

AN  
AM

South Melbourne  
Town Hall Renewal

Heritage Victoria  
Heritage Permit Application

RFI Response  
15 November 2024

peter elliot  
architecture +  
urban design





Bank St Frontage - Render by Tilt Projects

## Heritage Victoria

Heritage Permit Application

RFI Response - 15 November 2024

### Key Dates

- Pre-application Meeting No.1  
*18 October 2023*
- Pre-application Meeting No.2  
*24 April 2024*
- Permit Application  
*05 September 2024*
- Request for Further Information  
*17 October 2024*

### ANAM SMTH Project Update

Current Progress:

- Design Development Stage  
*Completion - End of November*

## ANAM SMTH | Heritage Application Key Dates



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17/10/2024

Martin Turnor

Bryce Raworth Pty Ltd  
246 Albert Road  
South Melbourne VIC 3205  
[martin@bryceraworth.com.au](mailto:martin@bryceraworth.com.au)

Dear Martin,

**RE: PERMIT APPLICATION P38920 - SOUTH MELBOURNE TOWN HALL, 208-220 BANK STREET  
SOUTH MELBOURNE, PORT PHILLIP CITY (H0217)**

Thank you for your application for a heritage permit for the above Place. The application is for an adaptive re-use for Australian National Academy of Music tenancy, involving construction of new entrance ramp and associated universal access works, two first-floor additions, solar panel installation, and interior refurbishment including extensive acoustic upgrades. A heritage officer has been allocated to your application and has reviewed your documentation. This letter is to advise that further information is required by **15 November 2024**.

**Base build works**

The application states that the base build works (City of Port Phillip) will require amendment in consultation with the ANAM project team to 'minimise abortive works'. I would like to know how you plan to address this, as a permit cannot be issued for works that conflict with another approval. At this stage further detail regarding the nature and extent of the conflicts is required. It may be that the base build permit requires amendment prior to determination of this permit.

**Proposed first-floor additions**

There is some concern regarding the detailed design of the new additions, particularly the rear addition proposed to replace the former assistant librarian's residence. Specifically, how the large single window on the western elevation sits in relation to the adjacent heritage (western) facade, which is highly articulated. While it is understood the intent is to present the new additions as clearly contemporary interventions, it is considered that a greater balance could be struck between the old and new. Further, renders which illustrate the proposed materiality of the new additions are required, particularly for public notice of the application documents.

Further information, as set out below, is sought to allow a better understanding of the impacts of the proposed works. The information is required under s98 of the *Heritage Act 2017* (the Act) to assist the Executive Director, Heritage Victoria in determining your application:

- A response to the base build matters raised above, including a clear outline of the scope of work being proposed in this permit application, which differs from the approved base build permit.
- A response to the matters raised regarding the design of the new additions, particularly the rear addition, and whether any alternate options can be explored to achieve a better balance between the new addition and the western facade of the heritage building.
- Renders which illustrate the materiality of the new additions in relation to the existing heritage building, for the purposes of advertising and providing an indication of the potential visual impact of these new additions.

This information is required by no later than **15 November 2024**. **Your application will lapse under s98(2) of the Act if you do not provide the requested information by this date.** A response to this further information request should be made via Heritage Desk. Alternatively, the email address to which you can send this information is [heritage.permits@transport.vic.gov.au](mailto:heritage.permits@transport.vic.gov.au).

Please note that, under s99(d) of the Act, the 45-business-day period within which your application would ordinarily be determined has been suspended until you provide the information that has been requested.

You may request additional time to provide the information which will be considered in accordance with ss98(4), (5) and (6) of the Act.

If you would like to discuss this request please contact Jessica Antolino, Senior Heritage Officer (Permits) on 03 5381 9427 or email [jessica.antolino@transport.vic.gov.au](mailto:jessica.antolino@transport.vic.gov.au).

Yours sincerely



Jessica Hood  
Principal, Heritage Permits  
Heritage Victoria

(As delegate for the Executive Director, Heritage Victoria pursuant to the Instrument of Delegation)





### Base Build Works

ANAM and the City of Port Phillip have been working diligently over several months to co-ordinate the base building works with the tenancy works to minimise abortive works. We understand this will require an amendment to the base build heritage permit. Accordingly we have prepared an attached schedule of works which describes the proposed variations to the base build project as a result of these co-ordination activities between projects.

Please note the schedule does not capture any other potential changes to the base build heritage permit due to other factors.

