

VICTORIA TRADES HALL - STAGE 3 WORKS

HERITAGE IMPACT STATEMENT

54 Victoria Street, Carlton

June 2024

Prepared for



Prepared by

LOVELL CHEN

A series of horizontal lines in various colors (red, orange, yellow, green, blue, purple) are positioned below the name 'LOVELL CHEN'.

ACKNOWLEDGEMENT OF COUNTRY

This report was prepared on the lands of the Wurundjeri people who have been custodians of this land for thousands of years. Trades Hall, the subject of this report is also located on Wurundjeri Country. We acknowledge their stories, connection to land, water and culture which is embedded in Country. We pay our respects to their Elders past and present and acknowledge that this report includes a post-contact history that forms only a small part of the ongoing story.

We also pay our respects to the Elders past and present, and acknowledge the stories, traditions and cultures of all Aboriginal and Torres Strait Islander people.

Quality Assurance Register

The following quality assurance register documents the development and issue of this report prepared by Lovell Chen Pty Ltd in accordance with our quality management system.

Project no.	Issue no.	Description	Issue date	Approval
V10048.01	Rev. 1.0	Heritage Impact Statement	12 June 2024	SZ

Referencing

Historical sources and reference material used in the preparation of this report are acknowledged and referenced as endnotes or footnotes and/or in figure captions. Reasonable effort has been made to identify and acknowledge material from the relevant copyright owners.

Moral Rights

Lovell Chen Pty Ltd asserts its Moral right in this work, unless otherwise acknowledged, in accordance with the Copyright Act 1968 (Cth). Lovell Chen's moral rights include the attribution of authorship, the right not to have the work falsely attributed and the right to integrity of authorship.

Limitation

Lovell Chen grants the client for this project (and the client's successors in title) an irrevocable royalty-free right to reproduce or use the material from this report, except where such use infringes the copyright and/or Moral rights of Lovell Chen or third parties. This report is subject to and issued in connection with the provisions of the agreement between Lovell Chen Pty Ltd and its Client. Lovell Chen Pty Ltd accepts no liability or responsibility for or in respect of any use of or reliance upon this report by any third party.

Cover image: Detail of partially revealed honour roll at Trades Hall

Source: Lovell Chen

TABLE OF CONTENTS

LIST OF FIGURES		VI
1.0 INTRODUCTION		1
1.1 Background		3
1.1.1 Pre-application meeting		4
1.2 Documentation		4
2.0 STATUTORY HERITAGE CONTROLS		6
2.1 Heritage Act 2017		6
2.2 Planning and Environment Act 1987 (Melbourne Planning Scheme)		8
3.0 BRIEF HISTORY AND DESCRIPTION		10
4.0 PROPOSAL		12
4.1.1 Conservation works		12
4.1.2 Works		14
4.1.3 Services		15
4.1.4 Amenities upgrades		18
4.1.5 Access/compliance		21
5.0 SIGNIFICANCE		25
5.1 Victorian Heritage Register		25
5.2 Conservation Management Plan		25
5.2.1 Levels of significance		25
6.0 ASSESSMENT OF HERITAGE IMPACTS		28
6.1 Heritage Act considerations		28
6.2 Impact on the cultural heritage significance of the registered place		28
6.2.1 Adjacent heritage place		31
6.3 CMP		31
7.0 CONCLUSION		32
APPENDIX A TRADES HALL MELBOURNE – VICTORIA STREET ENTRY HALL VICTORIA STREET ENTRY HALL ASSESSMENT OF THE STATUS, CONDITION AND RECOVERY VIABILITY		

LIST OF FIGURES

Figure 1	Aerial image of Trades Hall, 54 Victoria Street Carlton; north to top	1
Figure 2	Basement (right) and ground (left) floor plans of Stage 9 (Victoria Street wing) indicating works areas (green shading) included in the project	2
Figure 3	Ground floor plan indicating works areas (green shading) included in the project	2
Figure 4	First floor plan of Trades Hall indicating works areas (green shading) included in the project	3
Figure 5	Mapped extent of registration for Trades Hall	6
Figure 6	Heritage Overlay map showing Trades Hall; HO68 label is missing from map (indicated)	9
Figure 7	Sequential development plan illustrating construction phases at Trades Hall	11
Figure 8	Revealed sections (indicated) of overpainted honour rolls on west wall of entry hall (G46)	13
Figure 9	Revealed section (indicated) of overpainted honour roll on south wall of entry hall (G46)	13
Figure 10	Reconstructed and exposed honour roll on east wall of entry hall (G46); recently replaced broadloom carpet with the entwined '888' symbology	14
Figure 11	Slate clad roof of the Caretaker's Cottage showing existing ridge capping, gutters and downpipes to be demolished	17
Figure 12	Typical skylight viewed from viewed from F34	17
Figure 13	Layout of G39 proposed for reconfiguration to create offices; red arrow indicates door opening to be infilled and skirting; blue arrow showing location of proposed lightweight wall to extend to perimeter wall	20
Figure 14	Toilet and store in undercroft area showing approximate portion of south angled wall proposed for demolition	20
Figure 15	Openings on east wall above undercroft toilets with unfixed polystyrene infills proposed for removal	21
Figure 16	Stairs to basement from Victoria Street entry showing non-original timber handrail proposed for removal	22
Figure 17	Ground level entry stairs to Victoria Street wing showing location of proposed handrail to be fixed to concrete floor	23
Figure 18	Typical condition found in Stair 2, north-east corner of Stage 9	23
Figure 19	Non-original bluestone stairs in carpark north of Stage 9, to be dismantled and reconstructed in a new arrangement with new landing and integrated handrails	24
Figure 20	Levels of Significance - ground floor and basement	26
Figure 21	Levels of Significance - first floor	26
Figure 22	Levels of Significance - second floor	27

Figure 23	Levels of Significance - rooftop	27
Figure 24	Ground floor plan showing stairs to Victoria Street wing providing access to carpark, 1925	30
Figure 25	Ground floor plan showing stairs to Victoria Street wing providing access to carpark, c. 1992	31

1.0 INTRODUCTION

This heritage impact statement (HIS) has been prepared for the Victorian Trades Hall Council (VTHC) and accompanies a Heritage permit application (P39619) to Heritage Victoria relating to Stage 3 of the conservation and new works program for Trades Hall, 54 Victoria Street Carlton (Figure 1). Trades Hall is included in the Victorian Heritage Register (VHR) maintained by the Victorian Heritage Council as Registered Place H0663. Accordingly, Trades Hall is subject to the provisions of the *Heritage Act 2017*.

It is respectfully acknowledged that Trades Hall is located on the lands of the Wurundjeri people.

Stage 3 (the project) of the conservation program includes a suite of conservation and repair works to the building in addition to services, amenities and accessibility upgrades to the areas of Trades Hall shown in Figure 2 to Figure 4. Stage 3 also includes new works and safe access works to the roofs of Trades Hall.

For the purposes of this HIS, reference will be made to the original construction stages of the building (being Stages 1 to 9) and room numbers shown in the architectural drawings.



Figure 1 Aerial image of Trades Hall, 54 Victoria Street Carlton; north to top
Source: Nearmap, captured 17 March 2024



Figure 2 Basement (right) and ground (left) floor plans of Stage 9 (Victoria Street wing) indicating works areas (green shading) included in the project
Source: Lovell Chen, Drawing No. A-001, June 2024

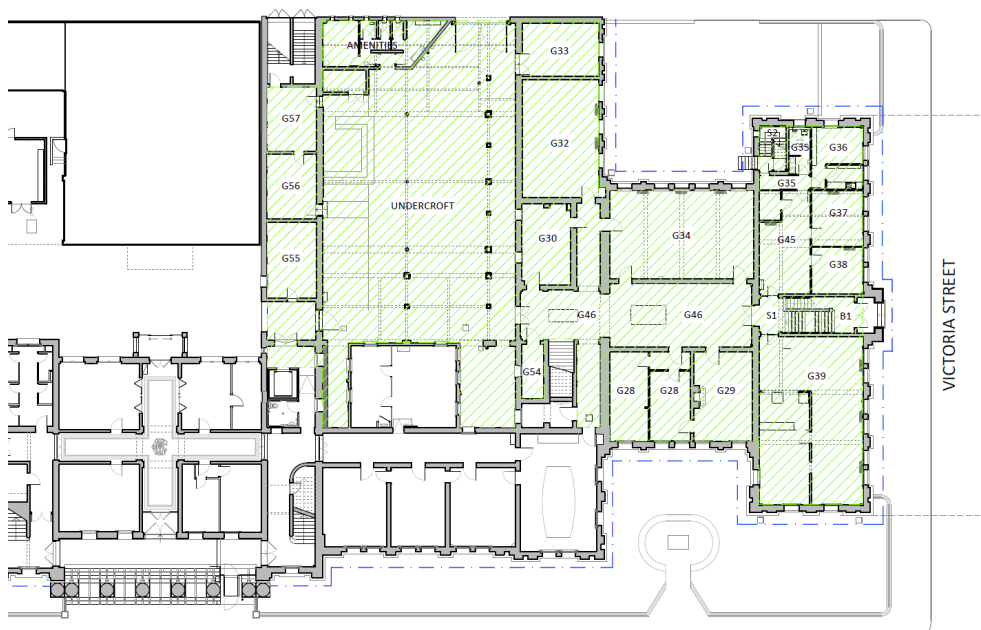


Figure 3 Ground floor plan indicating works areas (green shading) included in the project
Source: Lovell Chen, Drawing No. A-001, June 2024

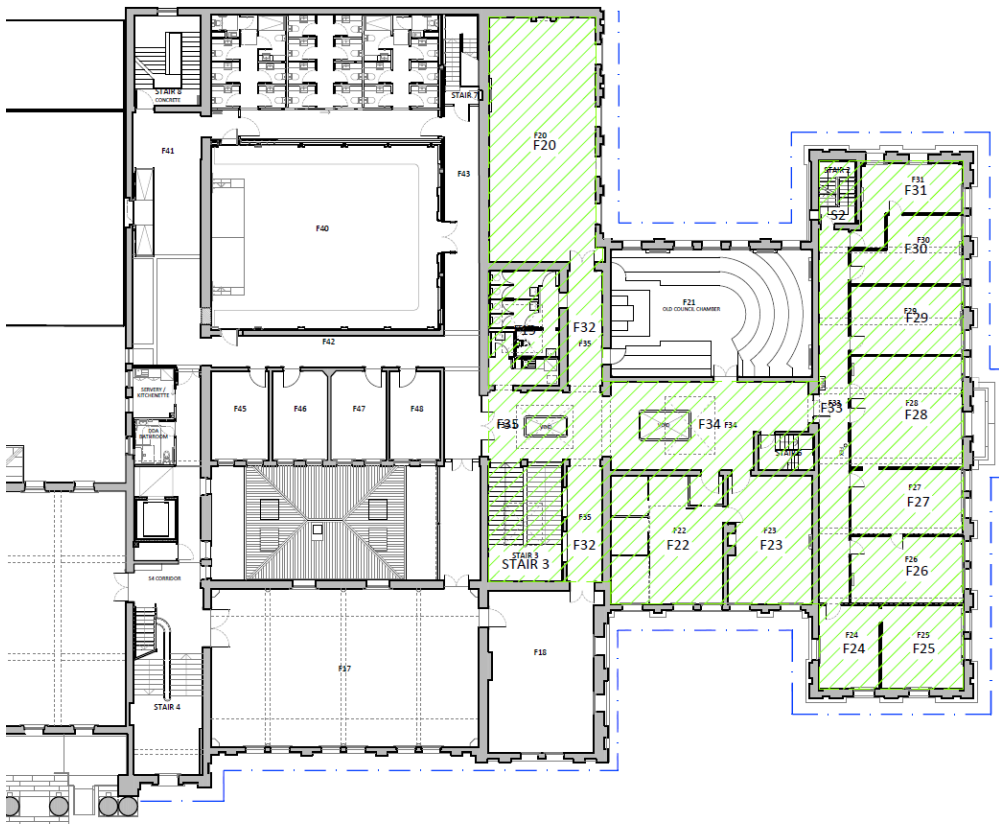


Figure 4 First floor plan of Trades Hall indicating works areas (green shading) included in the project

Source: Lovell Chen, Drawing No. A-001, June 2024

1.1 Background

In 2023 the Victorian Government allocated \$10 million dollars through the Victorian Conservation Grant to fund Stage 3 of a program of conservation works to the Trades Hall (State of Victoria Victorian Trades Hall Conservation Grant 2023-25).

