

# Heathcote Civic Precinct

125 High Street, Heathcote 3523 VIC  
City of Greater Bendigo



**Location Plan**

**Client Liason**  
City of Greater Bendigo  
PO ox 733, Bendigo, Vic. 3552

Contact: **Joshua Owens**  
Phone: (03) 5434 6142  
Email: j.owens@Bendigo.vic.gov.au

**Architect**  
e+ architecture  
111 Mollison Street, Bendigo, Vic. 3550

Contact: **Rachel Hannan**  
Phone: (03) 5443 0055  
Email: rachel@eplusarchitecture.com.au

## Drawing List\_Master

Drawing Number	Drawing Title	Revision Date	Current Revision	Sheet Size	Checked By	Drawn By
TP-001	Cover Page	1/11/2024	D	A1	RH	DW
TP-101	Existing Site Plan	1/11/2024	D	A1	RH	DW
TP-201	Existing and Demolition Floor Plan	1/11/2024	D	A1	RH	DW
TP-202	Proposed Floor Plan	1/11/2024	E	A1	RH	DW
TP-203	Existing and Demolition Roof Plan	1/11/2024	D	A1	RH	DW
TP-204	Proposed Roof Plan	1/11/2024	D	A1	RH	DW
TP-301	Ex. & Demo. Reflected Ceiling Plan	1/11/2024	A	A1	RH	DG
TP-302	Proposed Reflected Ceiling Plan	1/11/2024	A	A1	RH	DG
TP-401	Existing and Demolition Elevations	1/11/2024	D	A1	RH	DW
TP-402	Proposed Elevations	1/11/2024	D	A1	RH	DW
TP-403	Photos	1/11/2024	D	A1	RH	DW
TP-404	Photos	1/11/2024	-	A1	RH	DW
TP-405	Photos	1/11/2024	-	A1	RH	DW
TP-406	Photos	1/11/2024	-	A1	RH	DW
TP-407	Photos	1/11/2024	-	A1	RH	DW
TP-408	Photos	1/11/2024	-	A1	RH	DW
TP-501	Ex. & Demo. Sections	1/11/2024	A	A1	RH	DG
TP-502	Proposed Sections	1/11/2024	A	A1	RH	DG
TP-901	3D	1/11/2024	D	A1	RH	DW
TP-902	3D	1/11/2024	C	A1	RH	DW

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-	Draft Heritage Victoria Permit - Issues for comment	14/08/2024
A	Heritage Victoria Permit Set	22/08/2024
B	Issue to Lincoln Pearce	06/09/2024
C	Reissue to Heritage Vic	04/10/2024
D	Heritage Victoria Permit - Updated addition scope	1/11/2024

111 MOLLISON STREET  
BENDIGO AUSTRALIA 3550  
+61 3 5443 0055  
EPLUS@EPLUSARCHITECTURE.COM.AU  
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project name **Heathcote Civic Precinct**  
project address **125 High Street, Heathcote 3523 VIC**  
client name **City of Greater Bendigo**

drawing title **Cover Page**

drawn	checked	date	scale @ A1	job no.	drawing no.	revision
DW	RH	1/11/2024	As indicated	<b>21130</b>	<b>TP-001</b>	<b>D</b>



**Existing Site Plan**

scale 1:200

**Town Planning**

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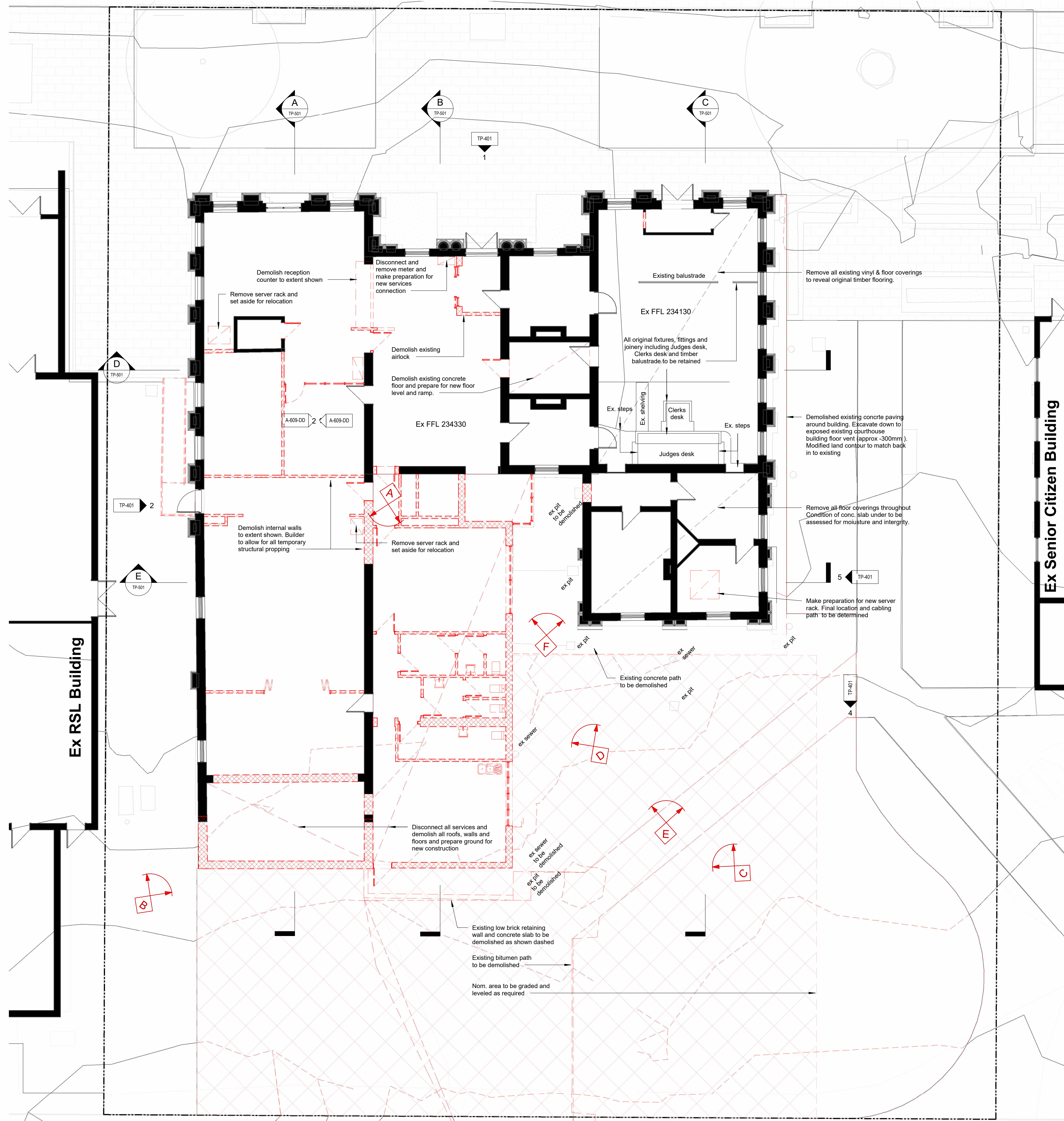
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drawing title **Existing Site Plan**