## HV RFI Response | Base Build Works

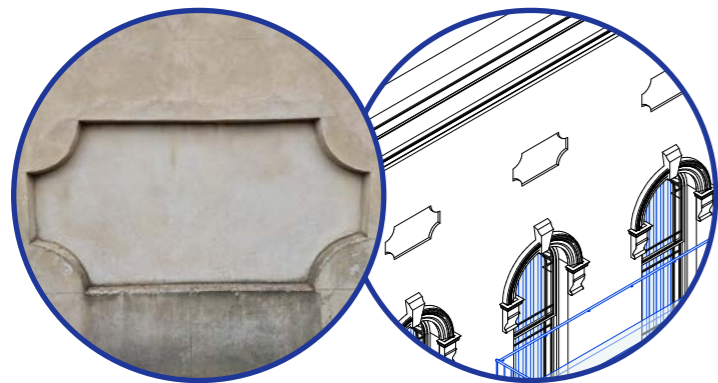
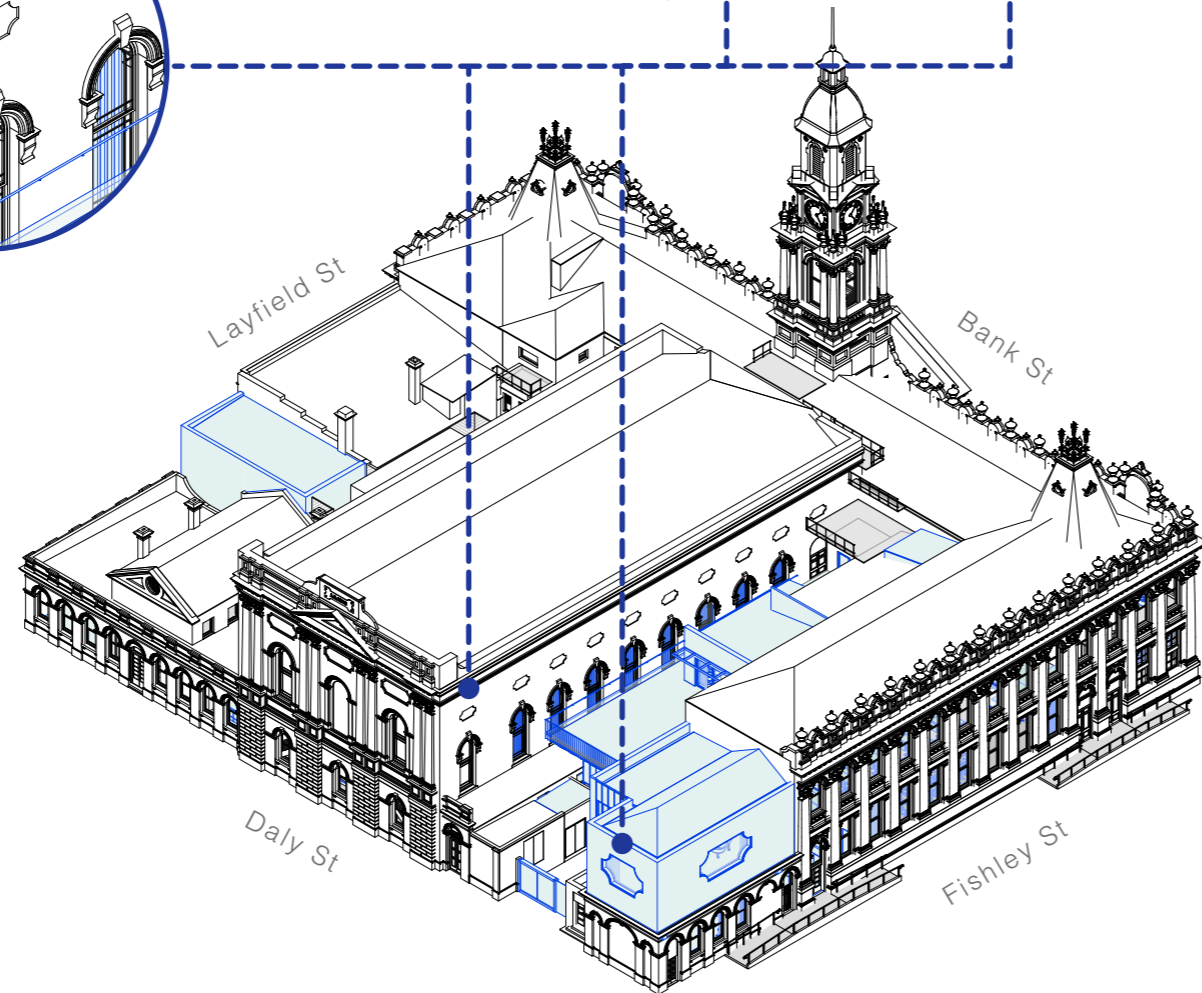
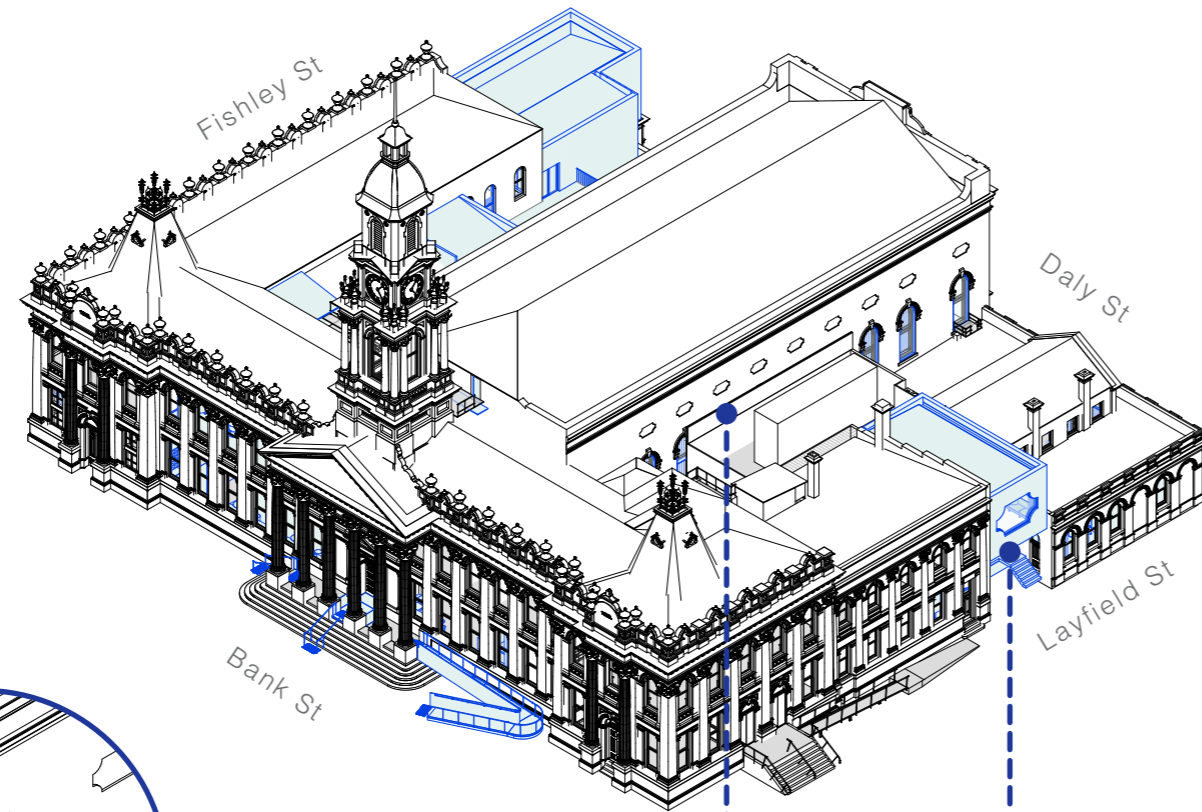