In 2019 Stage 1 (P26550) of this program of conservation works was completed. Stage 1 included the conservation and reconstruction works to the Old Council Chamber and development of the New Council Chamber (Solidarity Hall, including conservation of the early painted decorative scheme to the north wall), the installation of DDA access (including an internal lift and chair lift to the portico) and the introduction of new amenities to support the refurbished function spaces.

In 2022 Stage 2 (P32669) of this program was completed, which included the reconfiguration and refurbishment of office accommodation in the north and executive wings and the north and south towers, and structural strengthening of the north wing. Roof works, including replacement of cladding, drainage and safe access works were included in this stage.

Stage 3 (the project) of this program includes a suite of conservation and new works across the building (Figure 2 - Figure 4). This project aims to conserve significant fabric, address maintenance and other works, upgrade Trades Hall for compliance, and support the ongoing use of the building with service, access and amenity upgrades.

Importantly, this project includes the final phase of a programme of recovery and reconstruction of early painted honour rolls in the earliest part of Trades Hall. This has been informed by investigations undertaken in 2022, under permit exemption P36800, that identified the locations of overpainted honour boards to the west wall of the ground floor entry hall.

1.1.1 Pre-application meeting

A pre-application meeting (P39619) with Heritage Victoria was held on 23 May 2024 at which the proposed works were presented, and feedback was sought.

1.2 Documentation

This HIS makes reference to the *Trades Hall: Conservation Management Plan* (CMP) prepared by Lovell Chen in 2016.¹ The CMP comprises a history, physical analysis, assessment of significance and conservation and management policies. A *Conditions Assessment & Recommendations Report* was appended to the CMP, which has informed the proposed works.²

This HIS refers to the following architectural documentation prepared by Lovell Chen, June 2024, which are attached to the application:

- A-001 LOCATION PLAN DRAWING REGISTER
- A-002 EXTENT OF WORKS
- A-003 GROUND FLOOR SITE PLAN
- A-004 ROOF SITE PLAN
- A-100 EXISTING / DEMOLITION BASEMENT
- A-101 EXISTING / DEMOLITION GROUND FLOOR
- A-102 EXISTING / DEMOLITION FIRST FLOOR
- A-103 EXISTING / DEMOLITION ROOF
- A-104 EXISTING / DEMOLITION NORTH TOWER
- A-110 EXISTING / DEMOLITION BASEMENT RCP
- A-111 EXISTING / DEMOLITION GROUND FLOOR RCP
- A-112 EXISTING / DEMOLITION FIRST FLOOR RCP
- A-200 PROPOSED BASEMENT PLAN
- A-201 PROPOSED GROUND FLOOR PLAN
- A-202 PROPOSED FIRST FLOOR PLAN
- A-203 PROPOSED ROOF PLAN
- A-204 PROPOSED NORTH TOWER ROOF PLAN AND RCP

¹ Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016.

² Lovell Chen, *Conditions Assessment & Recommendations Report Victoria Trades Hall and Literary Institute*, prepared for Victoria Trades Hall Council, 15 March 2016 (Revision B).

- A-210 PROPOSED BASEMENT RCP
- A-211 PROPOSED GROUND FLOOR RCP
- A-212 PROPOSED FIRST FLOOR RCP
- A-300 PROPOSED STAIR 1 DETAILS
- A-302 PROPOSED STAIR 2 DETAILS
- A-600 VICTORIA STREET FOYER INTERNAL ELEVATIONS
- A-601 UNDERCROFT BATHROOMS – INTERNAL ELEVATIONS
- A-603 G39 - INTERNAL ELEVATIONS
- THS3_CONSERVATION JOINERY SCHEDULE OF REPAIR
- THS3_CONSERVATION SCHEDULE OF REPAIRS
- THS3_MENU OF METHODS FOR REPAIR
- Trades Hall Melbourne – Victoria Street Entry Hall Assessment of the Status, Condition and Recovery Viability, prepared by Andrew Thorn, August 2022 (Appendix A).³

³ Andrew Thorn (Artcare), *Trades Hall Melbourne – Victoria Street Entry Hall Assessment of the Status, Condition and Recovery Viability*, prepared for Lovell Chen, August 2022.

2.0 STATUTORY HERITAGE CONTROLS

2.1 Heritage Act 2017

Trades Hall is included in the VHR maintained by the Victorian Heritage Council, as Registered Place H0663 and is subject to the provisions of the *Heritage Act 2017*.

Trades Hall is included in the VHR as a place of historical, social and architectural significance to the State of Victoria.

The extent of registration for Trades Hall is as follows, and mapped as shown in Figure 5:

1. The buildings known as the Trades Hall, with the exception of 5b and the new office block at the time of registration as shown on attached plan (labelled 602389E); and
2. The whole of the land described in Certificates of Title Volume 1785 Folio 969 and Volume 2031 Folio 016.

[Victorian Government Gazette No. G35 11 September 1991 p. 2547].

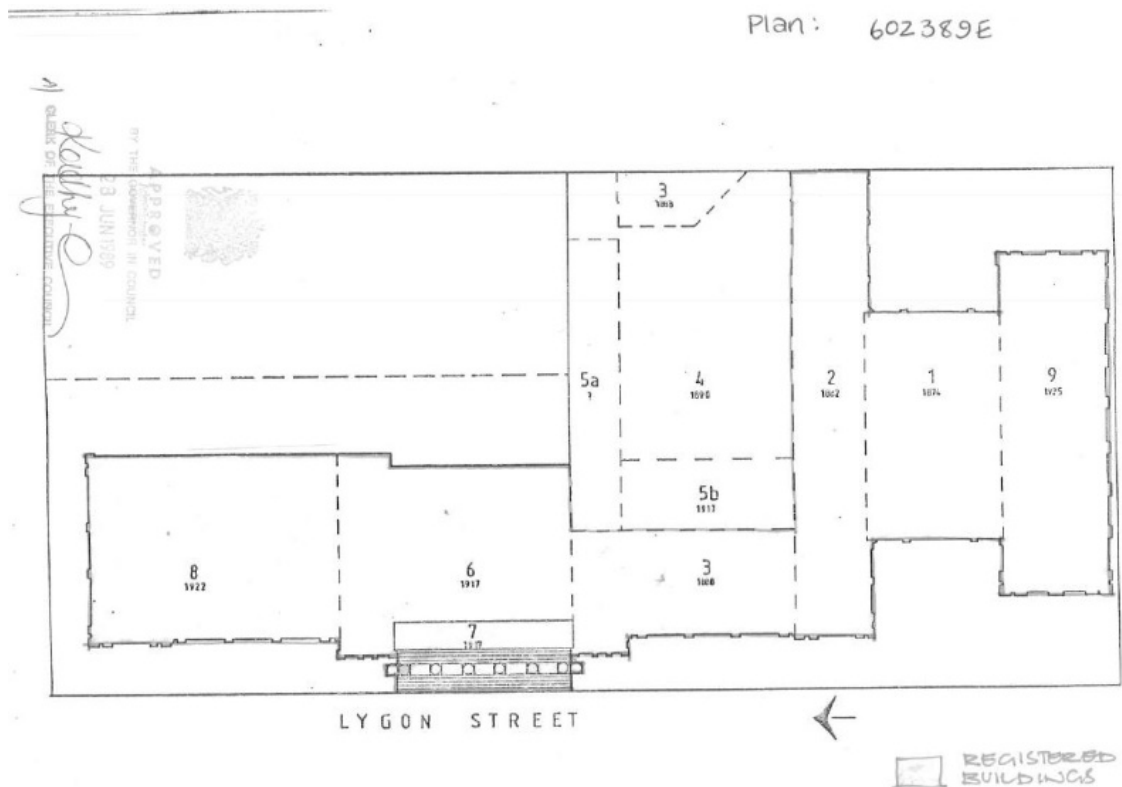


Figure 5 Mapped extent of registration for Trades Hall
Source: Victorian Heritage Database, accessed 8 May 2024

The Statement of Significance for Trades Hall is as follows:⁴

What is significant?

Trades Hall was constructed in some ten stages, the most significant period of building being that between 1874 and 1925. It was during this period that the imposing classical facade to Lygon and Victoria Streets was established. Trades Hall is largely a two storey building, with bluestone foundations and brick walls with unpainted cement render finish. The facade is articulated primarily by the use of Corinthian pilasters. An entrance portico in Lygon Street features eight Corinthian columns supporting a triangular pediment between two flanking towers. The Victoria Street wing features large parapet urns. This early phase of construction was built to the design of architectural firm Reed and Barnes and its later derivatives. Later additions, such as the 1960s office building to the rear, are not sympathetic to the original style.

How is it significant?

Trades Hall is of historical, social and architectural significance to the State of Victoria.

Why is it significant?

Trades Hall is of historical significance for its associations with trade union, Labor Party, and State and Australian history. The existing building occupies the site where the first, temporary Trades Hall was opened in May 1859. Since its construction, the building has been the site of numerous important events in union and working class history. Its origins lie in the successful eight hours day movement, in which Victorian artisans led the world, and has long been regarded as a splendid monument to this achievement. In addition, the building has significant associations with the development of Victoria's trade unions, numerous unions having had their headquarters in the building, and with the early history of the Australian Council of Trade Unions, hosting the first meeting of the ACTU in May 1927. As Australia's oldest and largest Trades Hall, it stands as a symbol of the importance of organised labour within Australian society. Its relatively intact interior and exterior provide an evocative testament to the living traditions of the Australian Labor movement. In particular, flags, banners and honour boards (including one commemorating the leaders of the eight hours movement) are significant artefacts tracing more than a century of union history, and are important historical records in their own right. Trades Hall's role in Australia's political history is also significant. In particular, activities leading to the birth of the Labor Party and support of the great industrial campaigns of the 1890s took place here. The direct connection with the ALP was maintained for almost 100 years, the Victorian headquarters of the Party being based in Trades Hall until 1972. Trades Hall also provided facilities to support the Berry Liberal faction of protectionist politicians in the 1870s. This was a tumultuous time in Victorian politics, with Berry and his supporters trying to push through upper house reform introduce payments for MPs and implement high tariffs and land taxes, all policies which resonated within the walls of Trades Hall.

⁴ 'H0663 – Trades Hall', Victorian Heritage Database, statement of significance report, accessed 8 May 2024 via <https://vhd.heritagecouncil.vic.gov.au/places/224>.

Trades Hall is of social significance as a centre of radical and working class politics and activism in Victoria for over 100 years. Major campaigns and struggles that have had important ramifications for Victorian and Australian society have been coordinated from Trades Hall, and the building continues to serve as a focus of union organisation and left-wing political activity.

Trades Hall is of architectural significance as a fine surviving example of a large 19th century institutional building, and for its associations with Joseph Reed. It was designed as a combined Trades Hall and literary institute by the firm of Reed and Barnes and its later derivatives. Its conservative style reflects the aspirations towards social respectability of the early Trades Hall leadership. It is a rare example of a building constructed in stages over a long period from 1873-1926, which remains consistent with its original 1870s style. It is an outstanding example of 19th century craftsmanship, with architectural records showing that its builders prided themselves on using the best of local materials and building skills. This pride reflected the major role played by Victoria's building unions in securing the site and the finance, and in planning and carrying out the construction of the Trades Hall building. The complex is an important Melbourne landmark and a dominating and significant feature in the Lygon Street streetscape. The building's architects, Reed and Barnes, were very influential establishment architects who designed many of Victoria's most notable public buildings. Joseph Reed (1823- 1890), who founded the Reed and Barnes practice, was one of the most important architects in the history of Melbourne. Over a long working life he was a major figure during one of Melbourne's most vigorous periods of growth- the 1870s and 1880s. He won numerous competitions and was responsible for a large number of important public and private buildings in various styles, including the Public Library in Swanston Street, most of the University of Melbourne's 19th century buildings, Rippon Lea, Melbourne Town Hall and the Exhibition Building. His was the first major private architectural practice in Melbourne, and its successors have continued to contribute to Melbourne's architectural richness ever since.