drawn	DW	scale @ A1	1:200
checked	RH	job no.	<b>21130</b>
date	1/11/2024	drawing no.	<b>TP-101</b>
		revision	<b>D</b>



### Demolition general notes

- All items to be demolished shown dashed
- 1. Dimensions relating to extent of demolition are indicative only & the contractor must verify locations of all existing & proposed services, walls, floors etc. prior to commencement of any work & to report discrepancies to the architect for resolution.
  - 2. All materials and work practices shall comply with, but not limited to, the Building Regulations 2018, the National Construction Code Series 2019 & all relevant current Australian standards. These specifications specify only the minimum standard of work for the demolition works, & all workmanship & precautions shall be to best trade practice. Precautions must be taken before and during demolition in accordance with AS 2601-2001: The Demolition of Structures.
  - 3. During the progress of the demolition the works shall be under the continuous supervision of the Demolisher and demolition shall be executed by commencing at the roof & working downward. The demolition must not be commenced until the precautionary measures have been inspected & approved by the Relevant Building Surveyor.
  - 4. All practicable precautions shall be taken to avoid danger from collapse of a building when any part of a framed or partly framed building is removed or where nearby earthworks are undertaken.
  - 5. Demolish walls, structures & any other associated components shown dashed red and make good all adjacent surfaces as required. Demolish all walls to full height unless otherwise noted. Contractor to set up temporary propping/bracing prior to carrying out demolition of all existing load bearing walls/structures as required by engineer's details.
  - 6. Junctions between demolished areas & surrounding floors, walls & ceilings to be neatly cut with a true face left on materials to be retained. Make good all surfaces affected by the demolition work to match adjacent existing surfaces.
  - 7. Remove all doors and windows shown dotted, including frames and architraves. Make good all adjacent surfaces as required. All created wall openings are to be boarded/sealed to ensure no access is possible.
  - 8. Demolish all joinery and associated plumbing and electrical fittings and fixtures as indicated. Remove all fixtures on walls.
  - 9. Demolish internal floor coverings and underlay to all areas. Remove any loose residual material or adhesive so as to achieve a level and sound base for new flooring.
  - 10. Cut, remove & seal any existing electrical wiring, conduits & fittings, mechanical, water, sewer & gas service pipes & fixtures as required. Carry out in accordance with the relevant authorities approval & instructions.
  - 11. Demolish all staircases & ramps shown red-dashed and make good all adjacent surfaces affected by the demolition work as required. Contractor to set up temporary propping prior to carrying out demolition as required by engineer's details. Any created floor voids or fall hazards to be boarded/sealed/barricaded as required for safety.
  - 12. Assess retained roof structures & make good or replace with new in acc. with Structural Engineer's details. Protect & retain in situ all original roof vents TYP.
  - 13. Protective outriggers, fences, awnings, hoarding, barricades and the like must be installed where necessary to guard against danger to life or property or when required by the Relevant Building Surveyor.
  - 14. Salvage materials to be retained if possible & client to have first option of salvaged materials. Discuss with Client prior to removal on site. Remove and dispose all demolished materials and rubbish from the site unless specified or directed otherwise.
  - 15. Dust creating material, unless thoroughly dampened down, shall not be thrown or dropped from the building but shall be lowered by hoisting apparatus or removed by material chutes.
  - 16. Where possible, protect & retain on-site for possible re-use any removed bricks & external pavers during demolition works.

