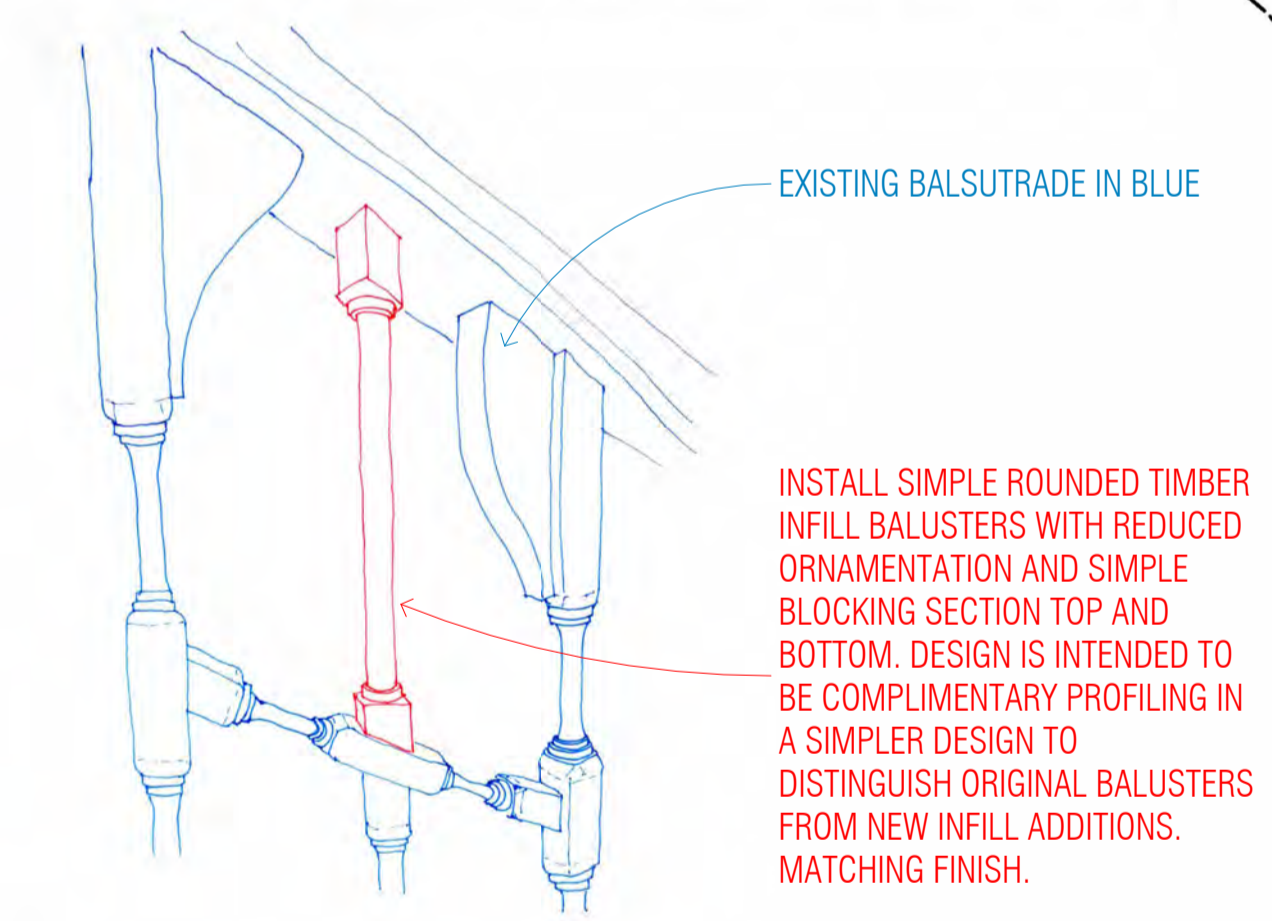
EXISTING MAIN STAIR BALUSTRADE CONDITION
EXISTING STAIR AND LANDING BALUSTRADE HAS FOLLOWING NON-COMPLIANCES:
- GAP GREATER THAN 125mm TO UPPER SECTION OF BALUSTERS.
- HEIGHT OF BALUSTRADE IS LOWER THAN REQUIRED 1m. CURRENTLY HEIGHT OF 950mm.