No permit policy is included in the VHR documentation and there is a single permit exemption related to the erection of banners. This exemption is not relevant to this application.

2.2 Planning and Environment Act 1987 (Melbourne Planning Scheme)

The Trades Hall is subject to the provisions of the *Planning and Environment Act 1987* through the Melbourne Planning Scheme.

Trades Hall is identified as a site-specific Heritage Overlay (HO68) in the Schedule to the Heritage Overlay (HO) of the Melbourne Planning Scheme, and accordingly subject to Clause 43.01. The extent of the HO is shown at Figure 6. Trades Hall is also included in the Carlton Precinct (HO1).

Pursuant to Clause 43.01-2 of the planning scheme, no permit is required from the City of Melbourne to develop a place which is included in the VHR, except where subdivision of a heritage place is proposed.

3.0 BRIEF HISTORY AND DESCRIPTION

For the purposes of this HIS, only a brief history and description of Trades Hall is provided with a focus on the internal areas of the Trades Hall affected by the project. The following is largely drawn from the Trades Hall CMP prepared in 2016.⁵

Trades Hall is the oldest and largest Trades Hall in Australia,⁶ with extensive historical associations with the growth of the labour and union movements in Victoria.⁷ Trades Hall is a substantial public and institutional building located on an allotment of once acre to the north-east corner the intersection of Lygon and Victoria streets, Carlton. Trades Hall was constructed in ten stages, from 1874 to 1961 in a consistent Classical and Renaissance Revival style. The phases of development and expansion are shown in Figure 7. The history and staged development of the Trades Hall building on this site is representative of the growth and prosperity of the trade unions and labour movement in Victoria from the mid-nineteenth century.⁸ Trades Hall is the symbolic home of trade unionism in Victoria and is associated with key events in the history of trade unions, the Australian Labor Party and Victorian and Australian history more broadly. Despite the staged development, the design of Trades Hall and its additions and alterations were undertaken by various incarnations of a single architectural practice from the 1870s: Reed and Barnes, later Reed, Henderson & Smart and then Bates, Smart & McCutcheon. Consequently, Trades Hall presents as a unified building design, generally adopting a horizontally emphasised form expressed through the layering of string courses, cornice and parapet, and reflecting the status of the building known as the Working Mans' Parliament.

The whole of the building constructed is largely intact to the original planning layout for each stage with minor changes introduced in more recent years to accommodate operational changes. Internally the building currently comprises numerous offices and larger meeting and gathering spaces. The building is occupied by a range of tenants, including the VTHC, community and not for profit organisations.

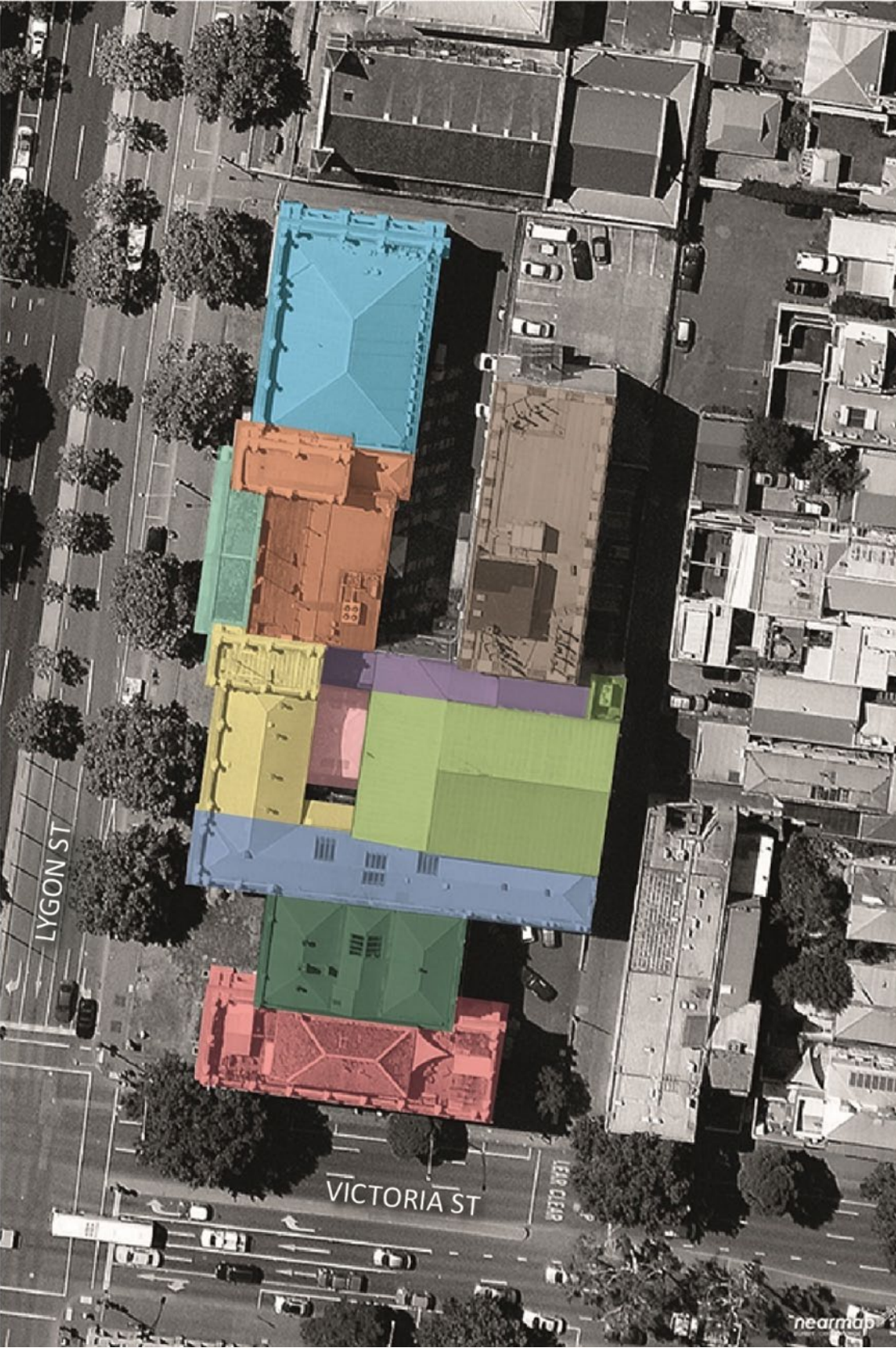
Key spaces restored in preceding works programmes include the Old Council Chamber, where the interior decorative scheme was reconstructed, and the New Council Chamber (Solidarity Hall) where a new chamber was introduced focussed on recovered original wall treatments and decorations. The meeting hall and other meeting rooms/office spaces have been repaired.

⁵ Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016, pp. 7-37.

⁶ 'H0663 – Trades Hall', Victorian Heritage Database, statement of significance report, accessed 8 May 2024 via <https://vhd.heritagecouncil.vic.gov.au/places/224>.

⁷ Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016, pp. 7-37.

⁸ Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016, pp. 7-37.



Key



- Stage 1 – 1874
- Stage 2 – 1882
- Stage 3 – 1888
- Stage 4 – 1890-91
- Stage 5A – c. 1913
- Stage 5B – c. 1917
- Stage 6 – 1917
- Stage 7 – 1917
- Stage 8 – 1922
- Stage 9 – 1925
- Stage 10 – 1961

Figure 7 Sequential development plan illustrating construction phases at Trades Hall
 Source: Lovell Chen, *Trades Hall Conservation Management Plan*, 2016

4.0 PROPOSAL

This HIS refers to the room numbers shown in the architectural drawings, noting that these do not correspond with the numbering system in the CMP. Works areas are described by the construction stages shown in Figure 7.

The proposal comprises conservation and repair works including services, amenities and accessibility upgrades to a number of areas in Trades Hall (refer to Drawing No. A-002).

4.1.1 *Conservation works*

G46 - honour boards

The proposed works include the removal of overpainting, and conservation works to the painted commemorative panels and honour boards on the south and west walls in the ground floor entry hall in Stage 1 (G46, Figure 8 and Figure 9; refer Drawing No. A-600). These works have been developed based on investigations undertaken by Artcare, August 2022 (Appendix A). The investigations assessed the extent of decoration on the walls in this space, the condition, and the feasibility of recovering original decorative schemes and commemorative panels through the removal of later overpaint. As noted in the 2022 report, the honour boards on the east wall of the hall were revealed in the early 1990s (Figure 10). These will be lightly cleaned as part of the project. Dado, skirtings and cornices will be repainted to all walls in this space based on evidence arising from the initial cleaning and revealing works to the east and south walls.

The 2022 investigations have informed the works methodology, recognising that there may be a need to adapt the approach if unknown decorations are encountered.

General works

General conservation and repair works, which include painting, cleaning and patching of existing fabric to walls, ceilings, windows, architraves, skirtings, cornices and doors in a number of rooms in Stage 1, Stage 8, Stage 9 and the undercroft area (Stage 4) (refer to Drawing No. 200, A-201, A-202 and No. A-210).

General conservation works to walls are required to address issues of internal damp, flaking, plaster mould and general deterioration.

Lifting of timber T&G floorboards in several spaces to enable access to the subfloor for cleanout and services installation works. Floors to be reinstated, repaired as necessary with matching materials and refinished.



Figure 8 Revealed sections (indicated) of overpainted honour rolls on west wall of entry hall (G46)



Figure 9 Revealed section (indicated) of overpainted honour roll on south wall of entry hall (G46)

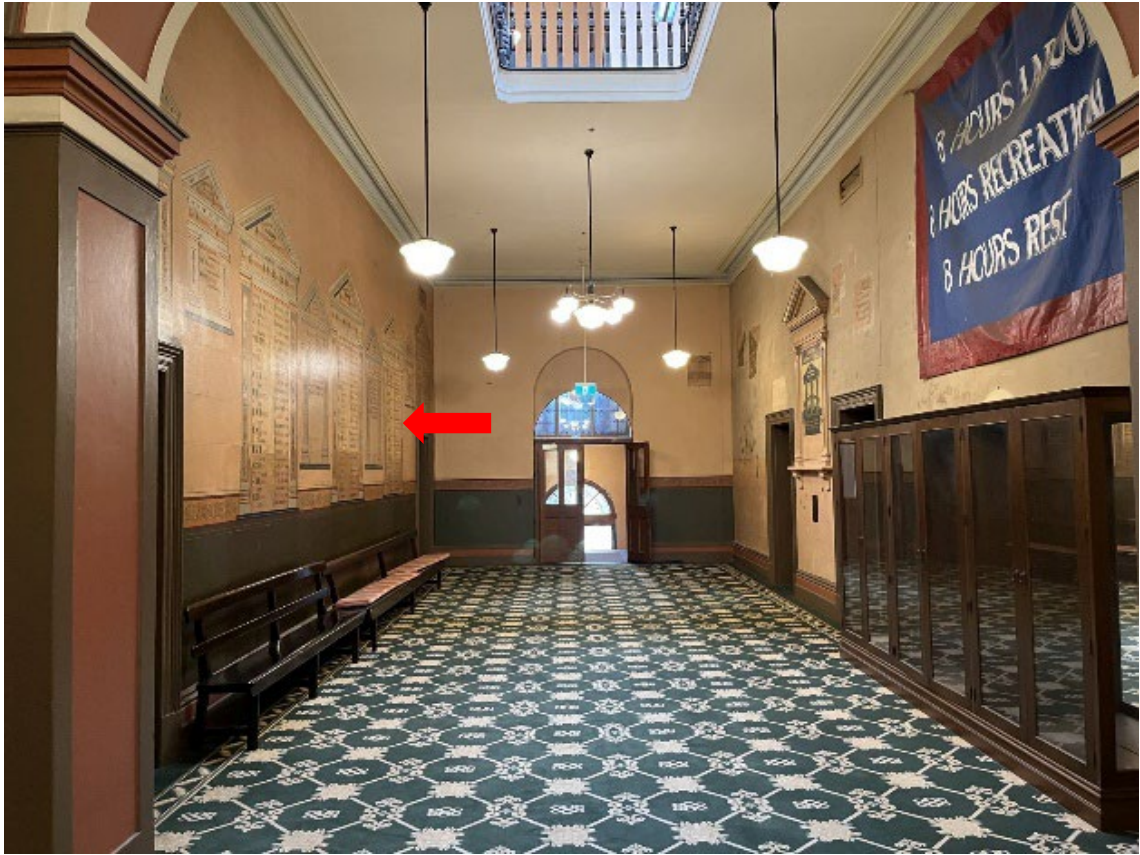


Figure 10 Reconstructed and exposed honour roll on east wall of entry hall (G46); recently replaced broadloom carpet with the entwined '888' symbology

