



ARCHITECT NAME:
PETER BARTON PTY. LTD.

CLIENT NAME:
MEDA CONSULTANCY PTY. LTD.

SITE ADDRESS:
LOT S7 STOCKADE AVENUE COBURB

DATE:	ISSUE:	SET REVISION:
OCT 2024	TOWN PLANNING APPLICATION	
JAN 2025	TOWN PLANNING APPLICATION - RFI	A

TP-01	EXISTING CONDITIONS PHOTOS
TP-02	SITE CONTEXT
TP-03	DEMOLITION GROUND FLOOR PLAN
TP-04	DEMOLITION ROOF PLAN
TP-05	DEMOLITION ELEVATIONS
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TP-07	PROPOSED GROUND FLOOR PLAN
TP-08	PROPOSED ROOF PLAN
TP-09	PROPOSED ELEVATIONS
TP-10	PROPOSED ELEVATIONS
TP-11	SITE ANALYSIS
TP-12	DESIGN RESPONSE

MUNICIPALITY: CITY OF MERRI-BEK

CONSULTANTS:

THIS SHEET
CURRENT
ISSUE AS AT:

16th JAN
2025


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PHOTO 1 - WEST ELEVATION



PHOTO 2 - EAST ELEVATION



PHOTO 3 - REAR SOUTH ELEVATION WITH COURTYARD

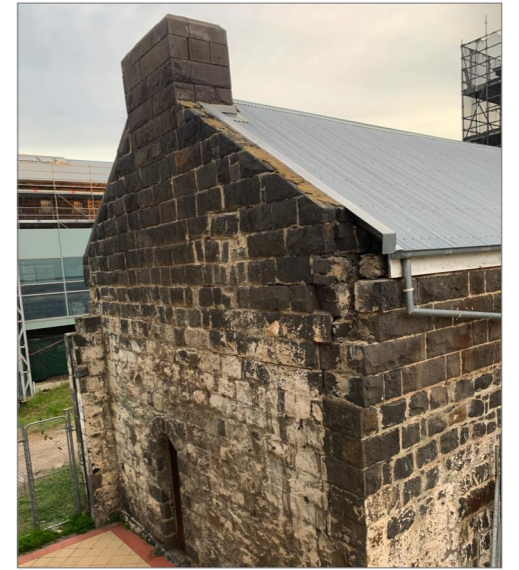


PHOTO 4 - SOUTH REAR ELEVATION



PHOTO 5 - SUBJECT SITE WITH CONTEXT



PHOTO 6 - SUBJECT SITE LOOKING TO NORTH



PHOTO 7 - NORTH ELEVATION

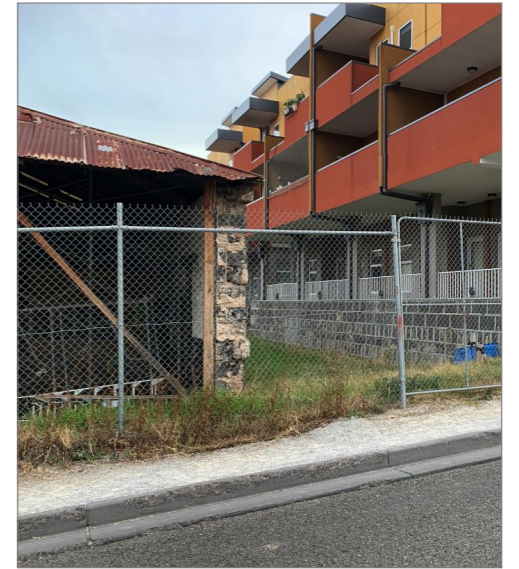
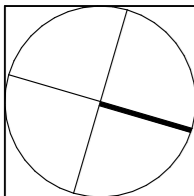


PHOTO 8 - NORTH ELEVATION

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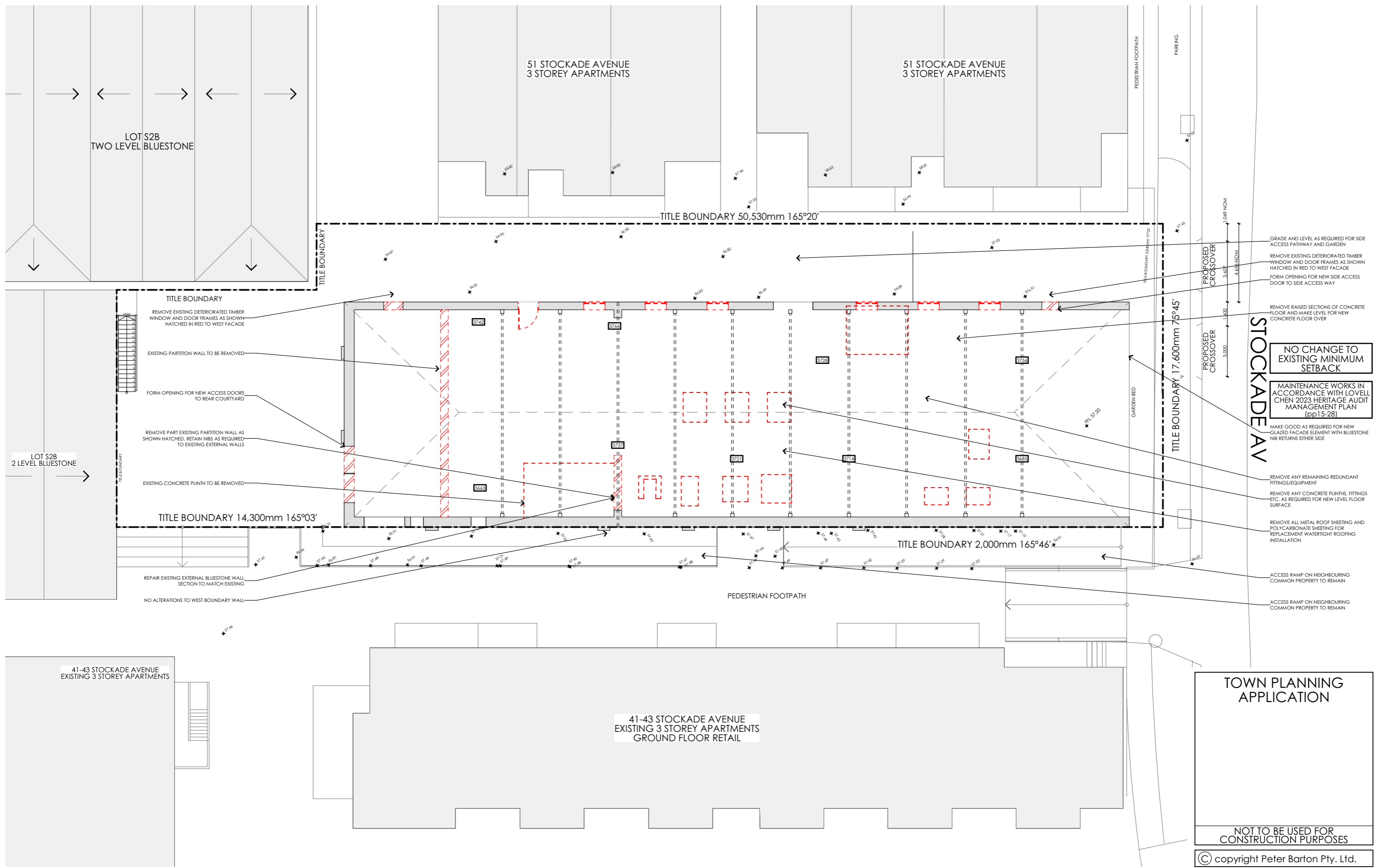
SHEET TITLE: EXISTING CONDITIONS PHOTOS