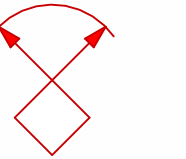
### Services Demolition:

Refer to Services Documentation for scope of works relating to demolition of services

### Asbestos General Notes:

- 1. Prior to commencing works, builder is to engage a specialist consultant to identify asbestos, & other hazardous material on the site. The consultant is to produce a written report detailing any hazardous materials identified in compliance with applicable laws and regulations. Upon receipt of this report, the builder is to submit a cost for the removal and proper disposal of any hazardous materials to the Architect for approval, prior to commencing works.
- 2. In the case that asbestos may be uncovered on site during demolition the contractor is to cease work immediately and advise the superintendent upon discovery of undocumented asbestos.
- 3. Removal to be in strict accordance with the National Code of Practice for the safe removal of asbestos

Photo point symbol.  
Refer Drawing TP-201 for photo point location  
Refer Drawing TP-403 for photo detail



### Existing & Demo Floor Plan

scale 1:100

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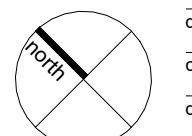
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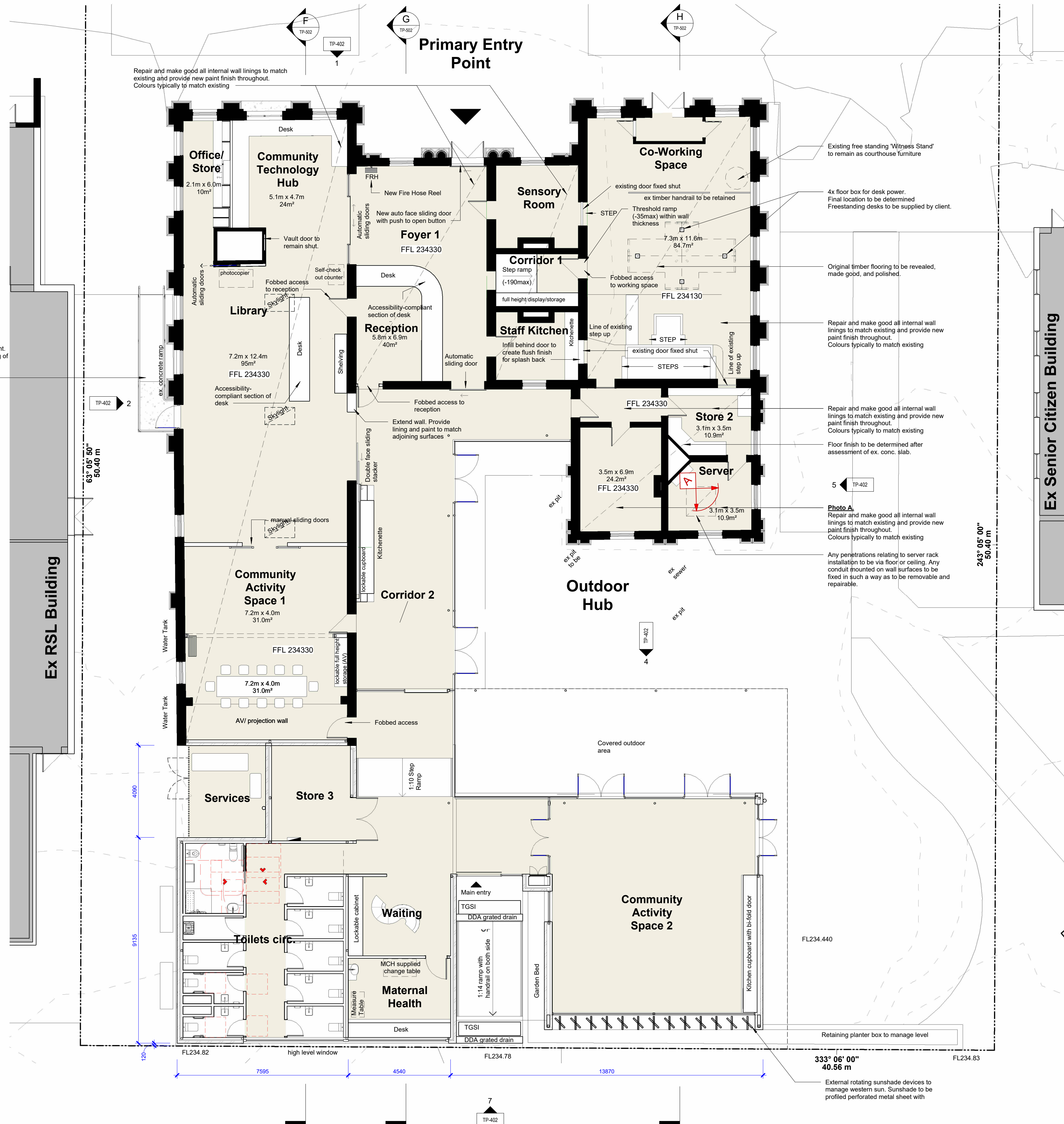
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BENDIGO AUSTRALIA 3550  
+61 3 5443 0055  
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project name **Heathcote Civic Precinct**  
project address **125 High Street, Heathcote 3523 VIC**  
client name **City of Greater Bendigo**

drawing title		Existing and Demolition Floor Plan	
drawn	DW	scale @ A1	1:100
checked	RH	job no.	21130
date	1/11/2024	drawing no.	TP-201
		revision	D





A. Repair and make good all internal wall linings to match existing and provide new paint finish throughout building.  
 A. Colours typically to match existing

**Proposed Floor Plan**  
 scale 1: 100

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 BENDIGO AUSTRALIA 3550  
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**Town Planning**

drawing title **Proposed Floor Plan**

drawn	DW	scale @ A1	1: 100
checked	RH	job no.	<b>21130</b>
date	1/11/2024	drawing no.	<b>TP-202</b>
		revision	<b>E</b>