4.1.2 Works

The following suite of repairs works are proposed:

Roofs

Demolition

- Remove slate tiles, battens, ridge capping and rainwater goods to Caretaker's Cottage (Stage 9, Figure 11, refer to Drawing No. A-103)
- Remove metal roof sheeting, ridge capping, gutters and existing rainwater heads of Stage 1 (refer to Drawing No. A-103)
- Remove existing roof sheeting and rainwater goods on the roof of the north tower (refer to Drawing No. A-103).
- Temporary removal of ridge capping on roof of Stage 8 to provide access to skylights proposed for repairs (refer to Drawing No. A-103).

New works

- New galvanised corrugated roof sheeting on Caretaker's Cottage (Stage 9), Stage 1 and north tower to match other corrugated steel-clad roofs at Trades Hall (refer to Drawing No. A-203)

- New stainless steel rainwater heads, box gutters, new rainwater goods (dps and overflows), new sarking, ridge capping and roof insulation with timber battens and a moisture permeable membrane on the roof of the Caretaker's Cottage (refer to Drawing No. A-203)
- New box gutters, and two new sumps with overflow on roof of Stage 1 and north tower (refer to Drawing No. A-203)
- New additional mechanical plant units to be located on existing plant platform, new proposed safe-access walkways and new access hatch to Stage 6 (refer to Drawing No. A-004).

Skylights

Demolition

- Remove glazing and flashings to skylights on roof of Caretaker's Cottage (Stage 9), Stage 1 and Stage 8 (Figure 12). Skylight mullions and galvanised framing on Stage 1 and Stage 8 are to be retained (refer to Drawing No. A-103 and No. A-203).

New works

- New opaque glazing to the skylights of Stage 1 and Stage 8 in existing framing (refer to Drawing No. A-203)
- New fixed aluminium skylight with clear glazing on Caretaker's Cottage (Stage 9) and Stage 1 (Caretaker's Cottage stair) (refer to Drawing No. A-203)
- Reinstatement of ridge capping to roof of Stage 8 (refer to Drawing No. A-203).

Parquetry floors

Demolition

- Removal of non-original parquetry floors in G35 (Stage 9, refer to Drawing No. A-101).

New works

- Repair and refinish parquetry floor in Stage 9 where retained (refer to Drawing No. A-200 and A-201).

4.1.3 Services

General services upgrades are proposed throughout the building (Drawing No. A-002) with the approach to these being consistent with previous works projects and augmenting existing mechanical plant and systems in place.

Demolition

- Removal of redundant services and pipework (refer to Drawing No. A-100, A-101, A-102 and A-110).

New works

- New pipework in B7 and B8 (Stage 9, refer to Drawing No. A-210)
- Installation of new heating, cooling, electrical and mechanical services expanding and augmenting current services.

Fire

It is proposed to upgrade the existing fire services at Trades Hall, upgrading the wet and dry fire services including new sprinklers, hydrants, and a detection and occupant warning system.

Fire Rescue Victoria (FRV) have advised that the level of the existing fire services at Trades Hall needs to be improved to meet FRV's current standards of compliance. The existing system is demonstrating pressure and flow issues that render the services non-compliant with these standards.

A new fire pump is proposed in the rear courtyard in between Stage 8 and Stage 10. The proposed fire pump enclosure is to be 2.25 metres high, 1.25 metres wide and 3.5 metres long with a minimum clearance of 1.0 metre around the pump (refer to Drawing No. A-003).

Stormwater drainage

Demolition

- Remove existing storm water pits in the undercroft area (Stage 4) and the north portion of Stage 8 (Drawing No. A-101)
- Remove concrete slab in undercroft area to allow for trenching (Drawing No. A-101)
- Temporary removal of timber flooring to allow for excavation of subfloor soil beneath G32 (Stage 8) (Drawing No. A-101)
- Coring through bluestone (two locations) footing beneath Stage 8 (Drawing No. A-101)
- Demolition of asphalt and removal of part garden bed in south carpark (Drawing No. A-101).

New works

- New stormwater system including pits as required (refer to Drawing No. A-201)
- Reinstatement of timber flooring in G32 Stage 8 (refer to Drawing No. A-201)
- New concrete slab where the slab has been removed for excavation works in the undercroft area to match existing slab (refer to Drawing No. A-201)
- Repair asphalt and garden bed in south car park following completion of stormwater drainage works (refer to Drawing No. A-201).



Figure 11 Slate clad roof of the Caretaker's Cottage showing existing ridge capping, gutters and downpipes to be demolished



Figure 12 Typical skylight viewed from viewed from F34

4.1.4 Amenities upgrades

Amenity upgrades are proposed for the offices, toilets and kitchenettes in Stage 9. Further, amenity upgrades are proposed for the offices, toilets, kitchenettes and storage rooms surrounding the undercroft area and Stage 8. These proposed works are summarised in more detail below.

Kitchenettes

Demolition

- Upgrades to kitchenette (F19, G36, G39, G57) including demolition of non-original lightweight partitions, carpet underlays, joinery, fixtures, fittings, associated services, doors, frames and floor linings (refer to Drawing No. A-102 and A-101).

New works

- New kitchenette and sanitary facilities proposed for F19, G36, G39, G57 (refer to Drawing No. A-201 and A-202).

Toilets

Demolition

- Demolish concrete slab, masonry walls, timber framing, metal roofing, fixtures, fittings and associated services to the toilets and store in the undercroft area (Figure 14) (refer to Drawing No. A-101)
- Removal of non-original electrical duct in the toilets in the undercroft area (refer to Drawing No. A-101)
- Demolish a section of the angled south wall of the undercroft toilet for a new door opening. Dismantle brickwork and bluestone plinth to the extent shown on (Figure 14, Drawing No. A-101 and A-601)
- Removal of the temporary unfixed polystyrene in the east wall openings above the undercroft area toilets (Figure 15, refer to Drawing No. A601)
- Demolition of toilets in G35 (Stage 9), including the removal of riser covers and downpipes, joinery and skirting ducts, non-original tiles, fixtures, fittings, mirrors and associated services (refer to Drawing No. A-101)
- Demolition of toilets in F19 (Stage 8) including the removal of non-original lightweight partitions, joinery, fixtures, fittings, associated service doors and frames, floor linings and substrate (refer to Drawing No. A-102)
- Demolition of toilets in B9 of Stage 9, including the removal of non-original lightweight wall, timber door frame, door leaf, tile flooring, fixtures, non-original timber access hatch and frame, and fittings and associated services (refer to Drawing No. A-100).

New works

- New toilet amenities in B9 (Stage 9) with lightweight stud walls, plasterboard lining and new resilient wet area flooring (refer to Drawing No. A-200)
- Reconfiguration of toilets in the undercroft area including installation of new lightweight walls, KDW framed solid core door to new opening on angled south wall (refer to Drawing No. A-601)

- New aluminium framed double glazed units with fixed solid panel above, within the existing openings on the east wall, no fixings proposed into bluestone corbels (refer to Drawing No. A-601)
- New toilet configuration in F19 (Stage 9) with new lightweight stud walls and plasterboard linings, solid core timber doors, joinery and fixtures (refer to Drawing No. A-202).

Offices

Proposed amenity works on the ground floor of Stage 9 and Stage 1 include the creation of new offices in G39 and G45 (Figure 13).

Demolition

- Demolition of non-original timber framed and glazed entry doors to G39 and G45.
- Non-original partition walls to be removed in G28, G36, G39 and G45 of Stage 9 and Stage 1 (refer to Drawing No. A-101)
- Non-original joinery, fixtures, skirting ducts, timber doors and frames in a number of rooms (refer to Drawing No. A-100, A-101 and A-102).

New works

Reconfiguration of office spaces in G39 and G45 (Stage 9):

- Install new timber framed and glazed door, fixed glazed to panel to existing opening (these will be wider than the current for compliance purposes and re-swung).
- Installation of new plasterboard clad lightweight wall to existing opening, new solid core door with KDHW frame (refer to Drawing No. A-201, A-203 and A-603)
- Infill existing masonry walls with salvaged bricks and key into existing openings in G39 (refer to Drawing No. A-201 and A-603)
- Install new plasterboard lined full height lightweight walls in G39, with solid core and KDHW framed doors (refer to Drawing No. A-201 and A-603)
- New aluminium framed large format, double glazed (clear) highlight windows above two new lightweight walls in G39 (refer to Drawing No. A-201 and A-603)
- Install salvaged or matching skirting to masonry walls where required (refer to Drawing No A-603).

Carpets

Demolition

- Removal of non-original carpets and underlay (G46, G47, G26, F34 and F35, refer to Drawing No. A-101 and A102)
- Removal of non-original skirting ducts in rooms noted above (refer to Drawing No. A-101 and A102).

New works

- Install new carpets, as per the '888' broadloom designs installed previously in G46, G47, G26, F34 and F35 (refer to Drawing No. A-201 and A-202).



Figure 13 Layout of G39 proposed for reconfiguration to create offices; red arrow indicates door opening to be infilled and skirting; blue arrow showing location of proposed lightweight wall to extend to perimeter wall

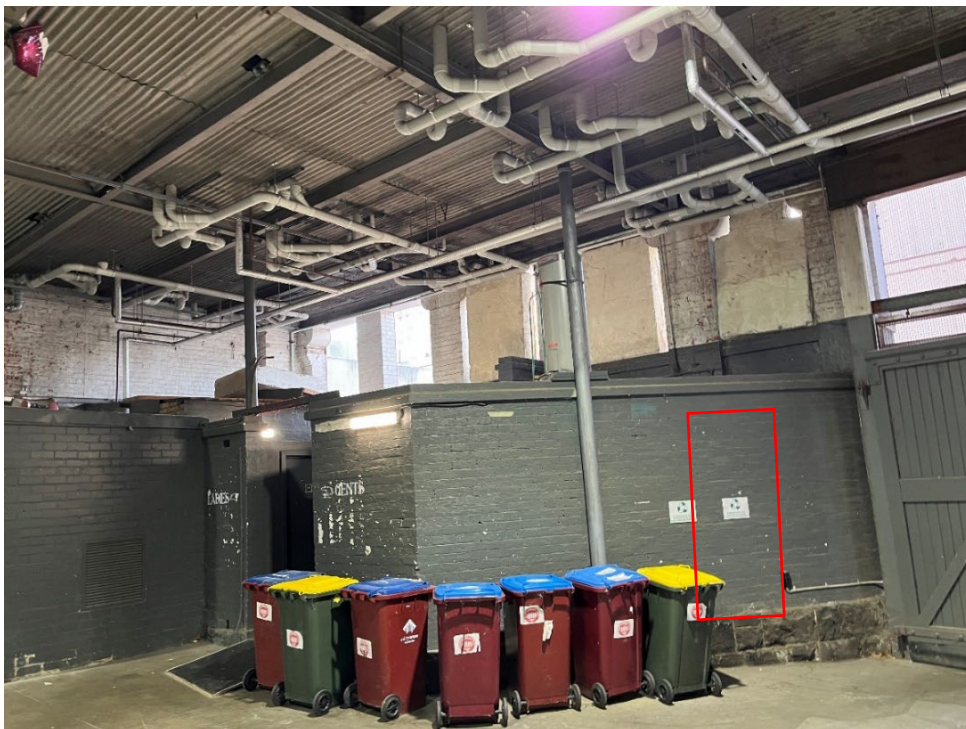


Figure 14 Toilet and store in undercroft area showing approximate portion of south angled wall proposed for demolition



Figure 15 Openings on east wall above undercroft toilets with unfixed polystyrene infills proposed for removal

4.1.5 Access/compliance

The project includes a suite of access and DDA compliance upgrades to stairs and doors at Trades Hall. These upgrades require the following:

Demolition

- Demolish timber door to the north doorway (D0.53) of Stage 9 at Stair 2 (refer to Drawing No. A-101)
- Demolish non-original internal doors accessing Stair 2 (refer to Drawing No. A-101)
- Dismantling of the external bluestone steps, material salvaged for reuse Stage 9 (refer to Drawing No. A-101)
- Removal of timber handrail on the east wall of the stairs leading from Victoria Street entry to the basement (Stage 9, Figure 16 , refer to Drawing No. A-300)
- Removal of non-original entry doors to G45 and G39 (Stage 9, refer to Drawing No. A-101).