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PROJECT: 23-26	
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TP-01	A

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GRADE AND LEVEL AS REQUIRED FOR SIDE ACCESS PATHWAY AND GARDEN
 REMOVE EXISTING DETERIORATED TIMBER WINDOW AND DOOR FRAMES AS SHOWN HATCHED IN RED TO WEST FACADE
 FORM OPENING FOR NEW SIDE ACCESS DOOR TO SIDE ACCESS WAY

REMOVE RAISED SECTIONS OF CONCRETE FLOOR AND MAKE LEVEL FOR NEW CONCRETE FLOOR OVER

NO CHANGE TO EXISTING MINIMUM SETBACK
 MAINTENANCE WORKS IN ACCORDANCE WITH LOVELL CHEN 2023 HERITAGE AUDIT MANAGEMENT PLAN (pp15-28)

MAKE GOOD AS REQUIRED FOR NEW GLAZED FACADE ELEMENT WITH BLUESTONE NIB RETURNS EITHER SIDE

REMOVE ANY REMAINING REDUNDANT FITTINGS/EQUIPMENT

REMOVE ANY CONCRETE PLINTHS, FITTINGS ETC. AS REQUIRED FOR NEW LEVEL FLOOR SURFACE

REMOVE ALL METAL ROOF SHEETING AND POLYCARBONATE SHEETING FOR REPLACEMENT WATER TIGHT ROOFING INSTALLATION

ACCESS RAMP ON NEIGHBOURING COMMON PROPERTY TO REMAIN

ACCESS RAMP ON NEIGHBOURING COMMON PROPERTY TO REMAIN

STOCKADE AV

PROPOSED CROSSOVER
 3.000
 1.482
 4.638 NOM

PROPOSED CROSSOVER
 3.651
 1.048 NOM

PROPOSED CROSSOVER
 3.651
 1.048 NOM

PROPOSED CROSSOVER
 3.651
 1.048 NOM

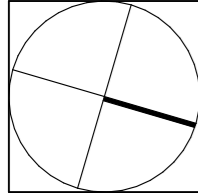
PROPOSED CROSSOVER
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 1.048 NOM