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Architectural feature window based on Town Hall motif

Proposed Extensions

A description of the design rationale for the proposed additions was included in the Architects Design Rationale document dated *05 September 2024* submitted with the permit application. We understand there is some concern regarding the detailed design of the additions, with particular reference to the large single window on the west elevation of the NW annex and how it sits in relation to the adjacent heritage western façade.

To reiterate from the Design Rationale statement:

### Exterior Design Language

The design for the north west annex and east infill adopts a common language of simple masonry forms with shaped cut-out windows, in the manner of nineteenth century buildings. The window shapes are based upon recessed decorative elements located in the upper walls of the main hall, being rectangular with inverted circular scalloped corners. The walls are clay masonry thin brick flats with a soft patina finish. The bricks are locally made by Krause and colour matched to a light grey cement render which is the predominant surface finish to the north, east and west walls of the existing building.

The architectural concept was for the two additions to adopt the same design language, albeit located in different parts of the building. The design approach for each addition is further explored in this report, but does not repeat the background to the functional need for the additions as this is outlined in detail in the permit application.

## HV RFI Response | Exterior Design Language



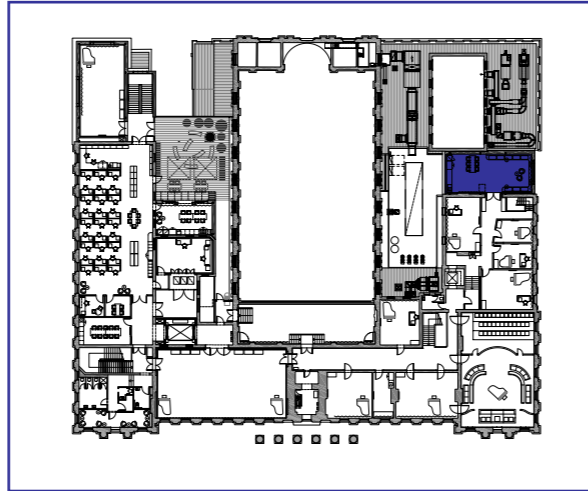
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## East Extension



### East Infill

This first floor addition above the existing single storey loading dock is 5.4 metres wide and modest in scale and manner. The Layfield Street façade is nominally 50 metres long and is made up in 4 distinct parts: the grand 1879 Council Offices façade, the Postmaster's residence later altered (added second floor), the loading dock recessive gap (originally a driveway/yard) and the single storey Courthouse wing.

The infill addition forms a transition element which steps in scale between the higher former Postmaster's residence and the lower courthouse wing. The infill addition side flanking wall is partly visible from an oblique street view, although it is the same as the existing blank north wall to the former Postmaster's residence which it obscures. The east infill also blocks out any view of the CoPP mechanical plant platform enclosure adjoining the main hall. It will also reduce acoustic breakout noise from the plant equipment.

### Material Selection

The external walls are clad in a clay masonry thin brick flat with a soft patina finish colour matched to a light grey cement render which is the predominant surface finish to the existing building. The window reveals and frames will be metal powder coated colour bronze.

### Street View Render

As requested a street view render has been prepared showing the materiality of the addition in relation to the existing heritage building and site context.

### Conclusion

Overall we feel this simple infill addition is an appropriate architectural response. It is clearly a new insertion which distinguishes itself from the adjoining heritage fabric, but in a sympathetic and respectful manner. In addition a freehand design study sketch has been included to demonstrate design thinking.