New works

- Installation of two new 40mm diameter bronze handrails with bronze custom-made brackets and fittings for the external steps principal south entry (Stage 9, refer to Drawing No. A-300)

- Installation of new 40mm diameter bronze handrail with bronze posts fixed to all flights of stairs in Stage 9 main entry (Figure 17, refer to Drawing No. A-201 and A-300)
- Install new timber framed glazed doors and framed with fixed glazed panels to existing opening to G46 (refer to Drawing No. A-201 and A-300).
- Stair 2 to be upgraded with new nosing and handrails to align with current DDA compliant standards (Figure 18). The deteriorated concrete ceiling and walls to be repaired (refer to Drawing No. A-302)
- Install new single leaf, timber door at north entry to Stage 9 (refer to Drawing No. A-302)
- Install new fire rated steel framed self-closing door to all levels of Stair 2 (refer to Drawing No. A-302)
- Construct a new external stair (north entry Stage 9) with 750mm deep landing, reuse salvaged bluestone material to construct a new stair, reconfigured and oriented to the east (parallel to and separated from the external wall); install a new 40mm diameter brass handrail to both sides handrail fixed to the new stair (Figure 19, refer to Drawing No. A-201, detail 01 A-302)
- New freestanding steel framed steps leading from G33 to the undercroft area with expanded steel mesh treads and new steel handrails to both sides all fixed to existing concrete slab (refer to Drawing No. A-201).



Figure 16 Stairs to basement from Victoria Street entry showing non-original timber handrail proposed for removal



Figure 17 Ground level entry stairs to Victoria Street wing showing location of proposed handrail to be fixed to concrete floor



Figure 18 Typical condition found in Stair 2, north-east corner of Stage 9



Figure 19 Non-original bluestone stairs in carpark north of Stage 9, to be dismantled and reconstructed in a new arrangement with new landing and integrated handrails

5.0 SIGNIFICANCE

5.1 Victorian Heritage Register

In summary, the VHR statement of significance for Trades Hall identifies the place as being of historical, architectural and social significance to the State of Victoria for the following reasons:

- Trades Hall is of historical significance for its extensive associations with the development of trade unions and union events in Victoria as well as the Australian Labor Party;
- Trades Hall is of architectural significance as a fine surviving example of a large nineteenth century institutional building and its associations with architect Joseph Reed, whose firm Reed & Barnes and its later derivatives designed Trades Hall over multiple stages;
- Trades Hall is of social significance as a centre of radical and working-class politics and activism in Victoria for over 100 years, and continues to serve as a focus of union organisation and the Australian Labor Party.

5.2 Conservation Management Plan

5.2.1 *Levels of significance*

The assessment of significance in the CMP identified areas and elements of primary, contributory and little or no significance.

Most of the internal spaces and fabric subject to this application are of primary or contributory significance (Figure 20 - Figure 23). The implications arising from the CMP assessment relate to the key features, characteristics and attributes, including building planning and fabric, should be retained and conserved as follows:

- Use: the primary association of the place with trade unions and the union movement
- Planning and layout: key attributes of the overall planning, particularly the staged development of the complex, and its internal layout associated with expansion and use
- Internal fabric to the extent that this demonstrates the organisation and growth of the union movement and includes key spaces and elements of a high level of historical and symbolic importance
- Objects, signage and ephemera contained within the building.⁹

The CMP provides policies that guide the future conservation, change and management of spaces in Trades Hall that are of primary and contributory significance. This proposal considers the policy framework set out in the CMP.

⁹ Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016, p. 111.

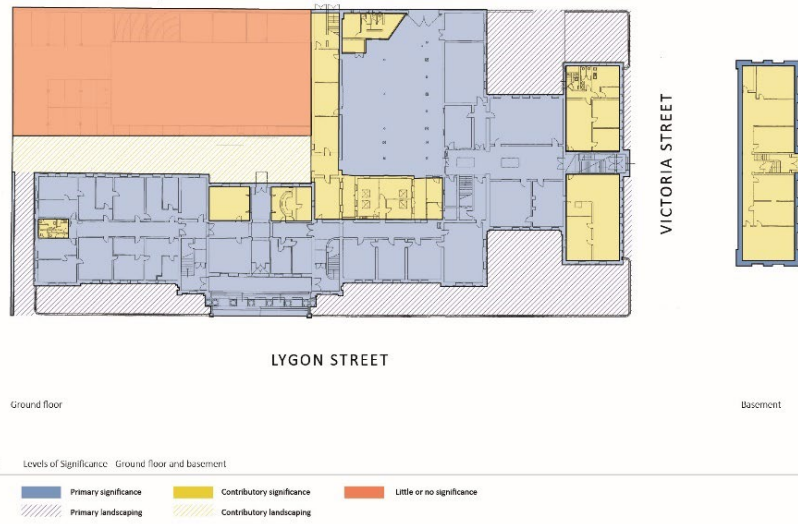


Figure 20 Levels of Significance - ground floor and basement
 Source: Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016



Figure 21 Levels of Significance - first floor
 Source: Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016

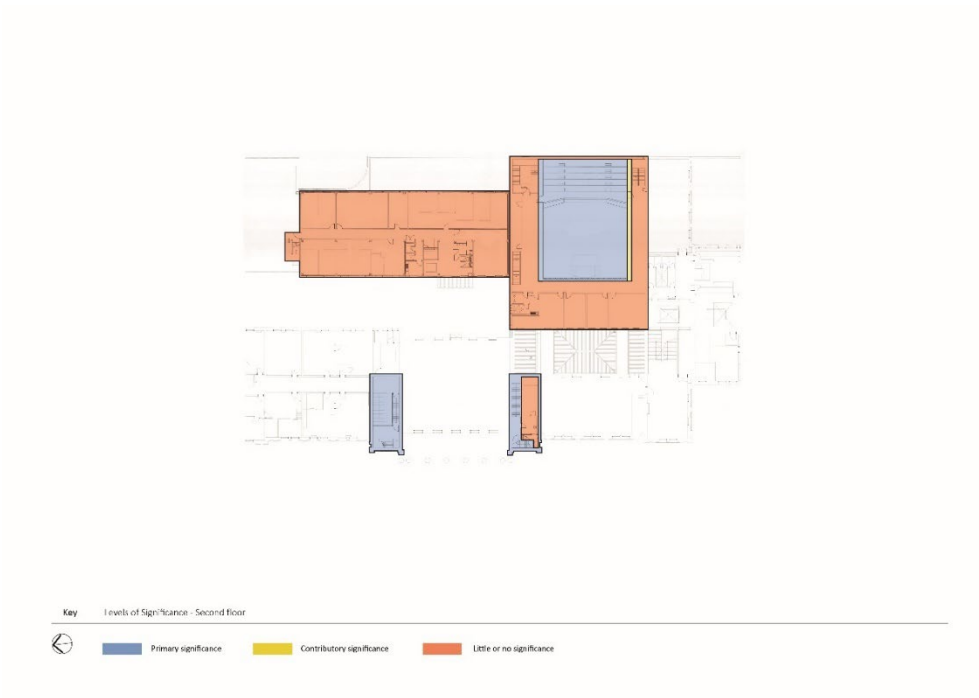


Figure 22 Levels of Significance - second floor
Source: Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016



Figure 23 Levels of Significance - rooftop
Source: Lovell Chen, *Trades Hall Conservation Management Plan*, prepared for Victorian Trades Hall Council, March 2016

6.0 ASSESSMENT OF HERITAGE IMPACTS

6.1 Heritage Act considerations

Relevant considerations that must be considered by the Executive Director under Section 101 of the Heritage Act and addressed in this HIS are:

- Impact on the cultural heritage significance of the registered place - s. 101(2)(a)
- The extent to which the application, if approved would affect the cultural heritage significance of any adjacent or neighbouring property included in the VHR – s. 101(3)(a)(i).

6.2 Impact on the cultural heritage significance of the registered place

In assessing impacts on the cultural heritage significance of the place, reference is made to the VHR statement of significance. No permit policy is included in the VHR registration for Trades Hall and one permit exemption, related to erection of banners is included though is not relevant to this permit application. Where relevant, reference is made in the following assessment to the CMP policies that help guide management and conservation proposals in areas of primary and contributory significance.

Impacts on significant fabric

The proposed works are consistent in approach to the preceding conservation and new works projects completed at Trades Hall, in that they are designed to improve the overall amenity and function of the place, address areas of compliance and manage current and future maintenance issues. For the most part, the approach to the renewal and upgrade of services is as implemented previously, with the replacement of non-original elements (lighting, heating/cooling, kitchenettes, toilets and the like) where these are at end of life, and/or are required to be made compliant for DDA purposes. General conservation and repair works throughout the building, such as painting, plaster repair and the like, are to be undertaken following good conservation practice, using like materials and implementing sympathetic approaches to detailing. This approach is taken to minimise adverse impacts on significant fabric and enhance the presentation of the place in a manner which is consistent with its architectural, historical and social significance. All works are geared towards the continued use of Trades Hall for the purposes of the Trade Union movement and for related activities, consistent with its significance.

In particular, conservation and recovery works to the painted honour rolls and commemorative panels in the Stage 1 ground level entry hall have been subject to detailed investigation in order to develop a sound methodology. These works will be undertaken by a suitably qualified and experienced materials conservator, as has been the approach in the detailed restoration and conservation of decorative schemes and finishes in both the Old Council Chamber and New Council Chamber (Solidarity Hall). This component of the project serves to complete the presentation of key historic and commemorative spaces and features in Trades Hall and will be a profoundly positive heritage outcome that goes to the heart of the significance of the place.

Two components of the works will result in the removal of original or early fabric, these being the removal of the slate roof cladding to the Caretaker's Cottage (Stage 9) and the creation of a new opening in the angled wall of the undercroft amenities.

Of the former, the proposal to remove the extant slate cladding and replace this with galvanised corrugated sheet, new insulation, sarking and rainwater goods arises from the failure of the existing roof cladding. The slate has largely reached end of life with the roof leaking, and due to the height and location of the roof, continual repair introduces complications around safe access and maintenance.