PROPOSED CROSSOVER
 3.651
 1.048 NOM

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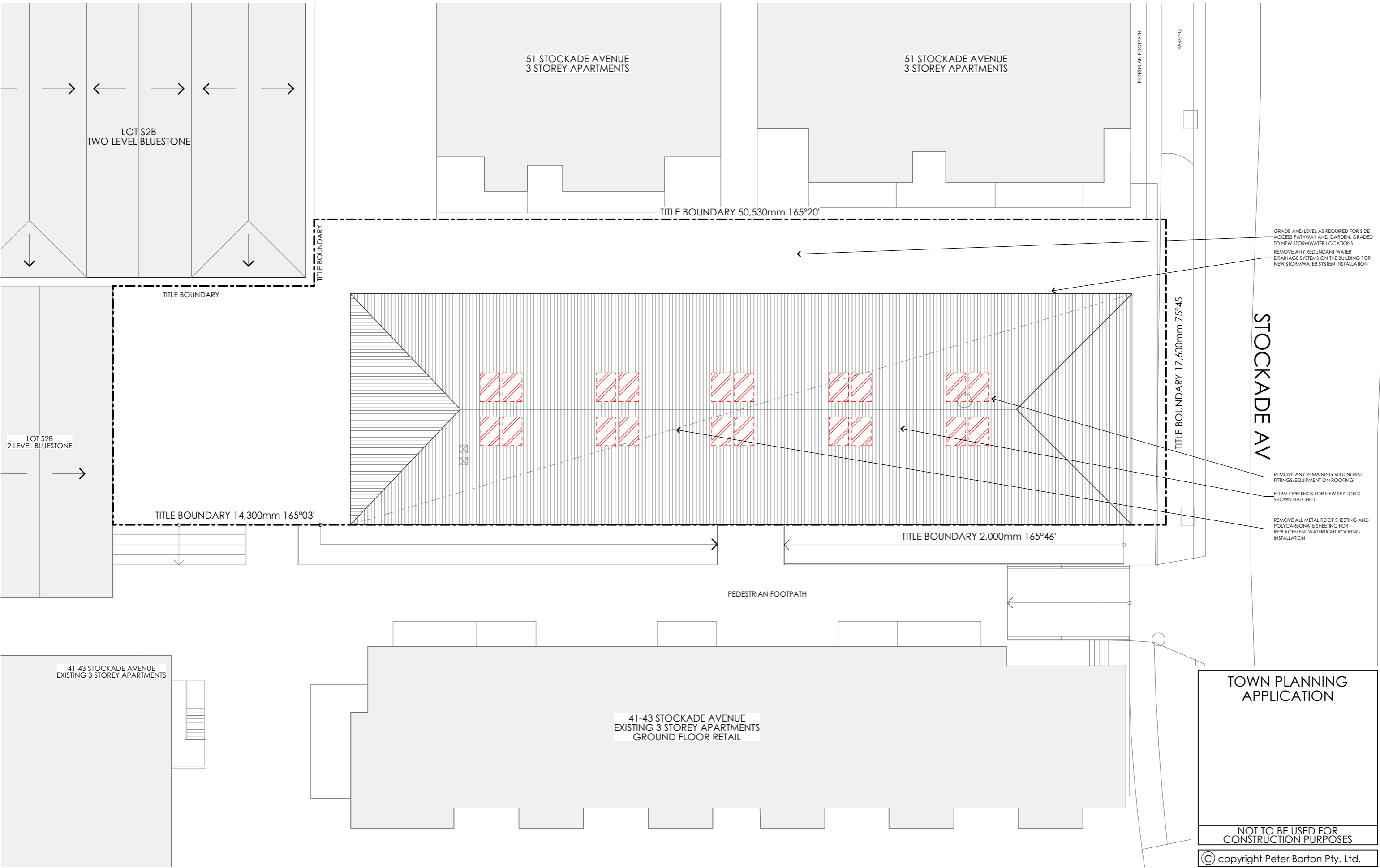
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SHEET TITLE:
DEMOLITION GROUND FLOOR PLAN
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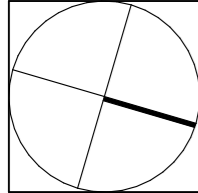
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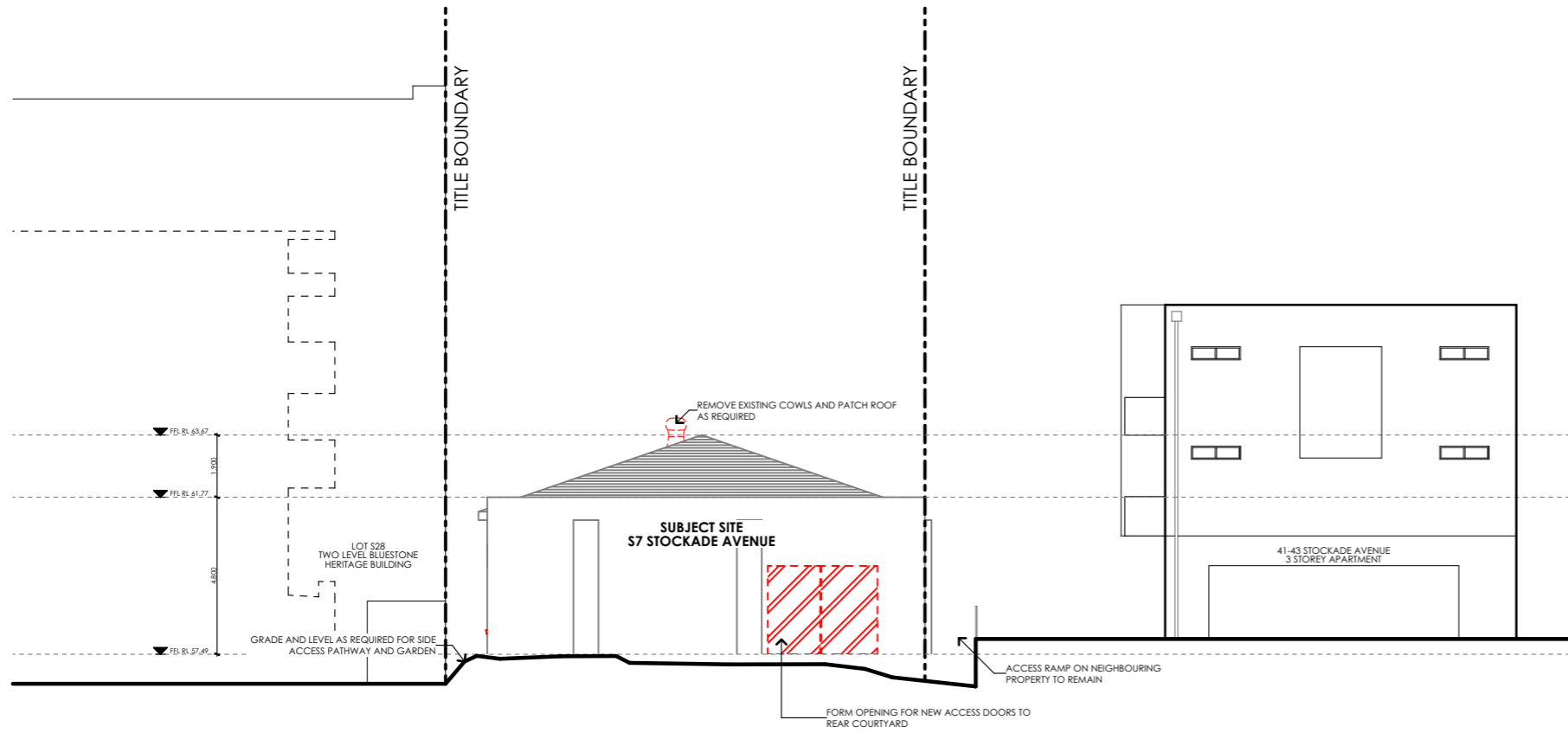
SHEET TITLE: **DEMOLITION ROOF PLAN**

TOWN PLANNING DRAWINGS

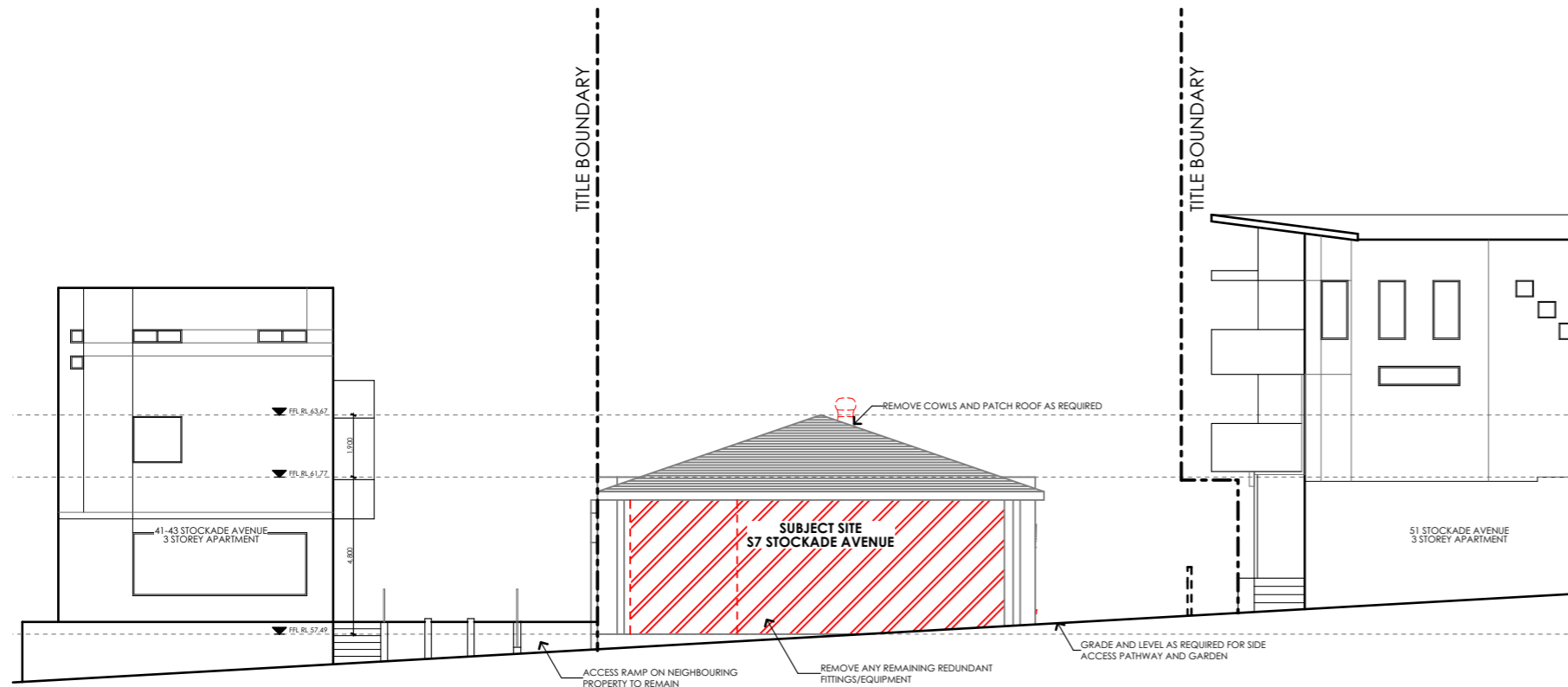
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EXISTING SOUTH ELEVATION SCALE 1:200