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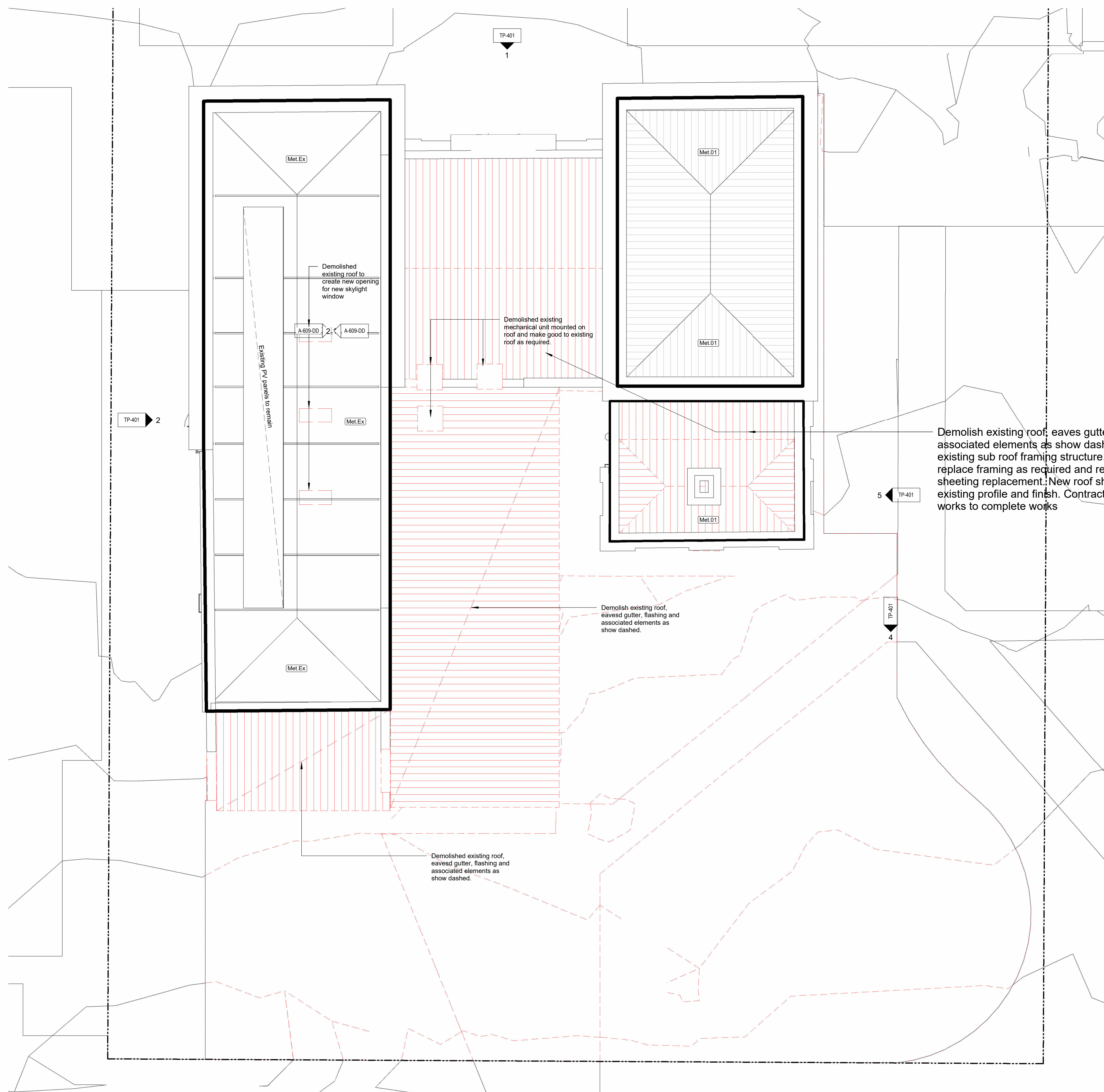
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3. Removal to be in strict accordance with the National Code of Practice for the safe removal of asbestos.

### External Finishes Legend

Graphic	Code	Description
	Met.Ex	Existing metal roof cladding
	Met.01	Metal roof cladding Refer schedules for material specification
	Met.02	Metal roof cladding Refer schedules for material specification
	Br.Ex	Existing brick face finish
	Mas.Ex	Existing rendered masonry finish
	Br.01	Selected new brick finish Refer schedules for material specification
	Fcs.01	Selected fibre cement sheet Refer schedules for material specification

# Town Planning



Demolish existing roof, eaves gutter, flashing and associated elements as show dashed, retain existing sub roof framing structure. Make good / replace framing as required and ready for new roof sheeting replacement. New roof sheeting to match existing profile and finish. Contractor to allow for all works to complete works

## Existing & Demo Roof Plan

scale 1:100

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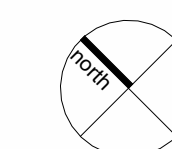
7  
TP-401