## HV RFI Response | Proposed East Infill

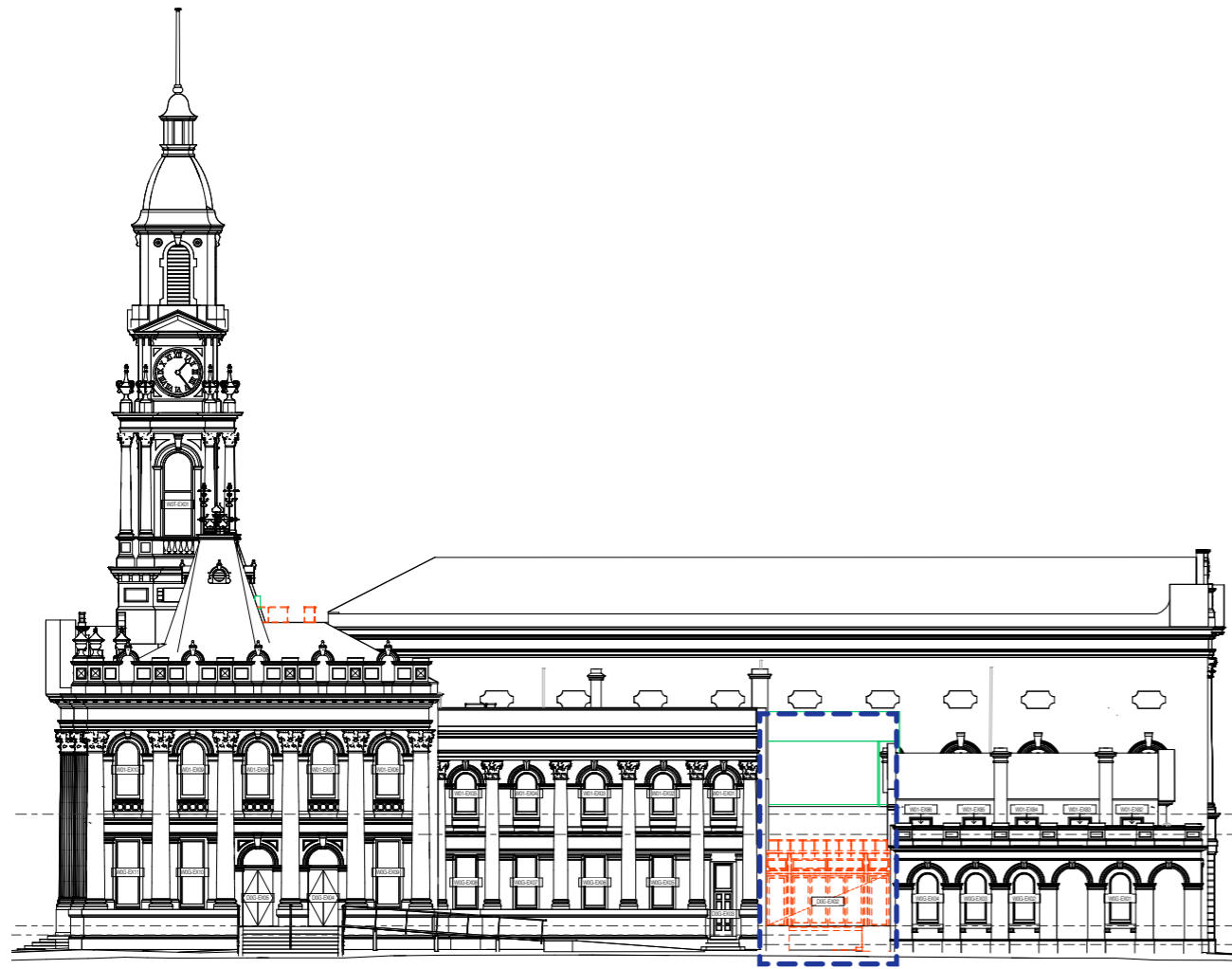


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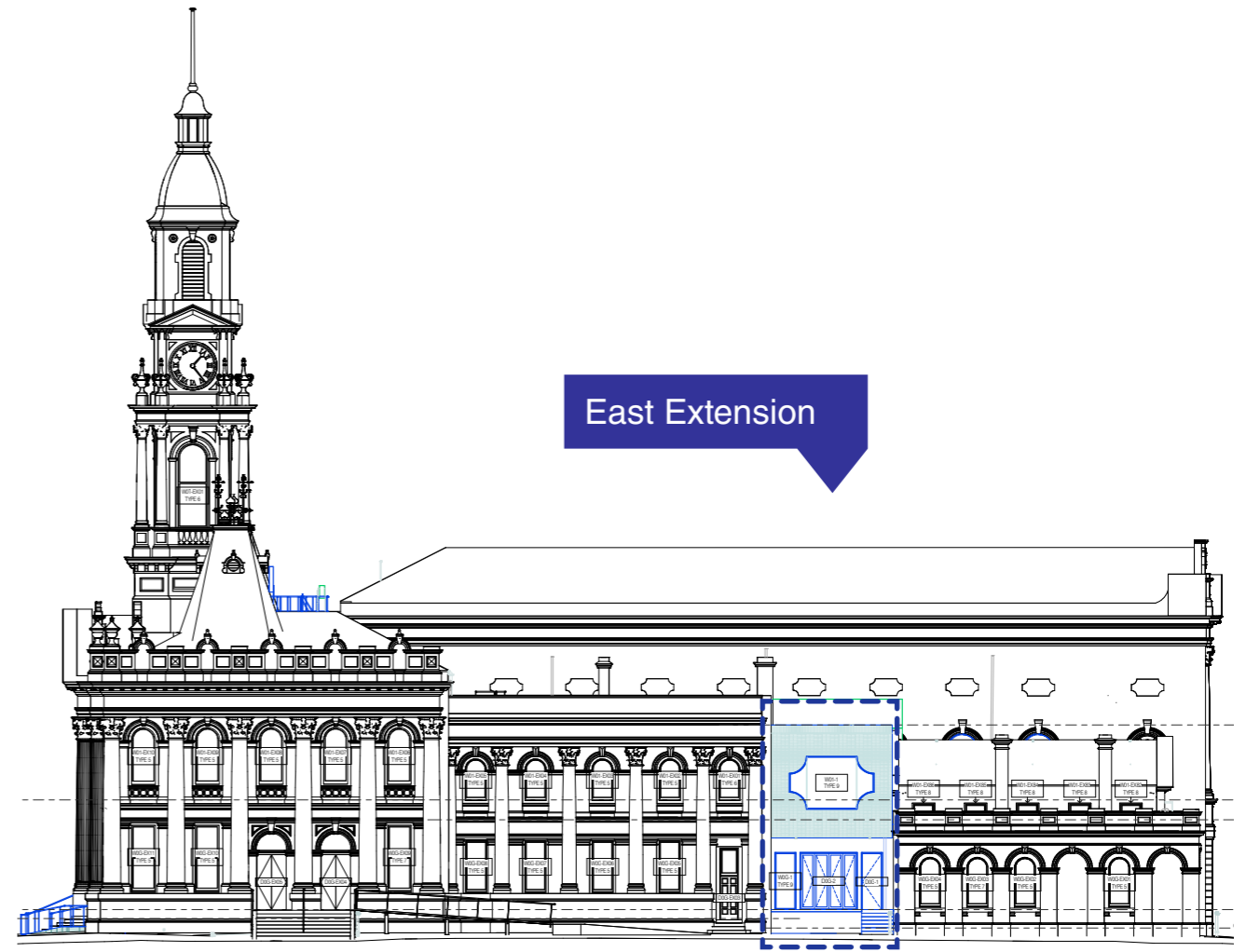
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Layfield St Frontage - Existing & Demolition Elevation