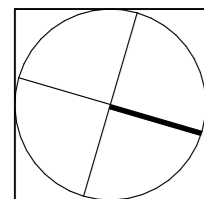


EXISTING NORTH ELEVATION SCALE 1:200

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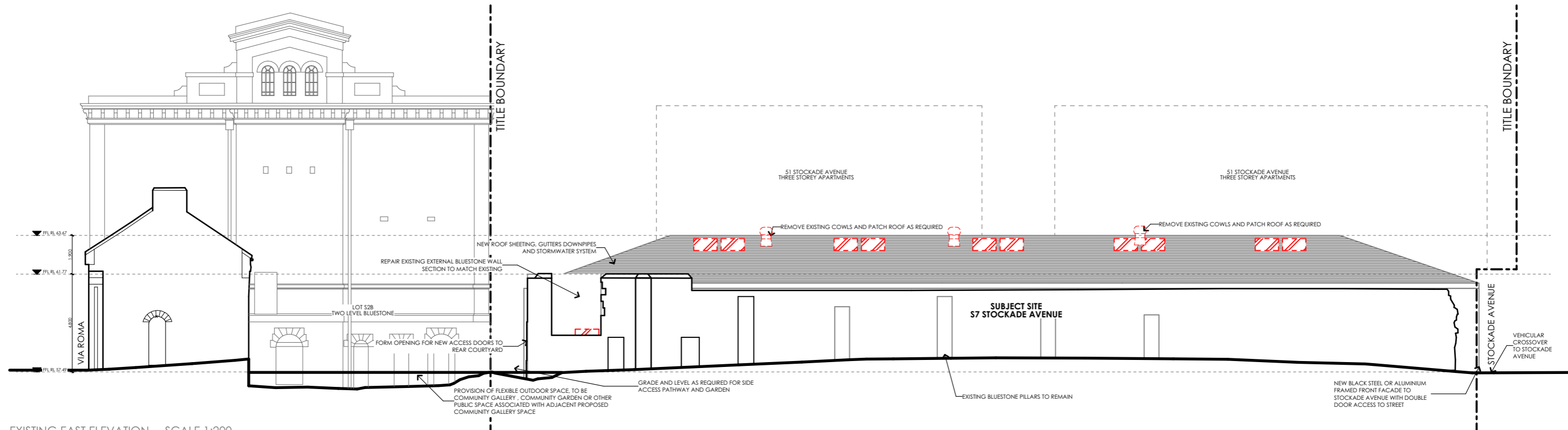
DEMOLITION ELEVATIONS

TOWN PLANNING DRAWINGS

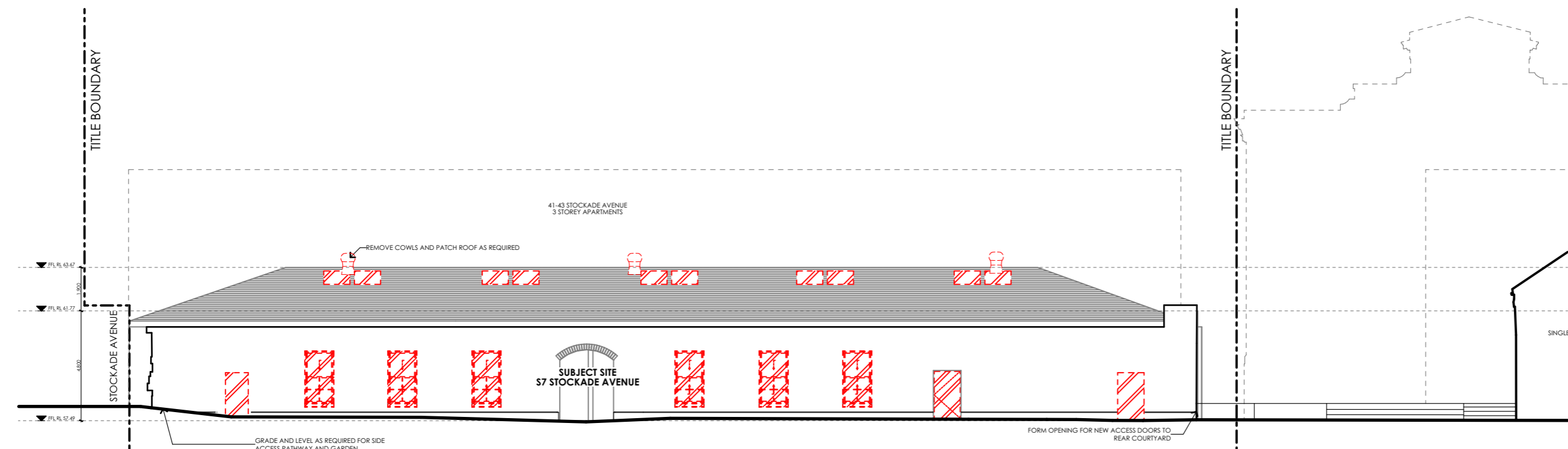
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EXISTING EAST ELEVATION SCALE 1:200