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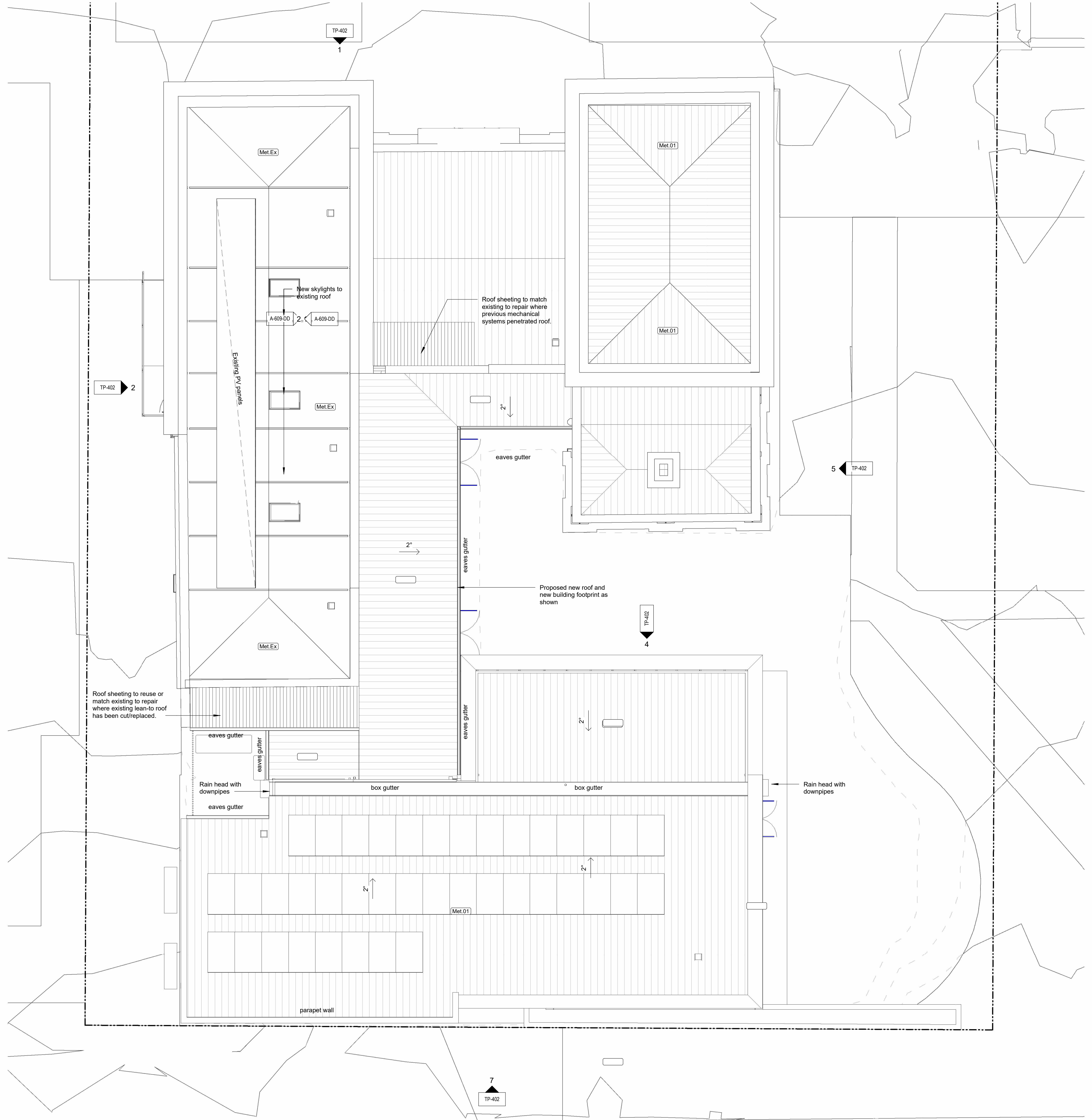
project name **Heathcote Civic Precinct**  
project address **125 High Street, Heathcote 3523 VIC**  
client name **City of Greater Bendigo**

drawing title **Existing and Demolition Roof Plan**  
drawing no. **TP-203**  
scale @ A1  
DW scale @ A1  
checked RH  
date 1/11/2024  
job no. **21130**  
drawing no.  
revision **D**



**External Finishes Legend**

Graphic	Code	Description
	(Met.Ex)	Existing metal roof cladding
	(Met.O1)	Metal roof cladding Refer schedules for material specification
	(Met.O2)	Metal roof cladding Refer schedules for material specification
	(Bri.Ex)	Existing brick face finish
	(Mas.Ex)	Existing rendered masonry finish
	(Bri.O1)	Selected new brick finish Refer schedules for material specification
	(Fcs.O1)	Selected fibre cement sheet Refer schedules for material specification



**Proposed Roof Plan**

scale 1:100

**Town Planning**

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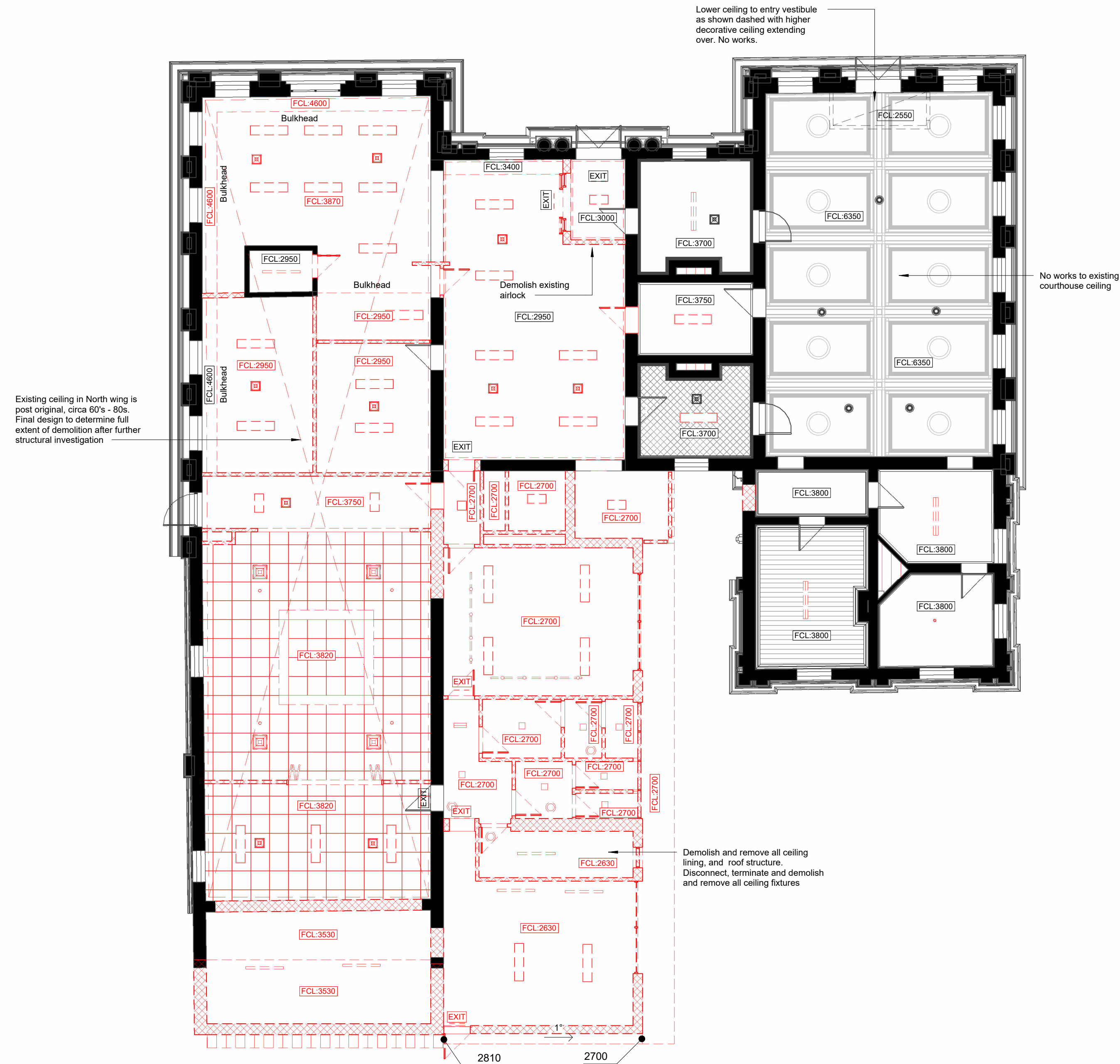
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drawing title **Proposed Roof Plan**