INSTALL ROUNDED PROFILE TIMBER MOLDING OVER EXISTING HANDRAIL IN MATCHING FINISH. REFER DETAIL ADJACENT

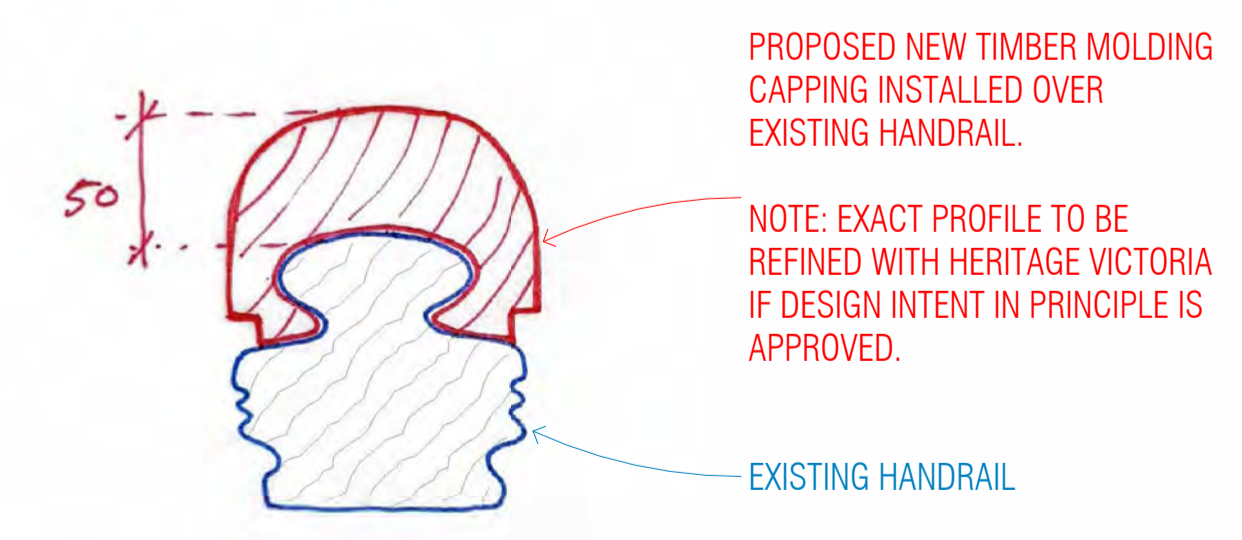
INSTALL SIMPLE ROUNDED TIMBER INFILL BALUSTERS IN MATCHING FINISH. REFER DETAIL ADJACENT



PROPOSED MAIN STAIR BALUSTRADE ADJUSTMENTS
PROPOSED CHANGES TO STAIR AND LANDING BALUSTRADE TO ACHIEVE MINIMAL IMPACT TO EXISTING FABRIC:
- INSTALL VERTICAL INFILL BALUSTER TO UPPER SECTION OF BALUSTERS TO REDUCE GAP TO COMPLIANT 125mm MAX. REFER DETAILS ABOVE.
- INSTALL ADDITIONAL TIMBER HANDRAIL SECTION CONTINUOUS ALONG TOP OF EXISTING HANDRAIL TO RAISE HEIGHT OF BALUSTRADE TO COMPLIANT 1m ABOVE LANDING. REFER DETAILS ABOVE.