Repair is further complicated by the limited ability for accessing matching Welsh slate for any works. While not an outcome that follows the 'like for like' approach, the proposed replacement with new materials is based on the management of future maintenance burdens on Trades Hall, provision of improved thermal capacity for occupants of the cottage and weathertightness. Skylights to be replaced are non-original insertions and the proposed roof material is consistent with that applied elsewhere on Trades Hall. It is noted that the roof is not visible in principal ground level views to the building, being concealed behind a tall parapet and Stage 1, and only visible from high level vantage points overlooking the south end of Trades Hall. The Caretaker's Cottage is identified as an element of contributory significance in the CMP, and the policy framework provides some scope for an alternative approach to management of fabric, where this has limited adverse impacts on heritage values. Overall, while the proposed works will introduce a change, and loss of fabric, the overall effect is one which goes to the provision of a secure weather envelope to this structure and improve the functioning of the roof drainage and stormwater system. The proposed change will not adversely affect the architectural significance of the place and goes to the longevity of the building.

A small section of demolition is proposed to the south angled wall of the amenities in the undercroft to allow for the installation of a new door, and separation of cleaning store and toilet functions. The works will include the demolition of the internal toilet partitions, these for the most part being modern fabric, and will allow with configuration of the layout for the provision of additional male and female toilets than the current capacity. The new door opening will result in the removal of 1350mm wide section of brickwork and bluestone block plinth and making good of the opening for the installation of a new door. This wall fabric is identified as contributory significance in the CMP, and as noted above, the CMP provides scope for sensitive change for fabric of this level of significance. Accepting that fabric will be lost, it is of a minor extent and in an element of secondary nature in relation to the expression of the significance of Trades Hall overall. The provision of additional and modern amenities will support the function of the undercroft space for the activities undertaken at Trades Hall.

The proposed fire pump enclosure will introduce an element of scale in the rear courtyard of the Trades Hall, adjacent to the twentieth-century Stage 8. Accepting the requirement to comply with FRV's standards, the selection of this location is one which aims to avoid more sensitive positions to either Lygon or Victoria streets, maintain external accessibility for FRV's needs and limit impacts on the operation of the place. Positioned further to the south along the east elevation of Stage 8 maintains unimpeded access from the north driveway to the rear courtyard. The fire pump is to be positioned 1.0 metre away from the elevation and will, to a limited extent, be higher than the adjacent window sills. That said, the windows are tall, and while visually present, there will be no obstruction to natural light to the adjacent office and kitchen space from the fire pump enclosure. The pump is concealed from view and in less sensitive part of the overall site. There is no adverse impact on significance arising from this change.

Installation of new walls on the ground floor of Stage 9 will be undertaken in lightweight construction, allowing for reversibility, and where proximate to existing masonry and render walls, will be subtly detailed to be evidently new fabric. While a change, the interior of Stage 9 is contributory and there is some scope for sensitive change and this modification introduces opportunities to use the space more efficiently for office functions.

Apart from the undercroft toilet amenities upgrades, the proposed works will follow the approach implemented previously being new fit outs of individual unisex toilet compartments within larger spaces. These will be serviced as per the previous approach and in a manner which has been designed to limit impacts on extant wall and floor fabric. New kitchenette fit outs will remove non-original fabric,

and where required will temporarily lift floors and the like to enable access for servicing, with these reinstated. For the most part, these works are to occur in areas defined as contributory in the CMP, allowing for considered scope for change. There will be no impact on significance arising from this work.

Access issues are to be addressed through the sensitive introduction of new handrails for stairs and the like. These will be most present in the principal south Victoria Street entry where a new handrail is proposed, returning from the porch step and to the exterior of the porch. This has been simply detailed and will be finished in brass to ensure that it is sympathetic in materials and presentation to the extant original c. 1925 handrails in the adjacent internal stair. While there will be an external change, this is of a modest nature and sympathetic to the detailing of the building. Other handrails are proposed to be installed in less sensitive fabric, such as connected to the concrete stairs in Stage 9, not the marble dado and balustrade lining. The proposed replacement of the fire escape door and external stair on the north side of Stage 9, accessing the asphalt car park, is required to ensure a fire compliant access way. The extant two leaf doors do not meet the required opening width and the replacement with a wide single door will achieve this. While subject to further detailing, it is intended to install a door that is of a similar presentation of the existing, noting that it is possible that this door is not original. The c. 1925 annotated drawing indicates a single door in this location (Figure 24) while a c. 1992 drawing (Figure 25) indicates paired doors. The drawings are also useful in demonstrating that the stair proposed to be dismantled were not part of the c. 1925 construction, with the drawing annotated with '...ground graded to door sill...' indicating that a stair wasn't constructed early on. That the stair is later than 1992 is confirmed by the later drawing which does not indicate a stair in this position. The proposed stair will repurpose the non-original bluestone fabric and reconstruct it in a compliant arrangement. Materially, the stair matches the adjacent bluestone plinth and is visually sympathetic and not intrusive.

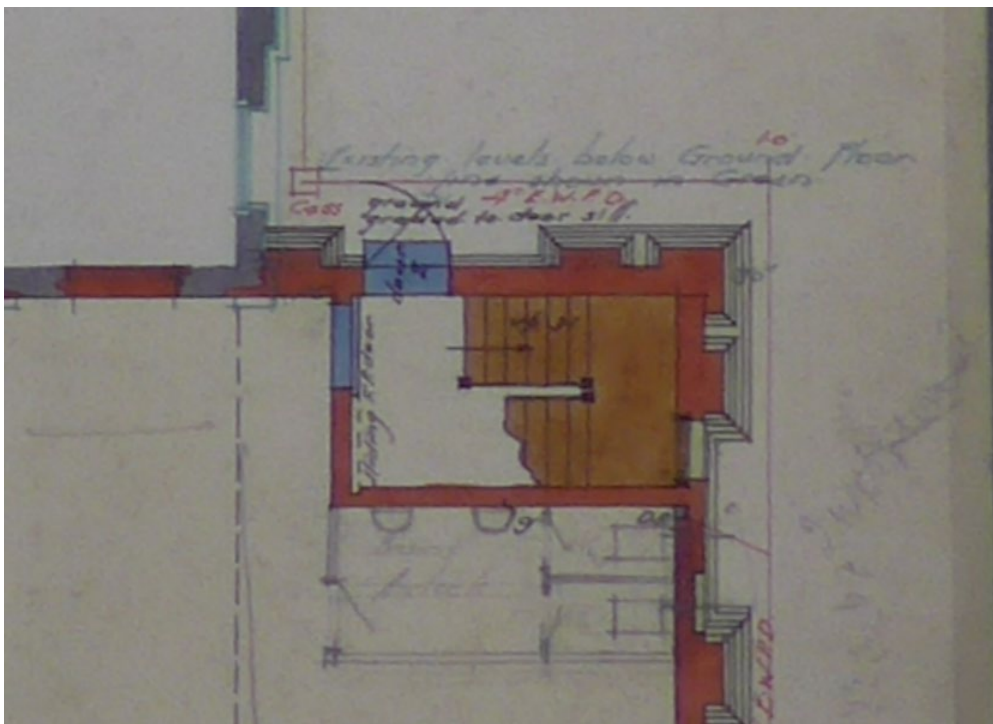


Figure 24 Ground floor plan showing stairs to Victoria Street wing providing access to carpark, 1925
Source: Trades Hall, Architectural Drawings of Bates Smart and McCutcheon and Predecessors Collection, University of Melbourne Archives

6.8 Applied decoration

6.9 Repair, conservation and refurbishment works

6.10 Inspection and building maintenance

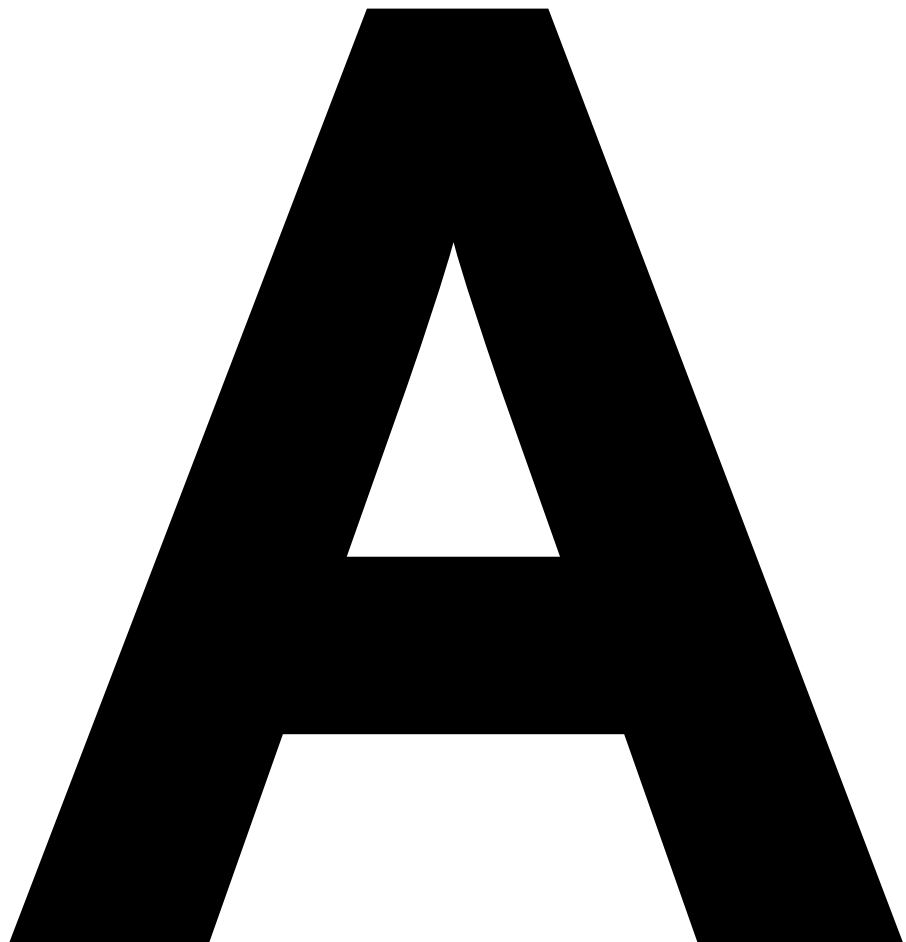
6.11 Specialist skills

All works proposed in this permit application have been designed to manage and minimise adverse impacts on the significance of Trades Hall, consistent with the CMP policies. The works are intended to improve use and access to the building continuing the historical purposes and function, implement changes to areas of lesser sensitivity to support the activities of Trades Hall and most importantly, undertake sensitive conservation, repair and reconstruction works in a manner which enhances the significance of the place. The revealing and conservation of the painted honour rolls and commemorative panels to the ground level entry hall are entirely consistent with the approach anticipated in the conservation and management policies in relation to the investigation and reinstatement of applied decoration and use of specialist skills to inform and undertake works to significant fabric.

7.0 CONCLUSION

The works proposed in this project continue that of the previous works programmes at Trades Hall, through implementing conservation and refurbishment works to key spaces, providing upgraded amenities and office spaces, and attending to compliance issues. All works have been approached with a view to minimising the potential for impacts on the significance of Trades Hall and fabric. In revealing and conserving painted honour rolls and commemorative panels, the historical and social significance of the place will be enhanced. Overall, the project will facilitate the continued and ongoing use of Trades Hall in a manner that is consistent with its historical and social significance. The architectural significance of the building will not be affected by the proposed works.

**APPENDIX A:
ANDREW THORN'S
ASSESSMENT &
CONSERVATION
METHODOLOGY**



TRADES HALL

Trades Hall Melbourne -Victoria Street Entry Hall
Assessment of the status, condition and recovery viability

Prepared for
Lovell Chen

August 2022

Report version 220829

Prepared by Andrew Thorn

Andrew.Thorn@artcare.cc
0419 26 9326

ARTCARE : +613 9010 6070 : PO Box 333, Carlton North, VIC 3054

1. Introduction

Artcare has been commissioned to study the wall decoration of the Central Hall of the Victoria Street Entrance of Trades Hall, Melbourne.