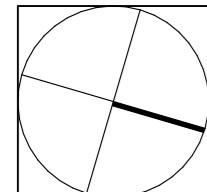


EXISTING WEST ELEVATION SCALE 1:200

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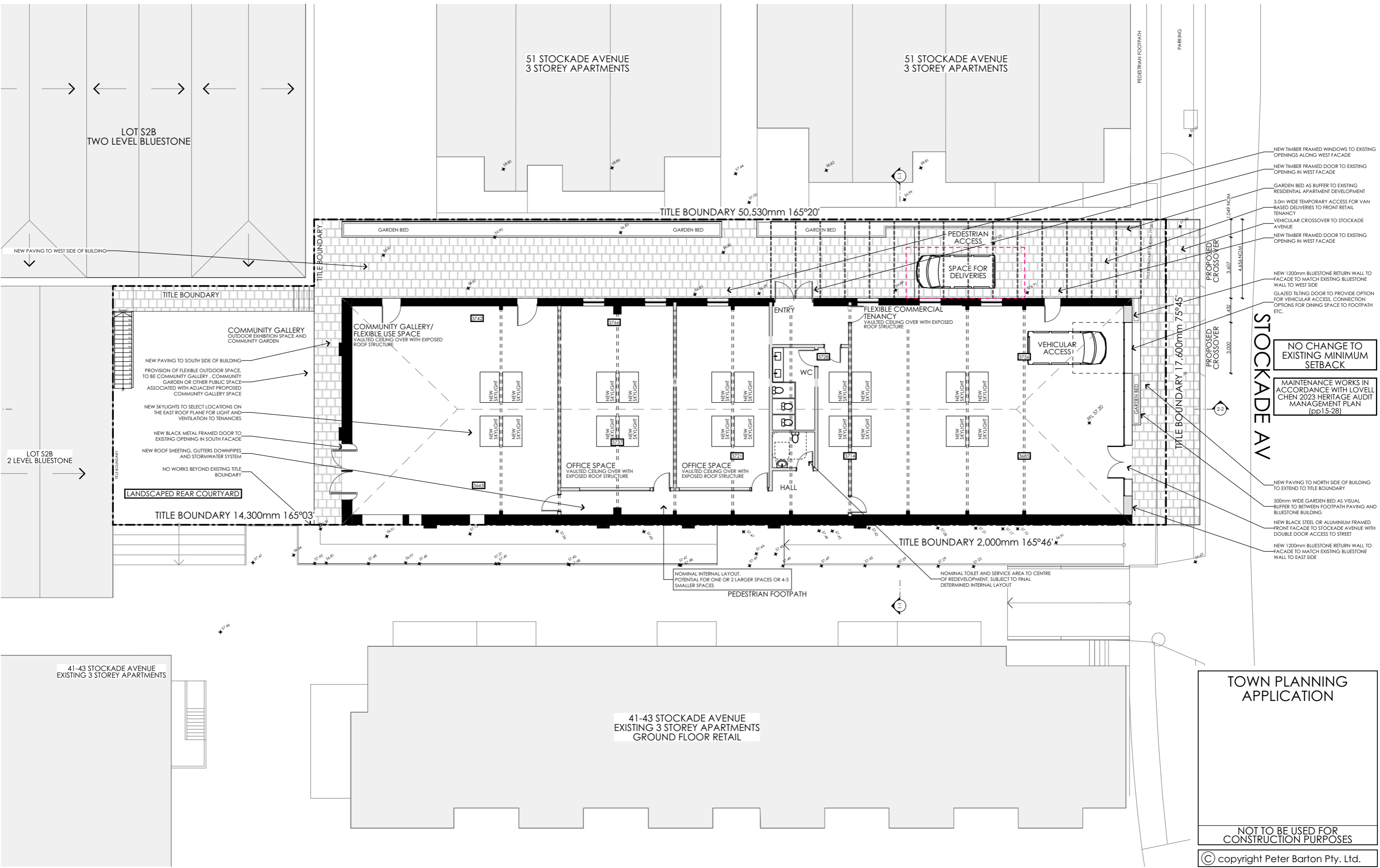
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- NEW TIMBER FRAMED WINDOWS TO EXISTING OPENINGS ALONG WEST FACADE
- NEW TIMBER FRAMED DOOR TO EXISTING OPENING IN WEST FACADE
- GARDEN BED AS BUFFER TO EXISTING RESIDENTIAL APARTMENT DEVELOPMENT
- 3.0m WIDE TEMPORARY ACCESS FOR VAN BASED DELIVERIES TO FRONT RETAIL TENANCY
- VEHICULAR CROSSOVER TO STOCKADE AVENUE
- NEW TIMBER FRAMED DOOR TO EXISTING OPENING IN WEST FACADE
- NEW 1200mm BLUESTONE RETURN WALL TO FACADE TO MATCH EXISTING BLUESTONE WALL TO WEST SIDE
- GLAZED TILTING DOOR TO PROVIDE OPTION FOR VEHICULAR ACCESS. CONNECTION OPTIONS FOR DINING SPACE TO FOOTPATH ETC.

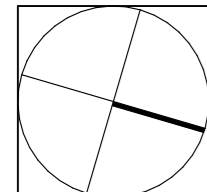
NO CHANGE TO EXISTING MINIMUM SETBACK

MAINTENANCE WORKS IN ACCORDANCE WITH LOVELL CHEN 2023 HERITAGE AUDIT MANAGEMENT PLAN (pp15-28)

- NEW PAVING TO NORTH SIDE OF BUILDING TO EXTEND TO TITLE BOUNDARY
- 500mm WIDE GARDEN BED AS VISUAL BUFFER TO BETWEEN FOOTPATH PAVING AND BLUESTONE BUILDING
- NEW BLACK STEEL OR ALUMINIUM FRAMED FRONT FACADE TO STOCKADE AVENUE WITH DOUBLE DOOR ACCESS TO STREET
- NEW 1200mm BLUESTONE RETURN WALL TO FACADE TO MATCH EXISTING BLUESTONE WALL TO EAST SIDE