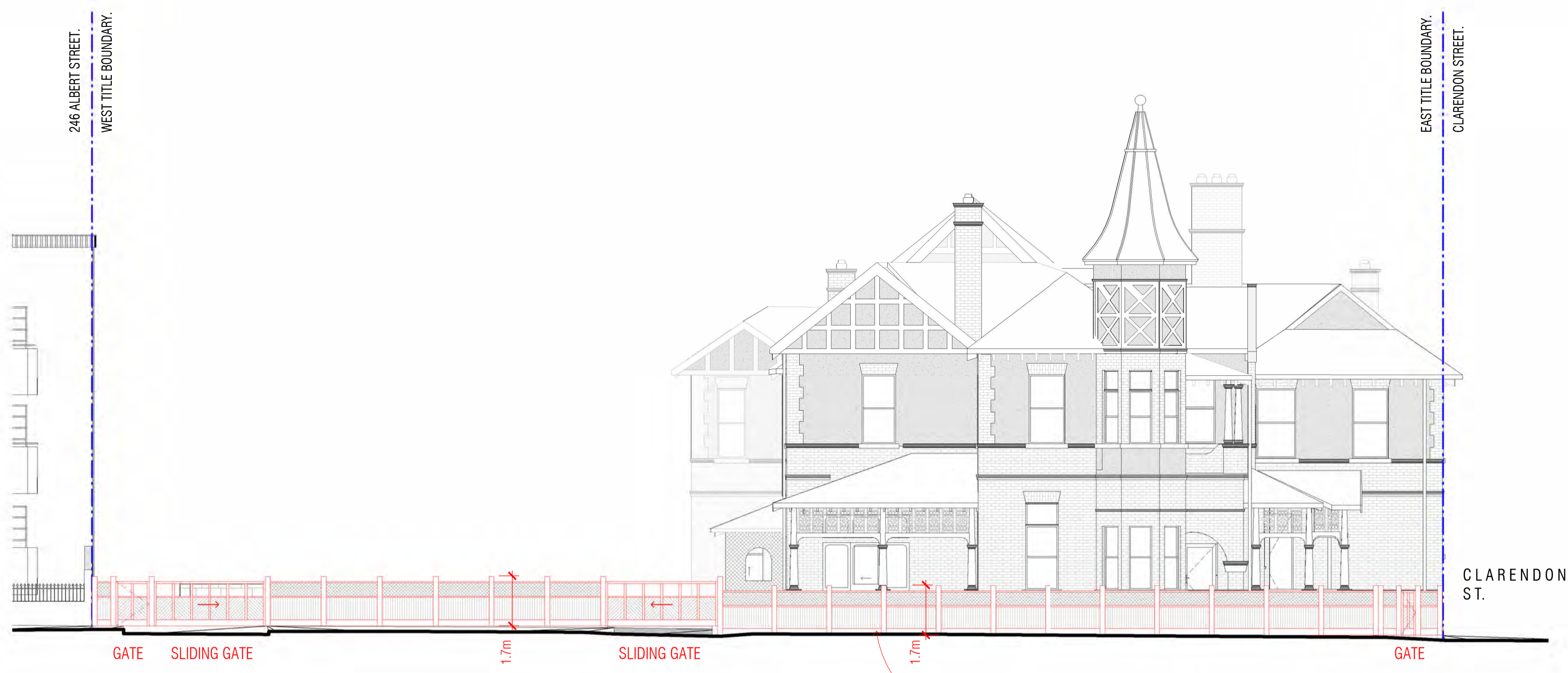
PROPOSED MAIN STAIR BALUSTER INFILL DESIGN INTENT



PROPOSED MAIN STAIR HANDRAIL ADJUSTMENT DESIGN INTENT

REVISION	DESCRIPTION	DATE
HR 01		NOV 2024
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1-19 CLARENDON ST	
DRAWING	PROPOSED DETAILS	
ADDRESS	1-19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG 24	
SHEET SIZE	A3	
FILE	b.e	