The aims of the study have been to assess the extent of decoration, its condition and the feasibility of recovery through the removal of later overpaints.

The West wall has been the main area of study due to the partially exposed presence of Commemorative panels, matching those fully visible on the East wall. While the West wall has been studied in detail the decorative scheme has been investigated on all wall surfaces including the northern section leading to the main stairway. This extended study has been limited to a raking light survey to establish whether the Commemorative panels continue into the northern section, given that a similar panel is located at the midway landing of the stairs. The ceilings were also observed under raking light to see if any substantial decorative scheme survived to compliment the wall scheme.

Two commemorative panels were located on the south wall, either side of the arched opening but no further panels were identified on the north wall or the northern space beyond. No ceiling decoration stood put under raking light, placing this ceiling more in the decorative strength of the Executive Meeting Room than that in the Old Council Chamber.

The two panels in the southern wall have been disrupted by the making of the enlarged entrance archway, indicating that they were in place before the southern extension of the building.

It is unclear when the West wall plaques were painted, with partial exposure of one panel for this study indicating stylistic consistency across all three walls, despite the east and west walls having quite different dado friezes.

2. Description of the walls

Earlier investigations of the west wall were carried out, it is believed in the early 1990s, at which time the east wall was fully restored.

2.1. East wall

The east wall is currently fully exposed after having been revealed in the early 1990s. It is unclear to what degree the east wall was obscured and by what. Although anecdotal evidence suggests the current scheme was not visible prior to the 1990s works, it is not clear what degree of uncovering took place.



Figure 1 General view of the East wall.

It is clear the east wall was heavily retouched in the 1990s campaign, with extensive repainting of several areas. Based on the results of paint removal on the west wall, by the same team, where very little of the gilt highlighting was retained, the best interpretation is that the east wall was either covered by papers or other readily removable coverings. This is based on the observation that gold on the east wall is perfectly preserved whereas that on the west wall is largely removed in all exposed areas.

The painters of the East wall have signed their names, without dates, while later additions have been signed and dated, Figure 2.



Figure 2 The East wall plaques have been signed twice. The upper image gives the name of the original sign writers Pierce and Lamb. The B of Lamb appears to have been obscured by 1990s retouching as is the upper word. The central image gives a false colour rendition clarifying both Lamb and the upper word "Originally". The word Originally is significant as it implies that Dunstan, who extended the plaques in 1910-11 (lower image) is more likely the painter of the first signwriters' signatures.

Figure 2 shows the signatures of the various signwriters involved on the East wall. The upper image names Pierce and Lamb, but curiously prefixed with “Originally”, suggesting that they did not sign the work themselves but that it is more likely Dunstan in 1910-11 or an earlier painter who recorded the first painters. Both signature panels have been extensively overpainted in the 1990s, rather poorly, as can be seen in the Dunstan inscription and to such an extent that the Pierce and Lamb signature panel is obscured.

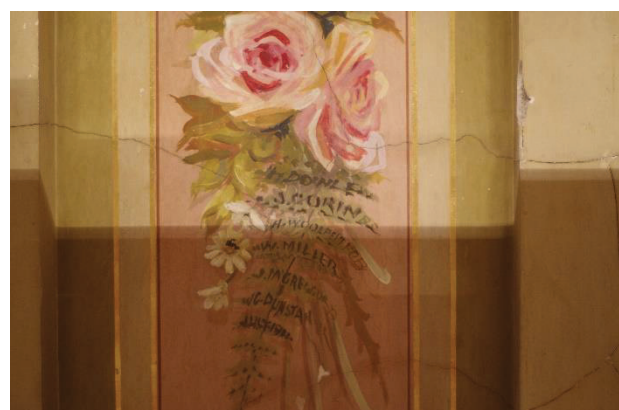
While it is most likely that Dunstan worked over earlier work, it is also clear where his additions occurred, Figure 3.



Figure 3 Panel on the east wall with detail of the lower section where Dunstan has extended the names and dates.

Figure 3 makes clear where Dunstan’s work commenced, with a clear demarcation between the lighter yellow earlier work and his browner addition beneath. Font analysis shows substantial differences in letter types for almost every letter between the upper yellow section and Dunstan’s brown section below. The Pierce font is closer to the classical Roman font with conventional serifs, whereas the Dunstan font embellishes with curlicues of his own invention. There are some stylistic idiosyncrasies between the cartouches onto which the leading majuscules are applied as well.

Figure 4 WG Dunstan appears on the list of decorators in the New Council Chamber scheme, which also contains a dedication dated 1911.



Of particular note is the presence of the dado frieze that has been applied at the time of the 1910 Dunstan additions. This frieze was run

though most spaces during the 1990s redecoration but is not found on the west wall. This will be discussed in the next section.

2.2. South wall

The south wall has been investigated using raking light to reveal two inscription panels placed symmetrically either side of the doorway. The raking light made it clear that the doorway was cut through an existing plaster as it has been very roughly filled around the opening.

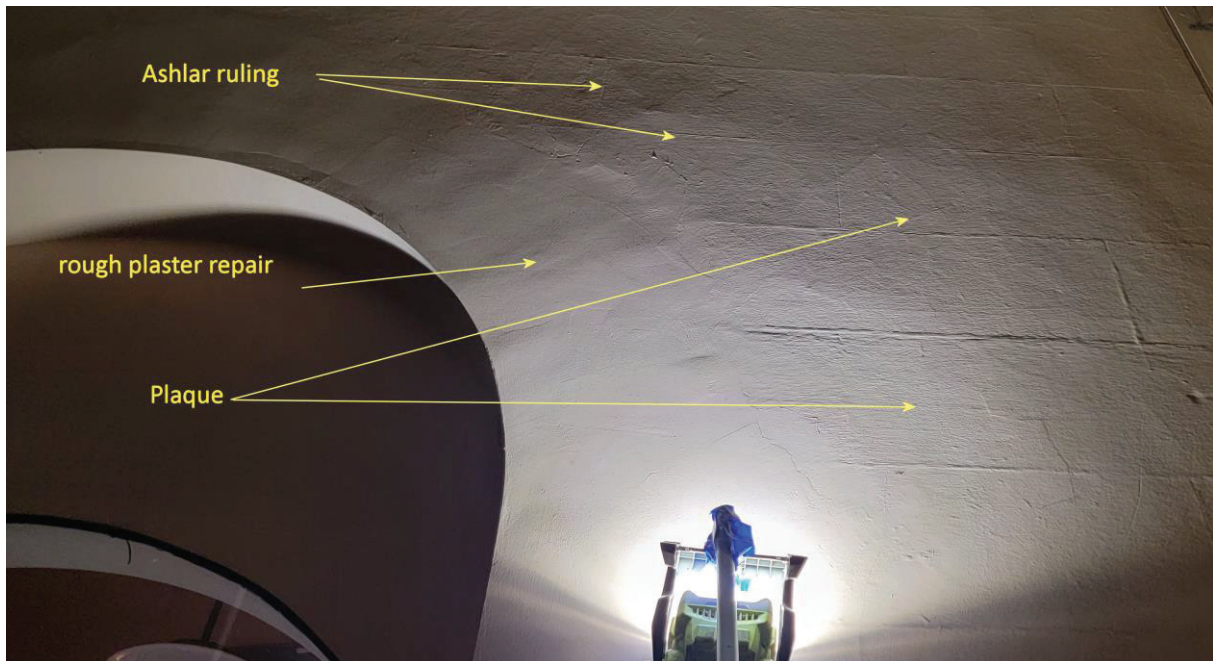


Figure 5 Raking light on the south wall has revealed a plaque either side of the opening. A rough repair to the previously ruled ashlar in the plaster can be seen as can the faint linear outline of the pediment to the western plaque.

The southern façade of the building was extended to its current alignment in 1925 (pers. Comm. Lovell Chen) and it is assumed that the enlargement of the doorway was part of those works. This would mean that the plaques are at least as early as those on the east wall but may be earlier as evidence on the west wall may support. Only a complete uncovering will reveal the details of the inscriptions, however font analysis indicates a consistency with the upper east wall style rather than the lower Dunstan font.



Figure 6 A revealed detail of the western plaque on the south wall. The font is consistent with the upper east wall plaques.

2.3. West wall

The west wall has been the main focus of this study due to prior evidence of the scheme. Various windows have been exposed in the 1990s to reveal plaques matching those on the east wall. A raking light survey has confirmed that plaques run along the entire length of the west wall as indicated in figure 7. The southern end of the wall was less distinct than the four obvious plaques marked while the second from the right has been assumed.



Figure 7 Raking light has confirmed plaques in the layout suggested in this markup.

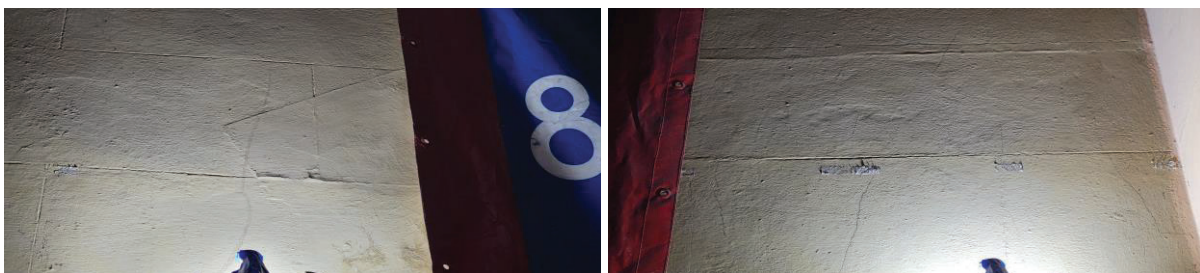


Figure 8 Raking light has identified the four plaques to the left of figure 7 and that at the far right. The images here are of the panels either side of the banner. The left-hand plaque is clearly evident whereas the right hand one is there but less distinct with just a faint indication of the right-hand pediment visible.

Previous investigations resulted in a surface that was heavily scoured, with little retention of the gilt lines but better preservation of the gilt cartouches supporting majuscules. The previous investigations do at least allow a full study of the paint layer sequence without the need for additional cross sections to understand the schemes. Two cross sections were prepared on each of the south and west walls but are not included here as they provide no additional clarification on sequences.

The 1990s paint removal revealed clear evidence of the southern-most inscription panel, and this has been matched to the dado frieze patterns exposed beneath.