Layfield St Frontage - Proposed Elevation

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Layfield St Frontage - Google Street View (Winter 2019)

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Layfield St Frontage - Photography (Spring 2024)

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Layfield St Frontage - Render by Pause Paradiso

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Layfield St Frontage - Render by Pause Paradiso

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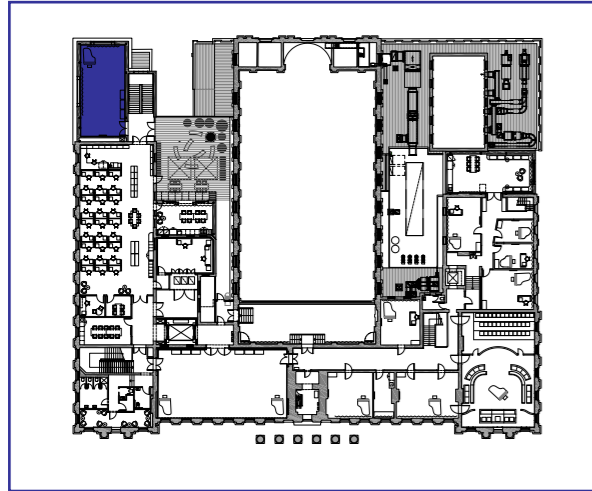
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## NW Extension



The proposed NW annexe replaces the former assistant librarians residence with a new addition on the same footprint. In addition there is a new staff room and external terrace which are deeply recessed in the narrow space between the main hall and west wing and therefore only partly seen from Daly Street. The NW addition's prominent elevations are to the north and west each with a different adjoining context.

### North Façade

From the north the addition (7.5 metres wide) is effectively freestanding due to the large recessive gap to the main hall (13 metres wide). It can be read as its own small building since it is disconnected from the large and dominant scale of the main hall and the low scaled former courthouse at the eastern end. The first floor addition sits symmetrically above the ground floor former fire brigade wing, which has a large arched blank central bay and two smaller side bays with expressed pilasters. The central bay was originally a doorway subsequently infilled with masonry. As seen from the north, the first floor addition has a similar scale and appearance to the east infill where there is a balanced ratio of planar wall surface to central cut-out window.

### West Façade

From the west, the addition (13 metres wide) acts as a northern bookend to the long west elevation (50 metres). The principle views of the annexe are diagonally along Fishley Street (one way north bound) and from the corner with Daly Street. All views are framed by large deciduous

street trees and a foreground of parked cars. The west elevational drawing should be considered concurrently with the renders, as the straight elevation does not show the site context or typical viewing lines.

Initial design studies for the annexe investigated multiple window sizes and shapes for each façade. Given the functional use of the annexe as a practice/recording studio, the acoustic engineer recommended minimal windows. From an acoustic design point of view a window is the weakest part of the façade and therefore the need to reduce the ratio of window to wall. The construction of the external walls is complex with multiple layers of structure, insulation and air gaps. A single picture window for each facade achieved the desired acoustic performance as well as a good architectural outcome. The annexe reads as a singular addition with north and west facades in dialogue. As previously described, the window shape is derived from the recessive decorative rendered elements located around the existing building. The inverted scalloped corners creates a visually distinctive shape which appears as a cut-out within the flat wall surface. The annexe windows are deeply recessed to emphasis the reveals and cut-out shape.

The annexe adopts a parapeted form to be consistent with the existing building. Downpipes will be recessed within the façade but expressed along with projecting rainheads. The downpipe locations align with the existing downpipes in the lower façade. The brick flats require regular

control joints which will be divided symmetrically within each façade.

### Material Selection

The external walls are clad in a clay masonry thin brick flat with a soft patina finish colour matched to a light grey cement render which is the predominant surface finish to the existing building. The window reveals and frames will be metal powder coated colour bronze.

### Street View Render

As requested a street view render has been prepared showing the materiality of the addition in relation to the existing heritage building and site context. In addition freehand design study sketches have been included to demonstrate design thinking.

### Conclusion

Overall we feel the annexe, whilst architecturally bold, is sympathetic to the heritage context with the quality of its materiality and simplicity of form and fenestration. There is subtle surface articulation with expressed downpipes and control joints. As shown in the sketches and renders the predominant vistas of the annexe are oblique and partly obscured by the street trees which frame the views.