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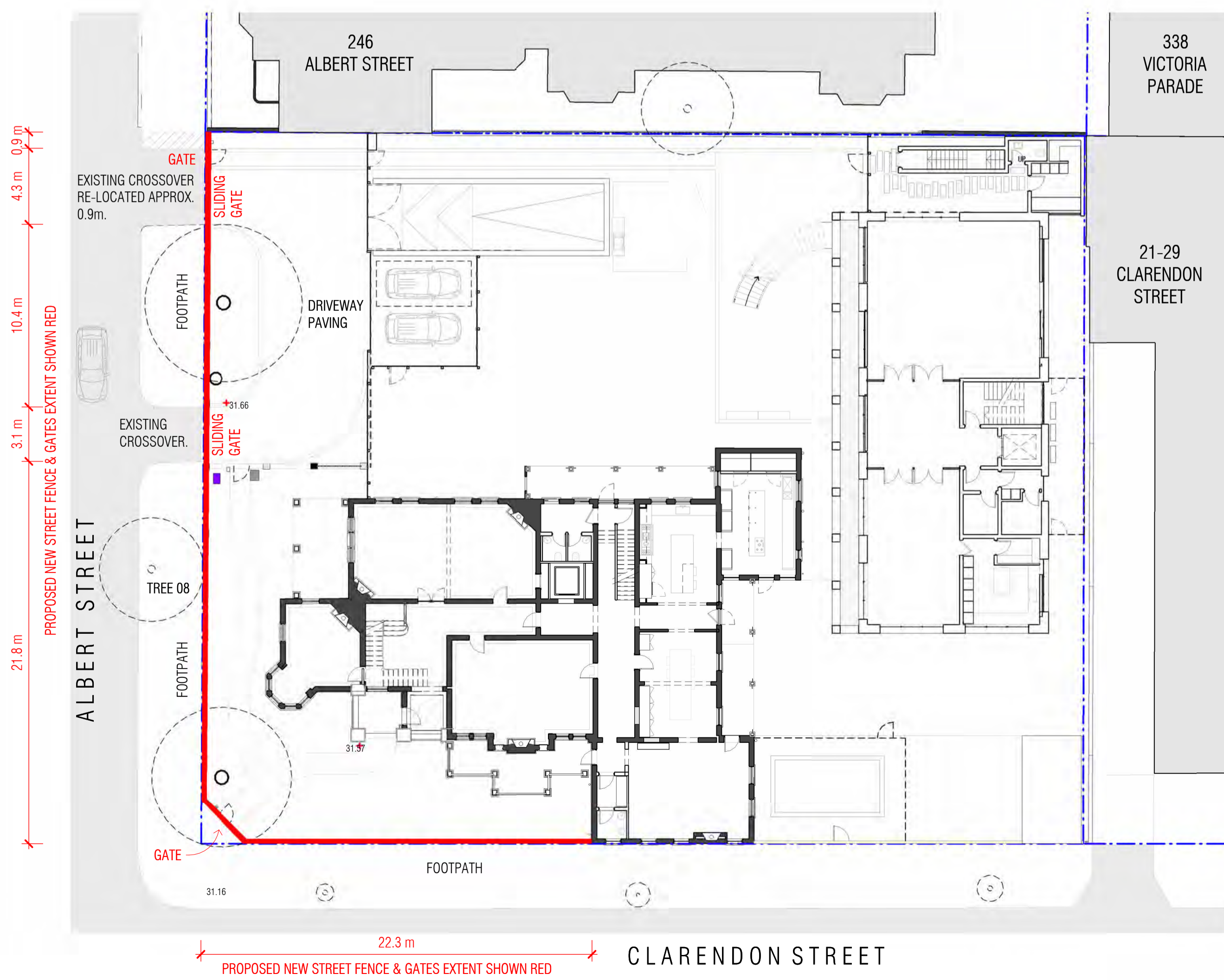
PROPOSED - SOUTH ELEVATION (ALBERT STREET) - FRONT FENCE

PROPOSED NEW 1.7m HIGH STREET FENCE IN REINTERPRETED DESIGN SIMILAR TO REFERENCE BELOW. FENCE TO HAVE SQUARE POSTS, LATTICE UPPER SECTION, HERITAGE PROFILE CORRUGATED METAL LOWER SECTION & PLINTH BOARDS