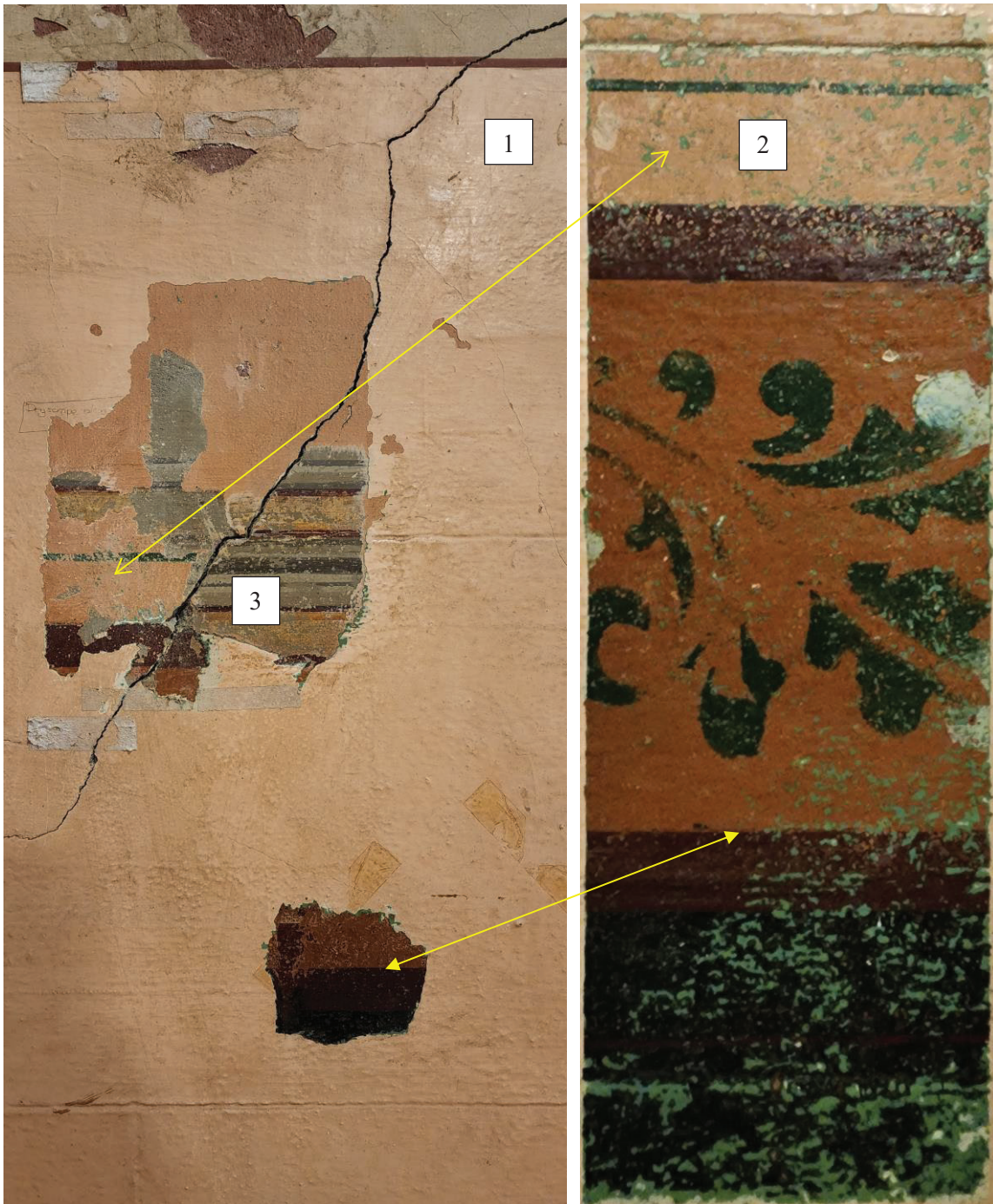


Figure 9 Two windows through the underlying paints at the level of the dado frieze (right) and just above (left). The schemes are numbered from the extant 1, to an intermediate scheme 2 and the final scheme 3 that corresponds with the inscription panels.

Figure 9 describes the scheme sequence at the dado frieze of the west wall. Immediately beneath the extant pink cream is a scheme consisting of a deep green dado surmounted by a foliate frieze, matching that currently visible on the east wall. A comparison of the corresponding parts of the stencil shows that the two match in general terms but with one or two alterations in the details. Most notably there is an absence in the west wall original of the extensive highlighting on the leaves seen on the east wall. It is noted that this east wall dado frieze has been run through many corridors at ground level in the 1990s. The variation may be either that the decorators who revealed the east wall foliage removed the highlights or that the east wall work is theirs and they have taken the pattern from another part of the building where this pattern has been applied. Beneath this scheme is that belonging to the

commemorative inscription panels. It is this scheme that is the most significant in this space as it is the only one containing the inscriptions.



Figure 10 Comparison between the original stencil on the west wall (right) and the extant stencil on the east wall. It is noted that the highlighting of foliage on the east wall is absent from the exposed original on the west wall.

When comparing the sequences in the Entrance Hall with those in the nearby Executive Meeting Room, the foliate frieze is comparable but not identical to the second foliate scheme in the EMR, where it is underlain by a Greek key pattern. An earlier pattern has not been found here, as the east wall was not available for paint removal, but further investigation could reveal a similar design. One final element of the west wall that needs consideration is the painting within the one raised panel located between the doors, as seen in figure 7. This panel commemorates the Australian Labor College, a fledgling communist body formed in 1912. The style of buildings depicted is consistent with this date and it is most likely that the formation of the ALC would have been memorialized at formation rather than some later date. This supports the evidence that the Entrance Hall was substantially completed in the 1910-12 period. Counter this, the font styles of this panel vary considerably from those seen in the rest of the Hall or in the New Council Chamber.

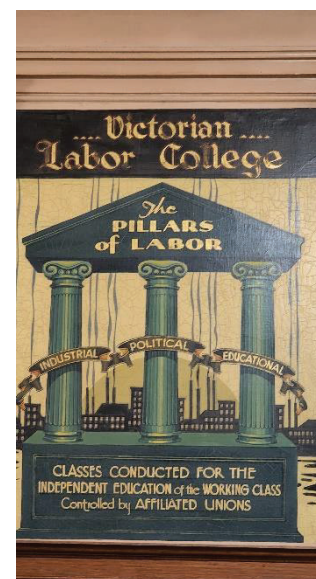


Figure 11 Commemorative plaque set in a raised panel

Further details of the Commemorative plaque scheme are presented in the next section where paint removal is discussed.

3. Recovery of the Commemorative plaques

The main effort in this study has been to establish a viable means of recovering the inscription panels and associated decoration on both the west and south walls. Previous removal showed that paint separation was difficult at that time and in the current conservator's opinion below a standard warranting full exposure.

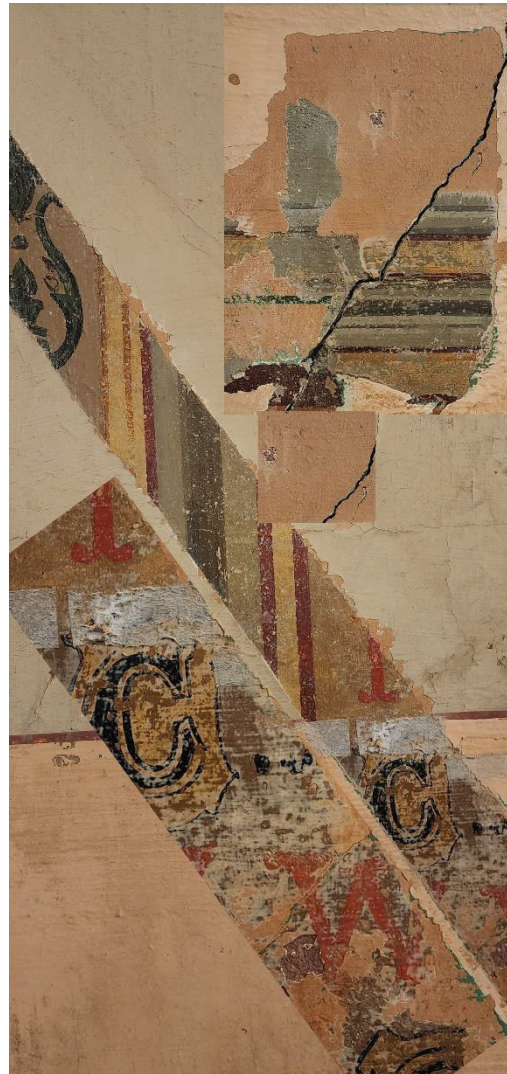
3.1. Paint removal

Removing paint to achieve the 1990s results would produce a severely compromised scheme requiring substantial reconstruction, as is evidenced on the east wall. Consequently, a great deal of effort has been applied to gold retention and after several unsuccessful methods a satisfactory result has finally been achieved.



Figure 12 Composite view of the 1990s paint removal efforts. It can be seen that where gold is retained well in some cases, it has been completely removed in others.

Figure 12 shows various views of the 1990s works showing variable results. In one case a gilt line has been completely removed while other areas have been scoured to an unacceptable degree. Early trials by the Artcare team struggled to improve on these results but after several solubility trials and applications of viable systems, a reasonable retention of the gold was achieved. This has been combined with development of an efficient application system with the method described in full.



Step 1. Remove extant paint scheme consisting of two layers, one pale grey green and that below a stronger green. This is achieved by applying a poultice gel of 2 parts acetone and 1 part ethanol for 20-25 minutes or until the two paint layers are uniformly softened. An addition of 10% dichloromethane will be beneficial for softening more resistant areas, although the timing will need to be adjusted accordingly. Poultice dwell time aims to ensure that the two layers are softened uniformly such that the underlying second scheme pink layer is exposed intact with no gouging through to the original scheme and no undue residue of overpaint from the softened third scheme. Once softened with the solvent poultice the two outer layers are sliced with a dull #22 scalpel blade.

Step 2. The penultimate paint layer above the original (figures 9&10), is softened by applying water ethanol 9:1, soaked cotton wool pads of approximately 120x120 mm for two days. This slow penetration of a slowly softening solvent ensures that the overpaint becomes sufficiently detached from the original, especially the gilt highlights, to ensure that separation is effective and low impact. The softened paint is then gently prised from the surface with scalpel blades, but here it is critical to have the blades suitably dulled to avoid damaging the original surface. Softening for up to four days has been trialled with the ideal results falling somewhere between one and three days. For this system to be comprehended it is first necessary to describe the original paint. No analysis has been conducted of the paint medium, but it has all the character of a conventional oil paint and hence quite stable to water soaking. The more common oil glue emulsion paints that dominate wall decoration in 19th century Victoria have not been used. Furthermore, the gilding itself will have been applied to an oil mordant which is a partially drying linseed oil and varnish medium but one that does not fully oxidize and hence remains vulnerable to the solvents required to dissolve the overpaint. The overpaint is not soluble in water and is more likely the aforementioned oil glue emulsion type of washable distemper. The glue component of such paints will respond very slowly to cold water, and it is this swelling action that has been exploited in this instance.

The results, particularly on the gold, have been impressive in terms of full retention without damage. This is not immediately obvious for the test areas, as much of these areas have been the subject of various prior less successful trials. The following areas have been exposed on the west wall, with the less successful results on the south wall pictured in figure 6. The less satisfactory results in the south wall are the result of insufficient time to adapt the west wall technique to the changed overpaint sequences. It is believed that further refinement will produce a satisfactory result on the south wall to match that of the west wall.



Figure 13 Overview of the paint removal trial areas on the south and west walls.



Figure 14 Paint removal areas on the west wall.

3.2. Consolidation of detaching paint

There are considerable areas of detachment across the surface. Some of these have been re-adhered during the 1990s work. Other untreated areas are either just that or have become detached since that work. The paint can be secured to the surface without difficulty; however, this slows down the removal process as the adhesive may slow the softening of the overpaint to some extent. Paint removal processes must be aware of the need for paint re-attachment as part of the overall treatment requirements.

3.3. Re-integration of losses

Several areas of the surface have detached already; however, it is not anticipated that there will be further loss. Never-the-less there is a need to allow for reintegration procedures to ensure that the west wall has the same completeness as the east wall. Where names are obscured through paint loss it is important to make them fully readable, as it is the name of the person that takes precedence over decorative qualities.

4. Cleaning of the east wall

The East wall has been cleaned as part of the current project. Trials confirmed that the whole surface has been coated with what is most likely an acrylic, possibly in emulsion form due to its thickness. The film did not respond to solvents that would dissolve a more traditional varnish but was disrupted by acetone, which will have rapid solubility for acrylic and PVA. Given the very low level of soiling below the varnish it was considered unnecessary to remove it. The surface of the varnished painting was cleaned using water and ethanol 9:1. This provided equal and better results than many of the other solvent systems trialled, with the assurance that it would not disrupt the varnish layer itself.

Cleaning trials indicated there would be no dramatic change to the appearance of the painting and hence an efficient cleaning with sponges was undertaken. The key requirement was to change the sponges at regular intervals before they became noticeably soiled, to avoid redeposition of soiling into the painting. While there was no appreciable change to the surface appearance, figure 15 indicates the level of soiling. Sponges were constantly rinsed and changed.



Figure 15 Comparison between clean and soiled sponge on east wall.

LOVELL CHEN



LEVEL 5, 176 WELLINGTON PARADE
EAST MELBOURNE 3002
AUSTRALIA
TEL +61 (0)3 9667 0800
enquiry@lovellchen.com.au
www.lovellchen.com.au