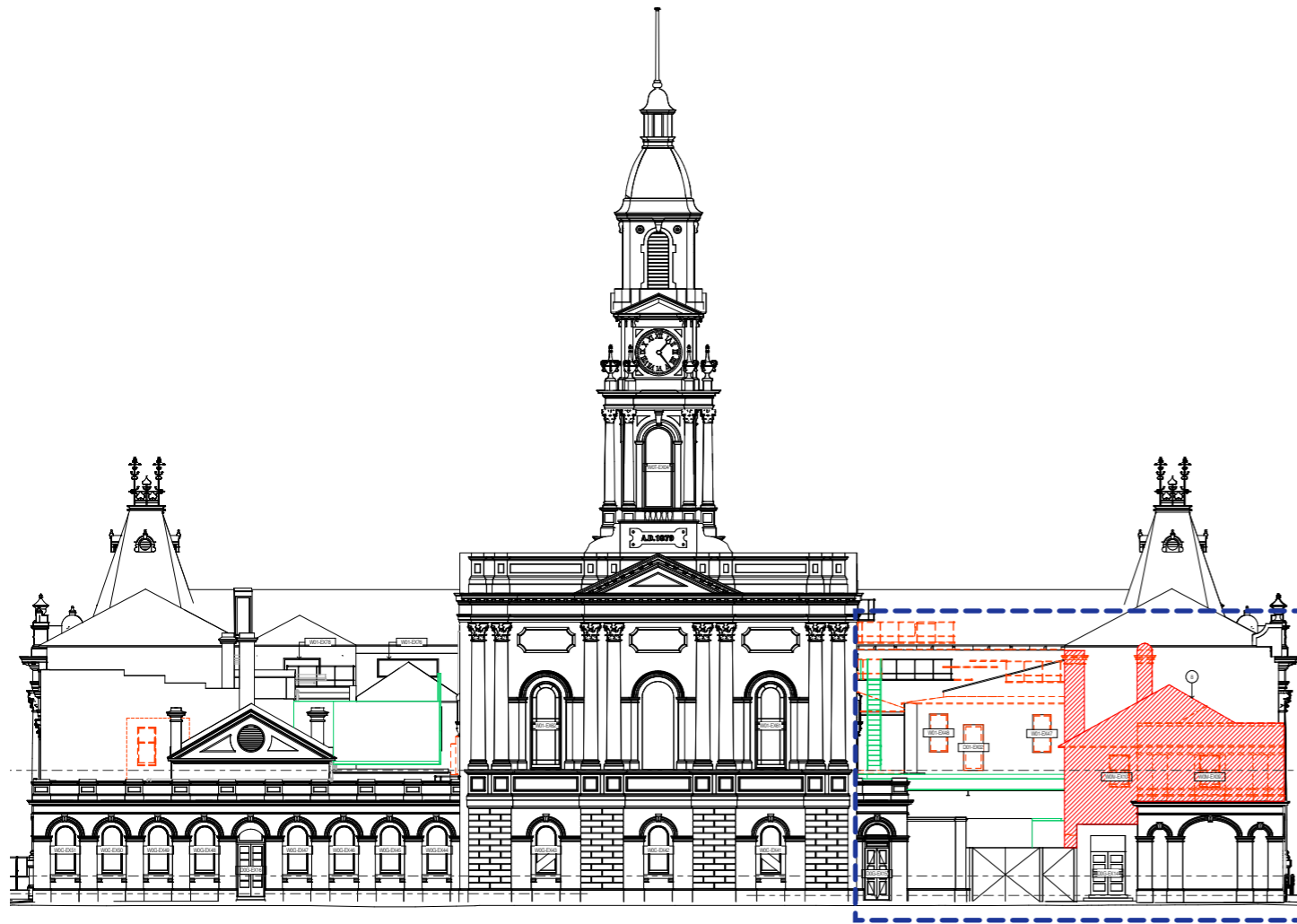
## HV RFI Response | Proposed NW Annexe



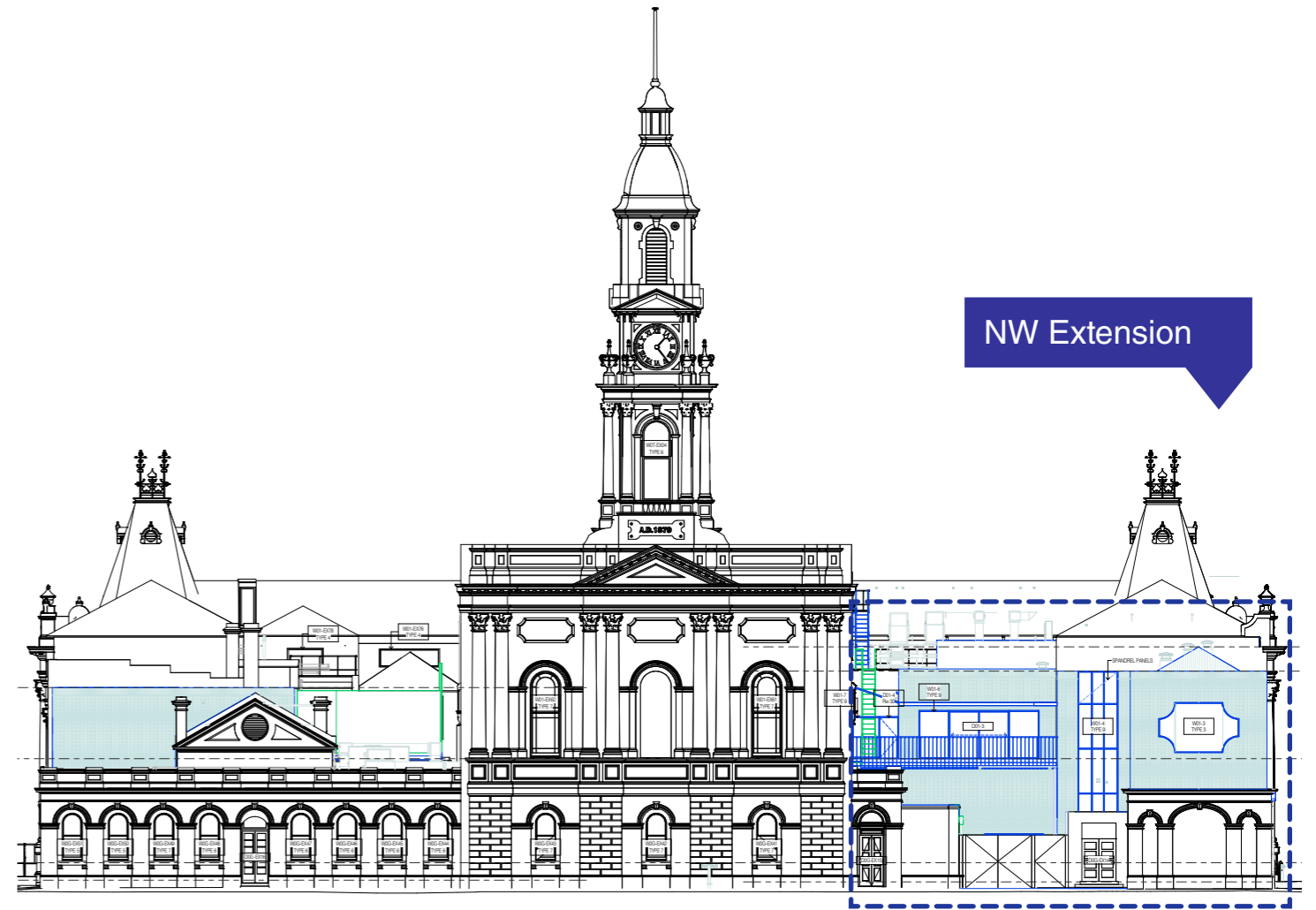
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Daly St Frontage - Existing & Demolition Elevation