PROPOSED - EAST ELEVATION (CLARENDON ST.) - FRONT FENCE

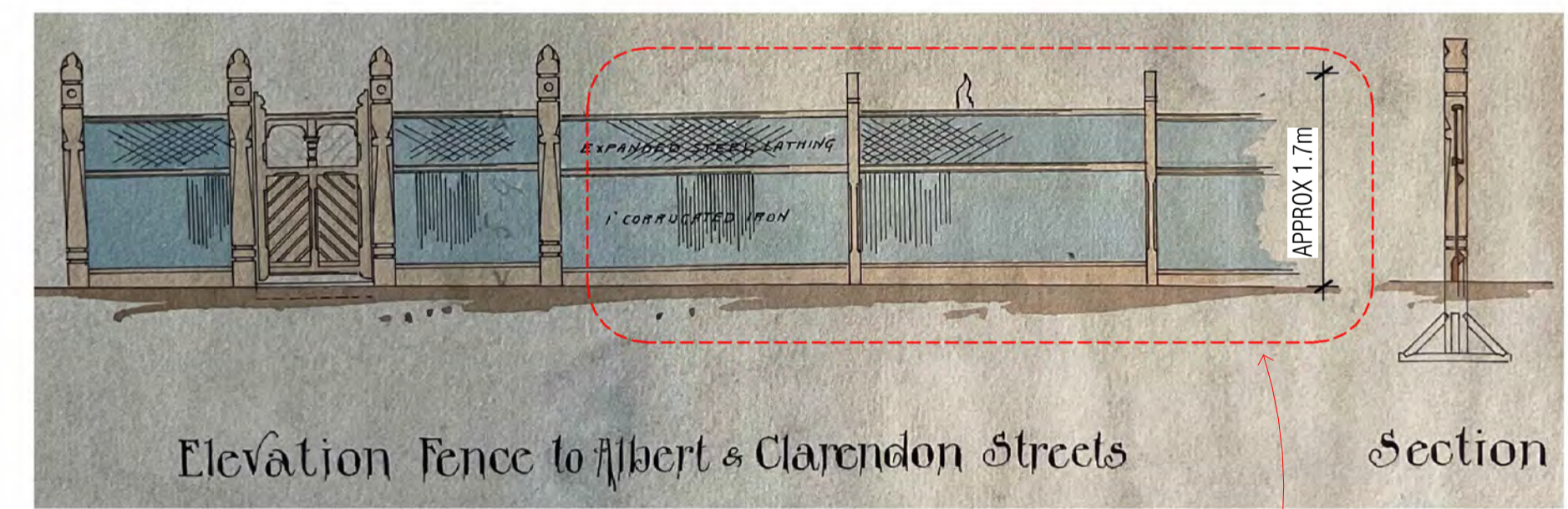
PROPOSED NEW 1.7m HIGH STREET FENCE IN REINTERPRETED DESIGN SIMILAR TO REFERENCE BELOW. FENCE TO HAVE SQUARE POSTS, LATTICE UPPER SECTION, HERITAGE PROFILE CORRUGATED METAL LOWER SECTION & PLINTH BOARDS



PROPOSED FRONT FENCE SITE PLAN



ORIGINAL STREET FENCE REFERENCE



ORIGINAL STREET FENCE REFERENCE

ORIGINAL SECTION OF STREET FENCE DESIGN TO BE REINTERPRETED INTO NEW STREET FENCE WITH USE OF:
- SQUARE POSTS
- LATTICE UPPER SECTION
- HERITAGE PROFILE CORRUGATED METAL LOWER SECTION
- PLINTH BOARDS

HW RR 01	NOV 2024	
REVISION	DESCRIPTION	DATE
REVISION SCHEDULE		
CLIENT	KFO	
PROJECT	1 - 19 CLARENDON ST	
DRAWING PROPOSED FRONT FENCE		
ADDRESS	1 - 19 CLARENDON ST, EAST MELBOURNE	
SCALE	AS SHOWN	
DATE	AUG 24	
SHEET SIZE	A3	
FILE	b.e	
be architecture		
100 Stephenson Street, Cremorne VIC 3121 P. 03 9416 1600		NORTH
REVISION		
JOB NO:	2309	H72