drawn	DW	scale @ A1	1:100
checked	RH	job no.	<b>21130</b>
date	1/11/2024	drawing no.	<b>TP-204</b>
		revision	<b>D</b>



**1 Ex. & Demo. Reflected Ceiling Plan**  
scale 1 : 100

**Ceiling Legend**

- FCL 2700 Existing ceiling to be retained  
Ceiling height as shown
- FCL 2700 Existing ceiling to be demolished  
Ceiling height as shown

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A	Raisise to Heritage Vic Heritage Victoria Permit - Updated addition scope	04/10/2024 1/11/2024

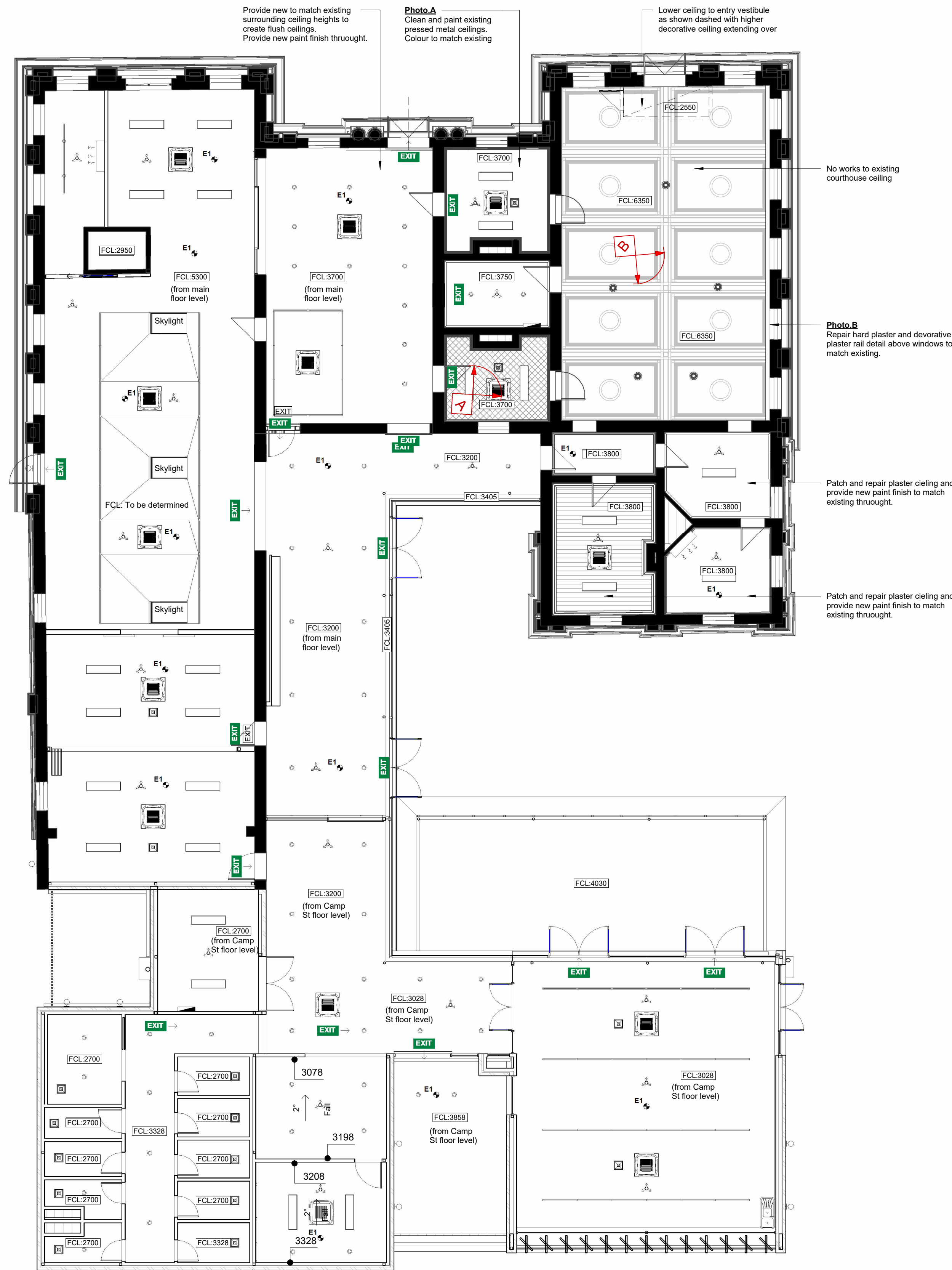
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**Town Planning**

drawing title		scale @ A1		1 : 100	
<b>Ex. &amp; Demo. Reflected Ceiling Plan</b>		drawn	DG	checked	RH
date	1/11/2024	job no.	21130	drawing no.	TP-301
		revision	A		