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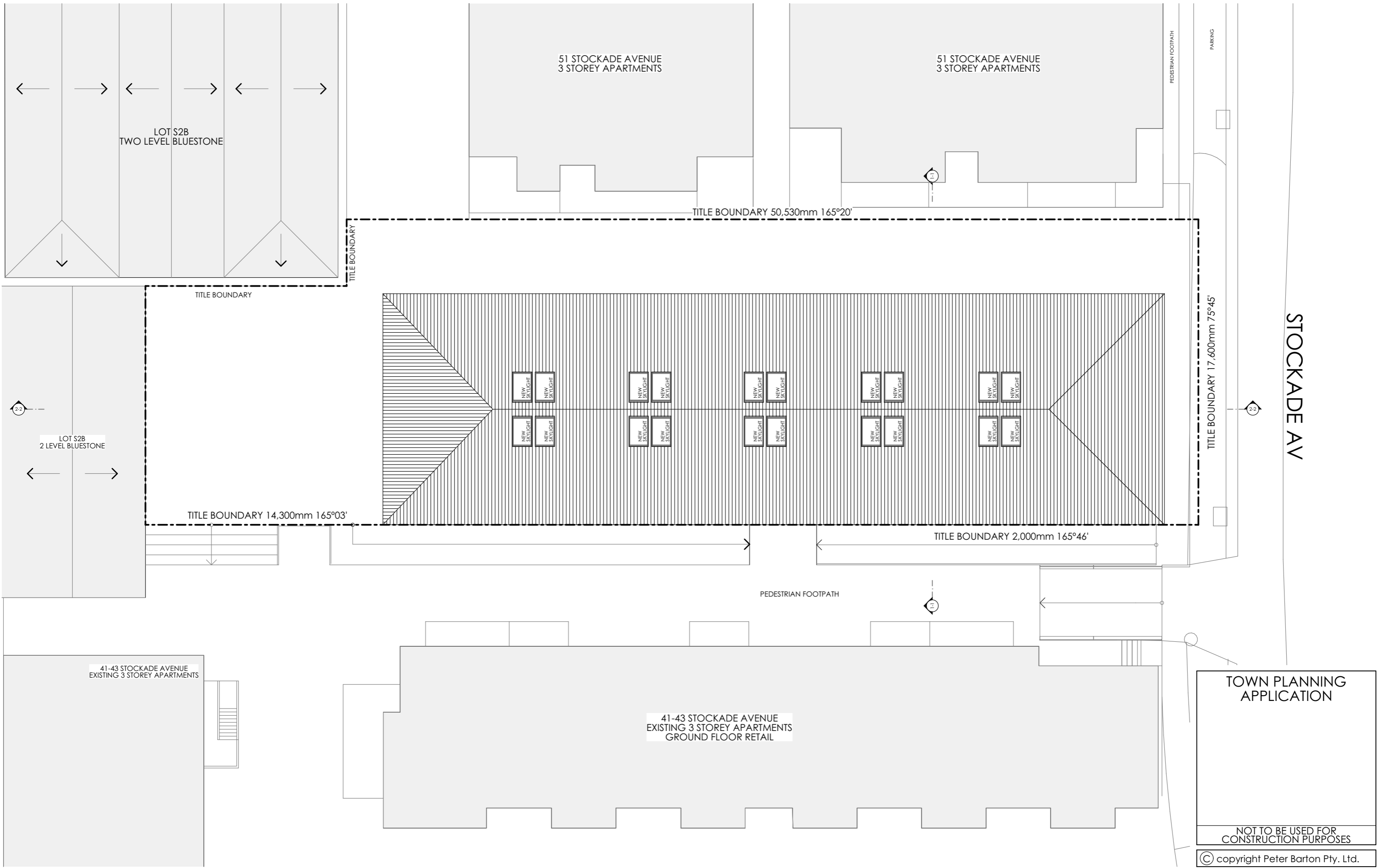
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SHEET TITLE: **PROPOSED GROUND FLOOR PLAN**
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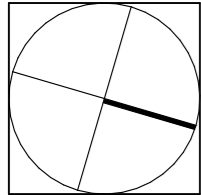
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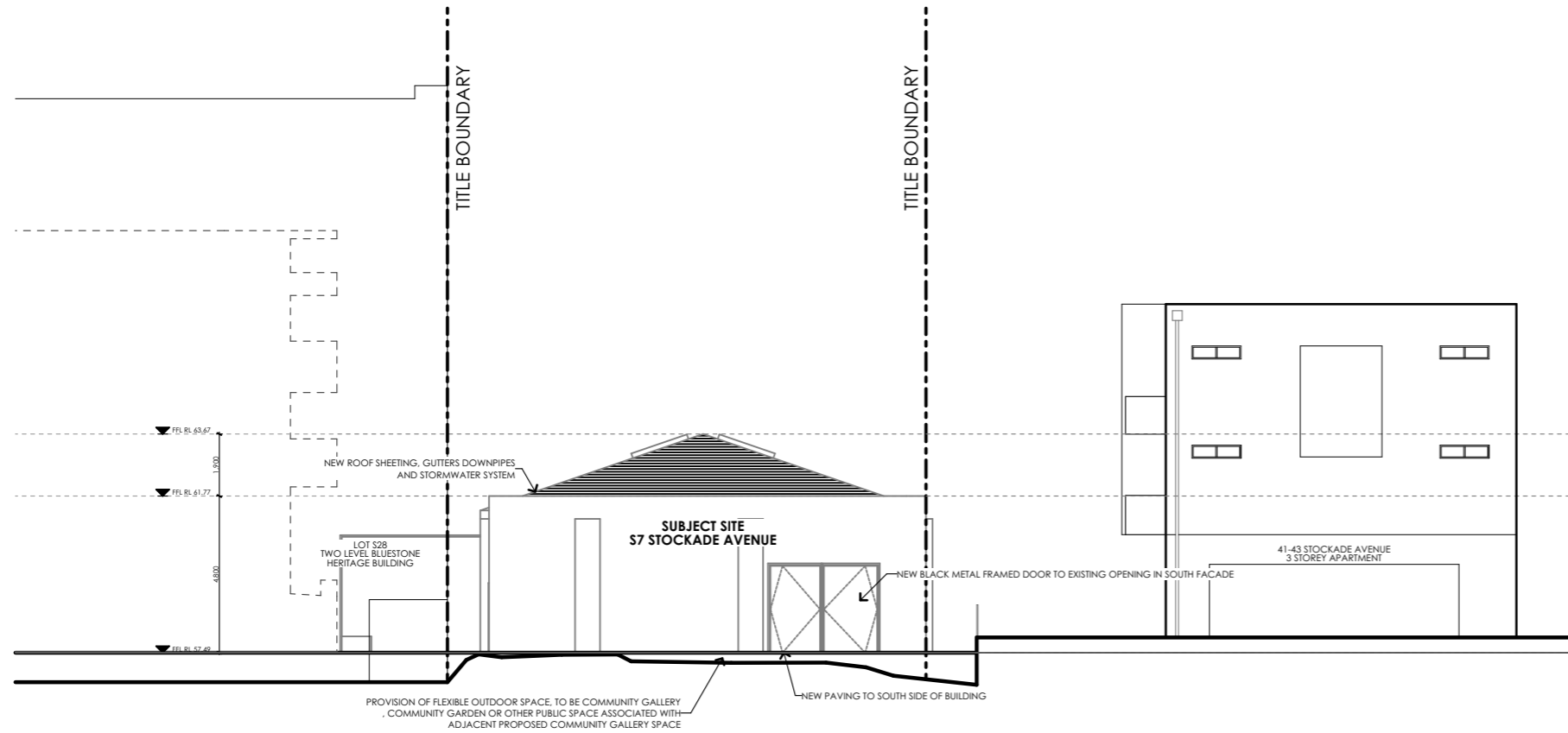
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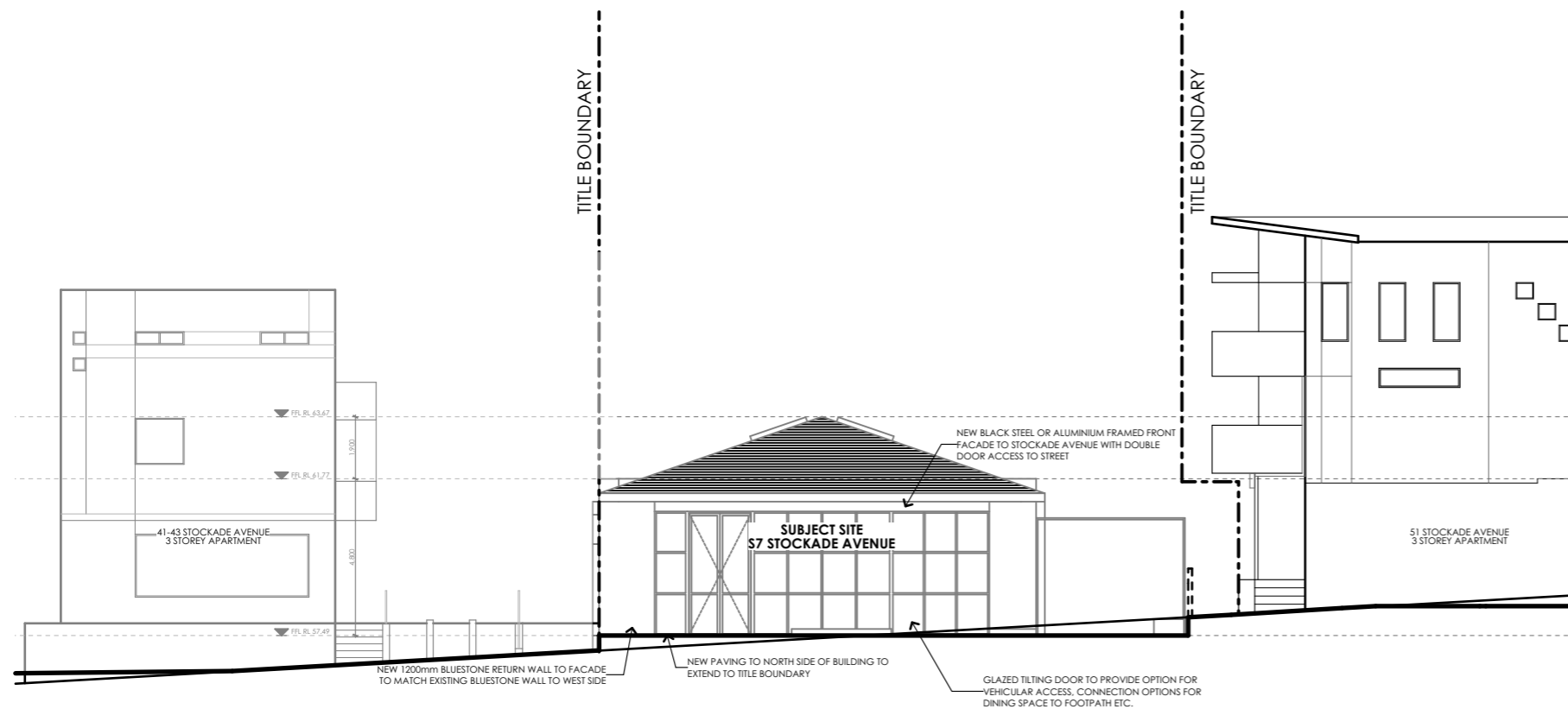
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PROPOSED SOUTH ELEVATION