Daly St Frontage - Proposed Elevation

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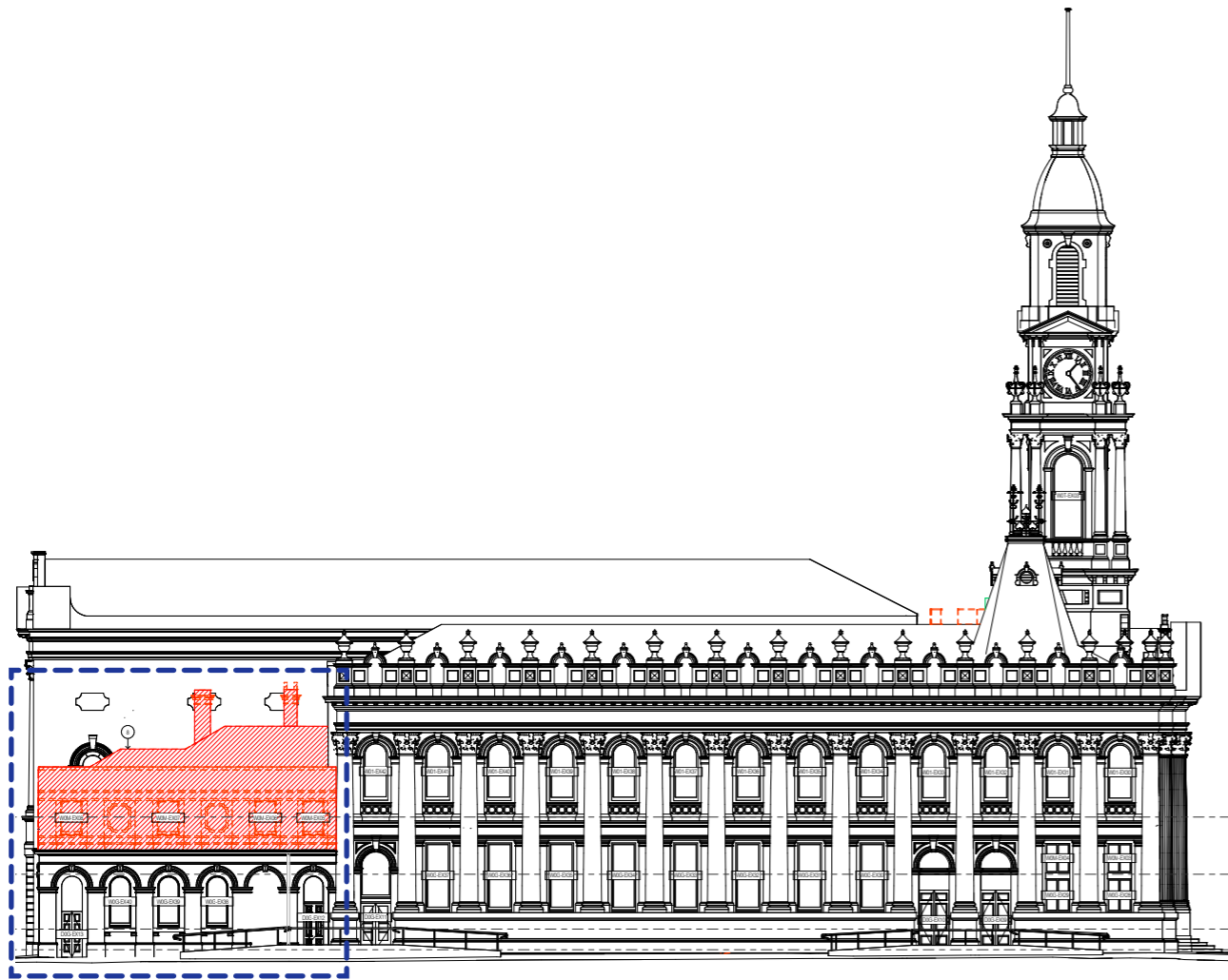