A. Clean and paint existing pressed metal ceilings throughout building. Colour to match existing



B. Repair hard plaster and decorative plaster rail detail above windows to match existing.

### Ceiling Legend

- Existing ceiling to be retained  
Ceiling height as shown
- New ceiling  
Ceiling height as shown

Photo point symbol.  
Refer Drawing TP-302 for photo point location  
Refer Drawing TP-302 for photo detail



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rev no. revision note date  
A Raising to Heritage Vic 04/10/2024  
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BENDIGO AUSTRALIA 3550  
+61 3 5443 0055  
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# Town Planning

drawing title **Proposed Reflected Ceiling Plan**

drawn	DG	scale @ A1	1 : 100
checked	RH	job no.	<b>21130</b>
date	1/11/2024	drawing no.	<b>TP-302</b>
		revision	<b>A</b>



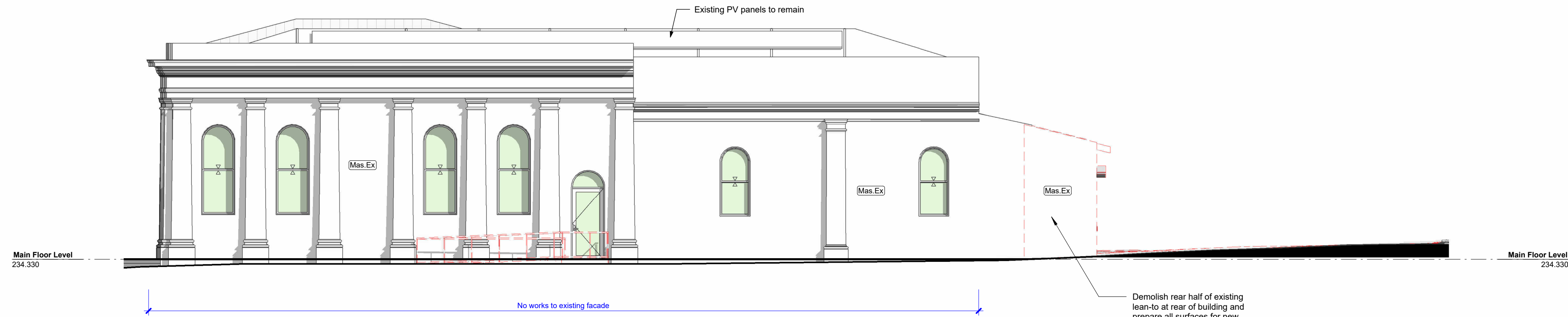


**1 Existing and Demolition North East Elevation - Street View**

TP-201 scale 1:100

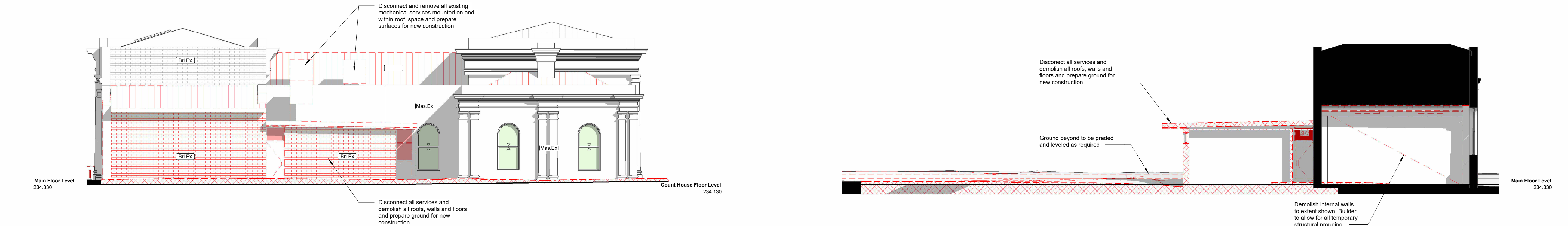
**External Finishes Legend**

Graphic	Code	Description
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	Met.01	Metal roof cladding Refer schedules for material specification
	Met.02	Metal roof cladding Refer schedules for material specification
	Bri.Ex	Existing brick face finish
	Mas.Ex	Existing rendered masonry finish
	Bri.01	Selected new brick finish Refer schedules for material specification
	Fcs.01	Selected fibre cement sheet Refer schedules for material specification