SCALE 1:200



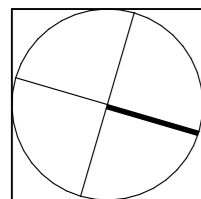
PROPOSED NORTH ELEVATION

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PROPOSED ELEVATIONS

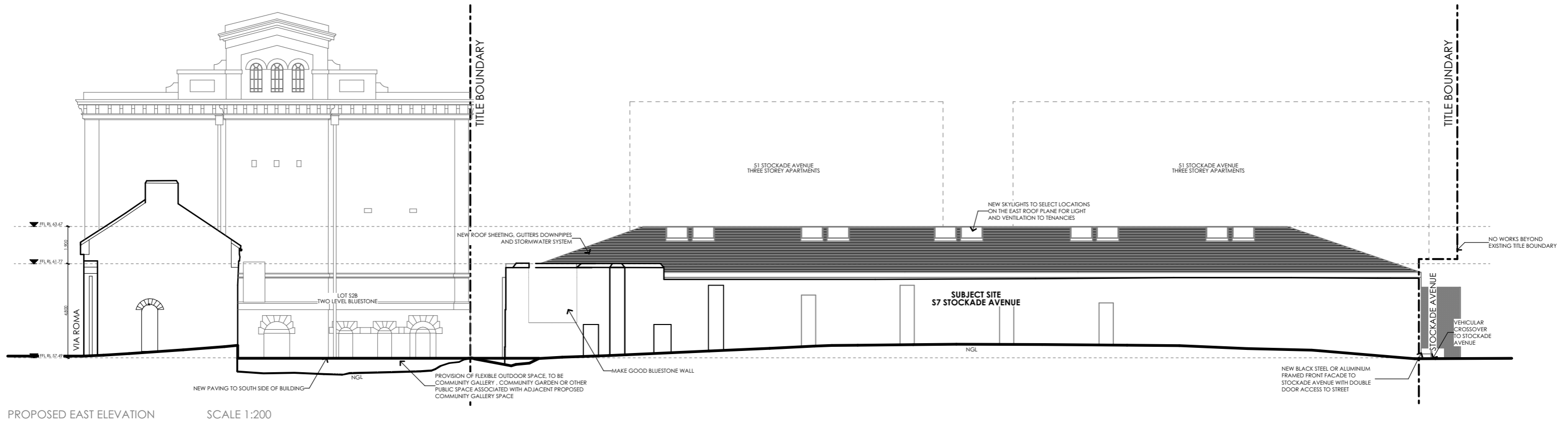
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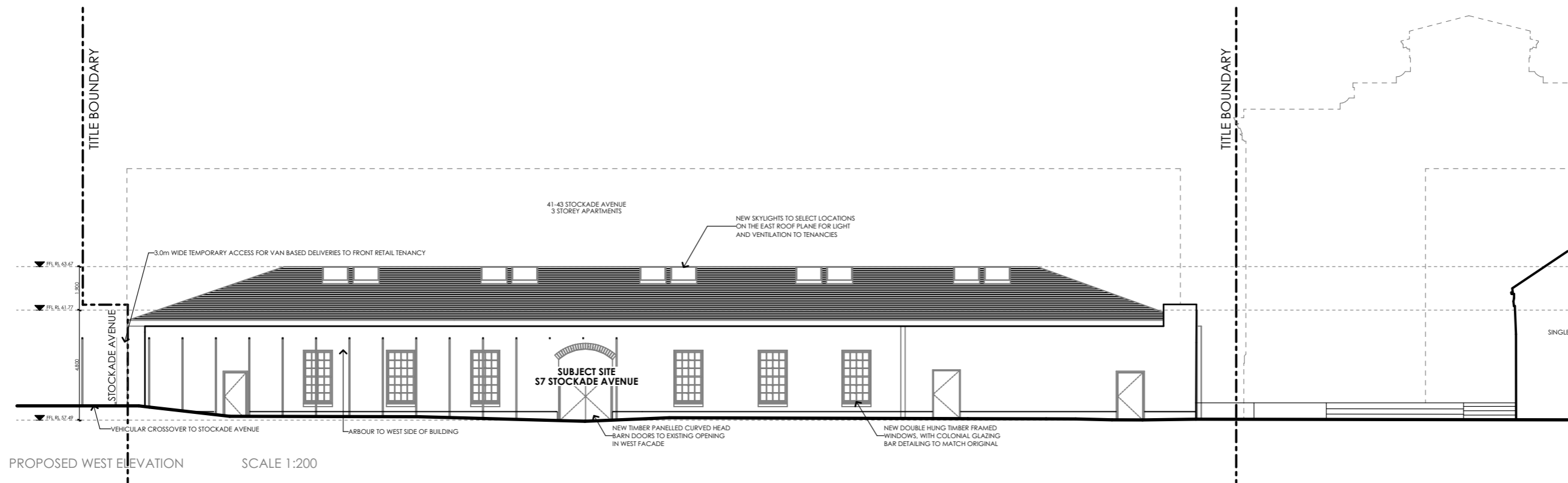
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PROPOSED EAST ELEVATION SCALE 1:200