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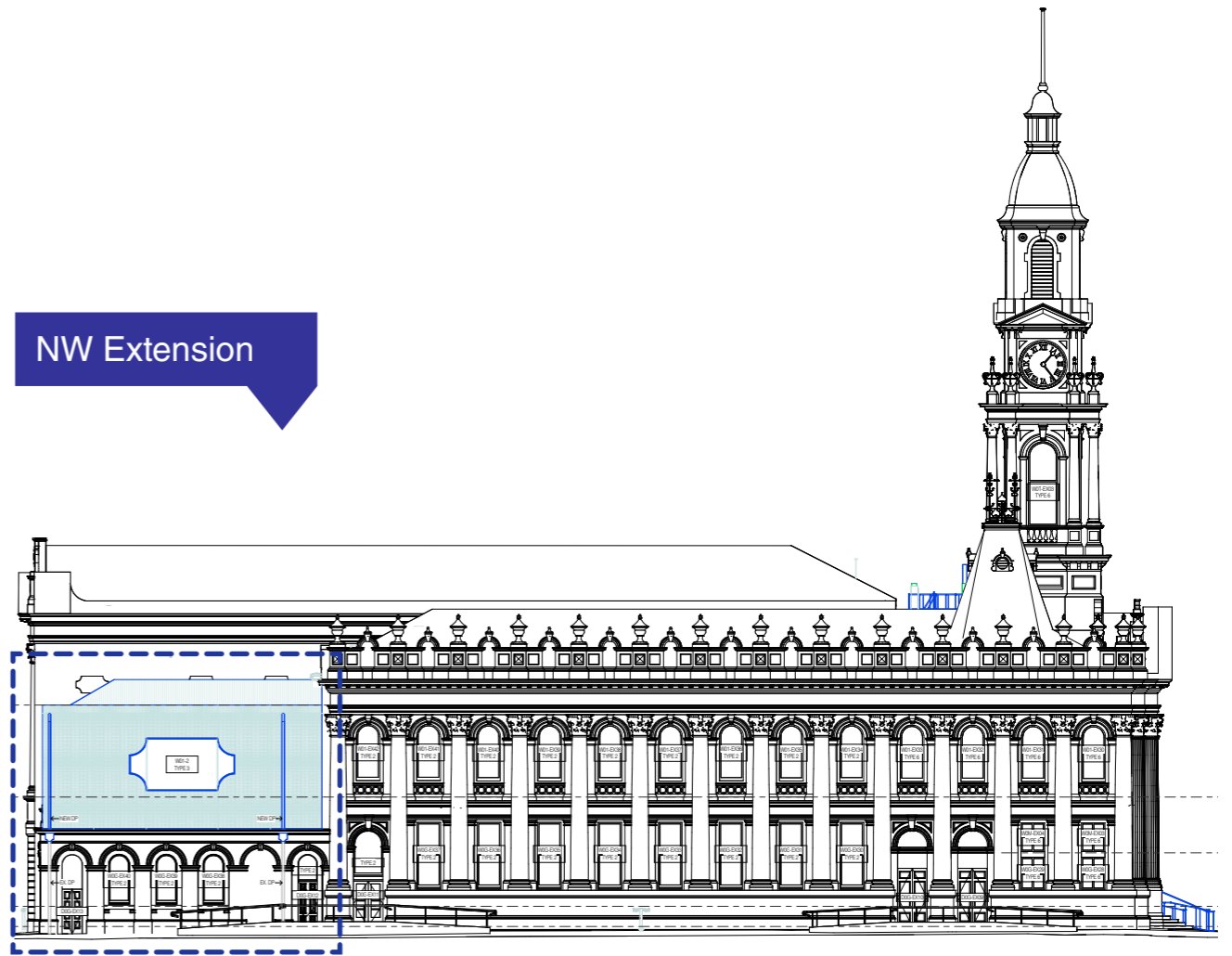
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Fishley St Frontage - Existing & Demolition Elevation



Fishley St Frontage - Proposed Elevation

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Daly & Fishley St Corner - Google Street View (Winter 2019)

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Daly & Fishley St Corner - Photography (Spring 2024)

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Daly & Fishley St Corner - Render by Pause Paradiso

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Daly & Fishley St Corner - Render by Pause Paradiso

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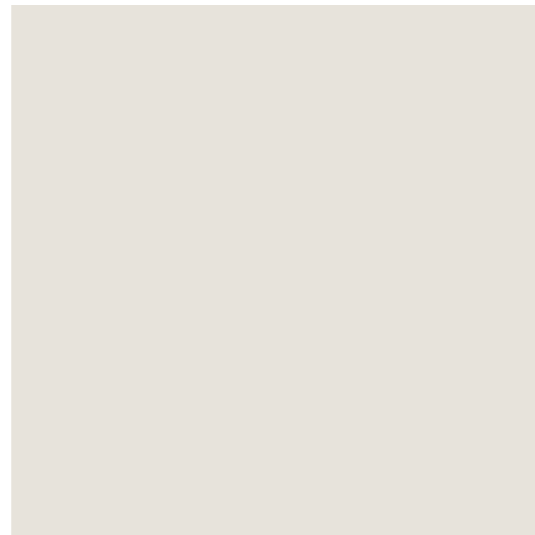
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**Wall Cladding**  
*Krause Emperor Elongated Brick - custom Ghost colour TBC*



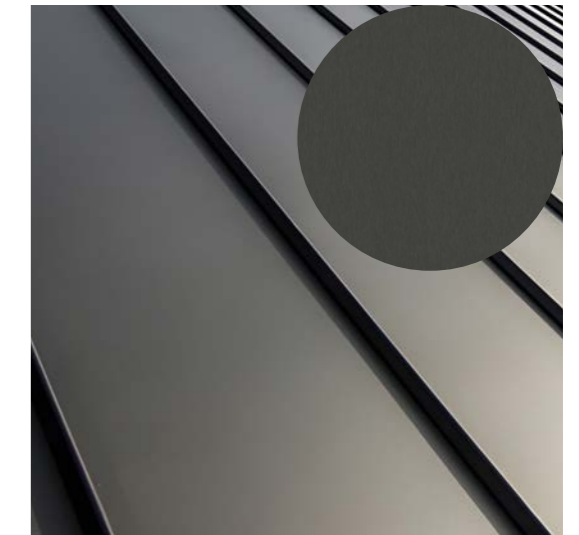
**Downpipes**  
*Powdercoat steel to match facade cladding - Dulux Duratec Zeus Talc Satin TBC*



**Door & Window Frames & Reveal**  
*Powdercoat steel frame - Dulux Duratec Eternity Pearlescent Bronze Pearl Kinetic Satin, brass sheet window reveal TBC*



**Door & Window**  
*Acoustic clear double glazed*



**Roof Sheetting**  
*Unicote Standing Seam profile - Lux Zinc Graphite finish TBC*

East Extension



NW Extension



**External Material Palette | Proposed Extensions**



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