**2 Existing and Demolition North West Elevation**

TP-201 scale 1:100

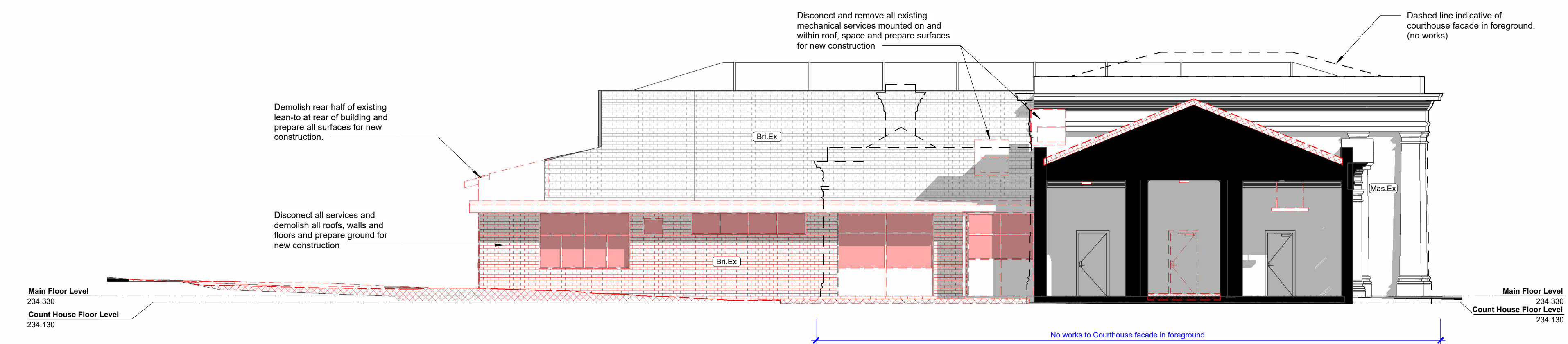


**7 Existing and Demolition South West Elevation**

A-600-00 scale 1:100

**4 Existing and Demolition South Extension Elevation**

A-600-00 scale 1:100



**5 Existing and Demolition South East Elevation**

A-600-00 scale 1:100

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client name **City of Greater Bendigo**

drawing title		Existing and Demolition Elevations	
drawn	DW	scale @ A1	1:100
checked	RH	job no.	21130
date	1/11/2024	drawing no.	TP-401
		revision	D



1 North East Elevation - Street View

scale 1:100



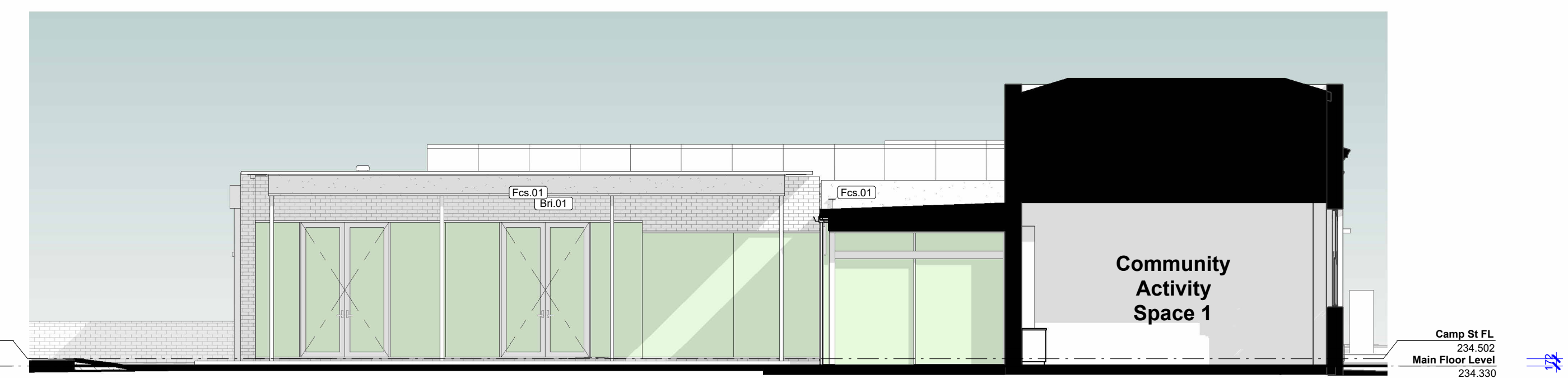
2 North West Elevation

scale 1:100



7 South West Elevation

scale 1:100



4 South Extension Elevation

scale 1:100



5 South East Elevation

scale 1:100

### External Finishes Legend

Graphic	Code	Description
	Met.Ex	Existing metal roof cladding
	Met.01	Metal roof cladding Refer schedules for material specification
	Met.02	Metal roof cladding Refer schedules for material specification
	Bri.Ex	Existing brick face finish
	Mas.Ex	Existing rendered masonry finish
	Bri.01	Selected new brick finish Refer schedules for material specification
	Fcs.01	Selected fibre cement sheet Refer schedules for material specification

1. This Drawing shall be read in conjunction with all other drawings and specifications.  
 2. Before commencement of any works, on site confirmation of dimensions shown is the responsibility of the individual contractor.  
 3. DO NOT SCALE THESE DRAWINGS. Where dimensions are not shown and are deemed to be necessary, reference must be made to the Architect.  
 4. This drawing is Copyright and may not be used or reproduced in whole or in part without the express written permission of the Architect.

rev no.	revision note	date
-	Draft Heritage Victoria Permit - Issues for comment	14/08/2024
A	Heritage Victoria Permit Set	22/08/2024
B	Issue to Lincoln Pearce	06/09/2024
C	Reissue to Heritage Vic	04/10/2024
D	Heritage Victoria Permit - Updated addition scope	1/11/2024

111 MOLLISON STREET  
 BENDIGO AUSTRALIA 3550  
 +61 3 5443 0055  
 EPLUS@EPLUSARCHITECTURE.COM.AU  
 EPLUSARCHITECTURE.COM.AU



project name **Heathcote Civic Precinct**  
 project address **125 High Street, Heathcote 3523 VIC**  
 client name **City of Greater Bendigo**

drawing title **Proposed Elevations**

drawn	DW	scale @ A1	1:100
checked	RH	job no.	<b>21130</b>
date	1/11/2024	drawing no.	<b>TP-402</b>
		revision	<b>D</b>

# Town Planning