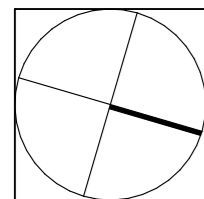


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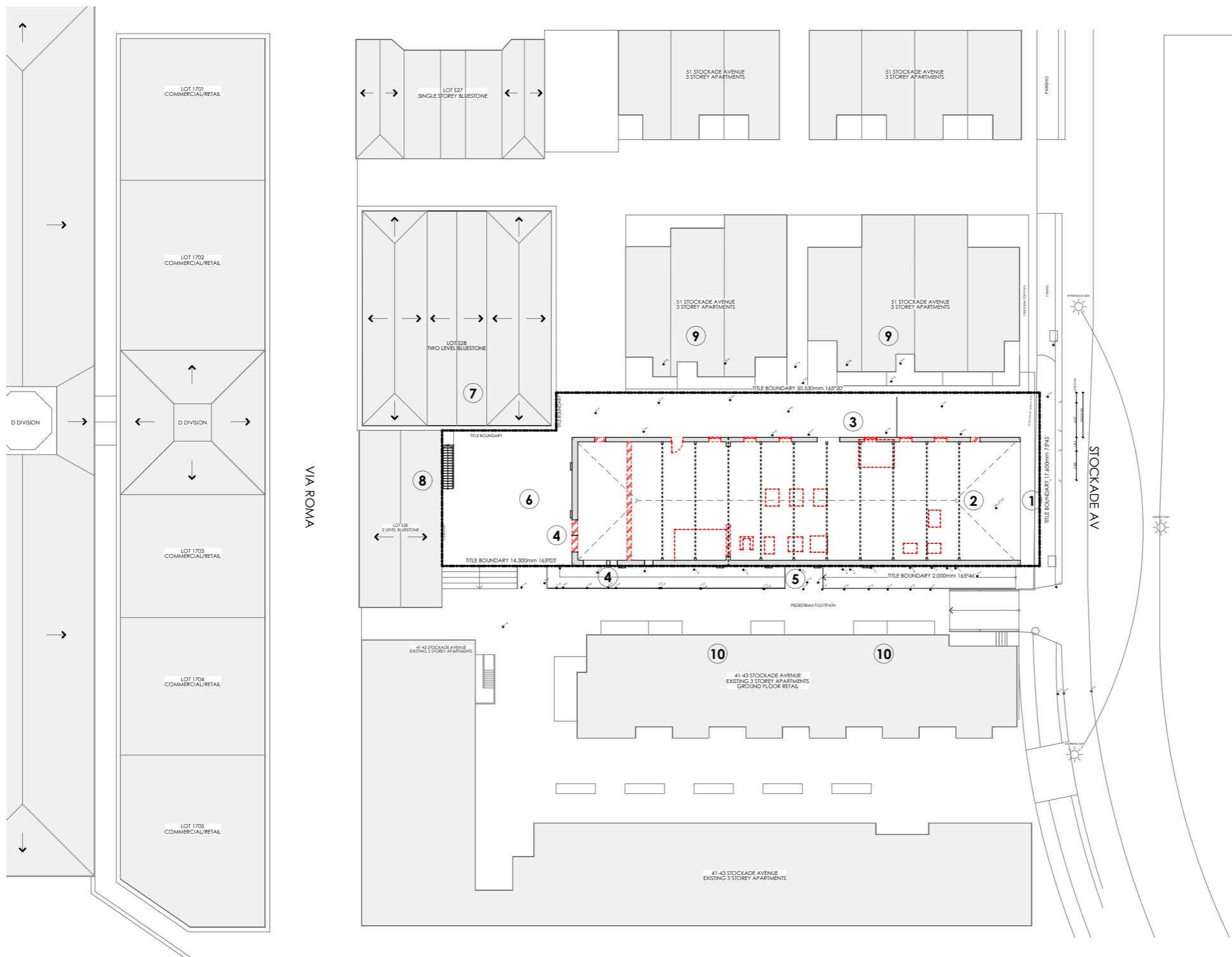
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SITE ANALYSIS

- 1 THE FRONT FACADE HAS BEEN REMOVED PREVIOUSLY AND IS CURRENTLY NON-EXISTENT
- 2 THE EXISTING ROOF IS DAMAGED AND DETERIORATED AND ALLOWING WATER DAMAGE TO THE EXISTING STRUCTURE
- 3 THE EXISTING GUTTERS HAVE BEEN PREVIOUSLY REMOVED AND THERE IS NO STORMWATER SYSTEM
- 4 SECTIONS OF EXISTING BLUESTONE WALL ARE CRUMBLING AND IN DISREPAIR
- 5 EAST WALL IMMEDIATELY ABUTTING SITE BOUNDARY AND SHARED COMMON WALKWAY
- 6 OPPORTUNITY TO PROVIDE COMMUNITY CONNECTION THROUGH REAR COURTYARD UTILISING PREFERRED PEDESTRIAN CONNECTION THROUGHFARES
- 7 LOT 528 - DOUBLE STOREY BLUESTONE HERITAGE BUILDING FORMER WOMENS PRISON & FORMER CHILDREN'S DORMITORY
- 8 LOT 501 - SINGLE STOREY BLUESTONE HERITAGE BUILDING FORMER PRISON KITCHEN
- 9 51 STOCKADE AVENUE - EXISTING 3 STOREY TOWNHOUSES
- 10 41-43 STOCKADE AVENUE - EXISTING 3 STOREY APARTMENT BUILDING WITH GROUND FLOOR RETAIL

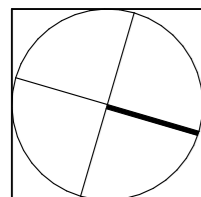
EXISTING AREA CALCULATIONS:

TOTAL SITE AREA:	100%	1,098m²
EXISTING STRUCTURE:	58%	637m ²
EXISTING OUTBUILDINGS:	0%	0m ²
TOTAL EXIST. SITE COVERAGE:	58%	637m²

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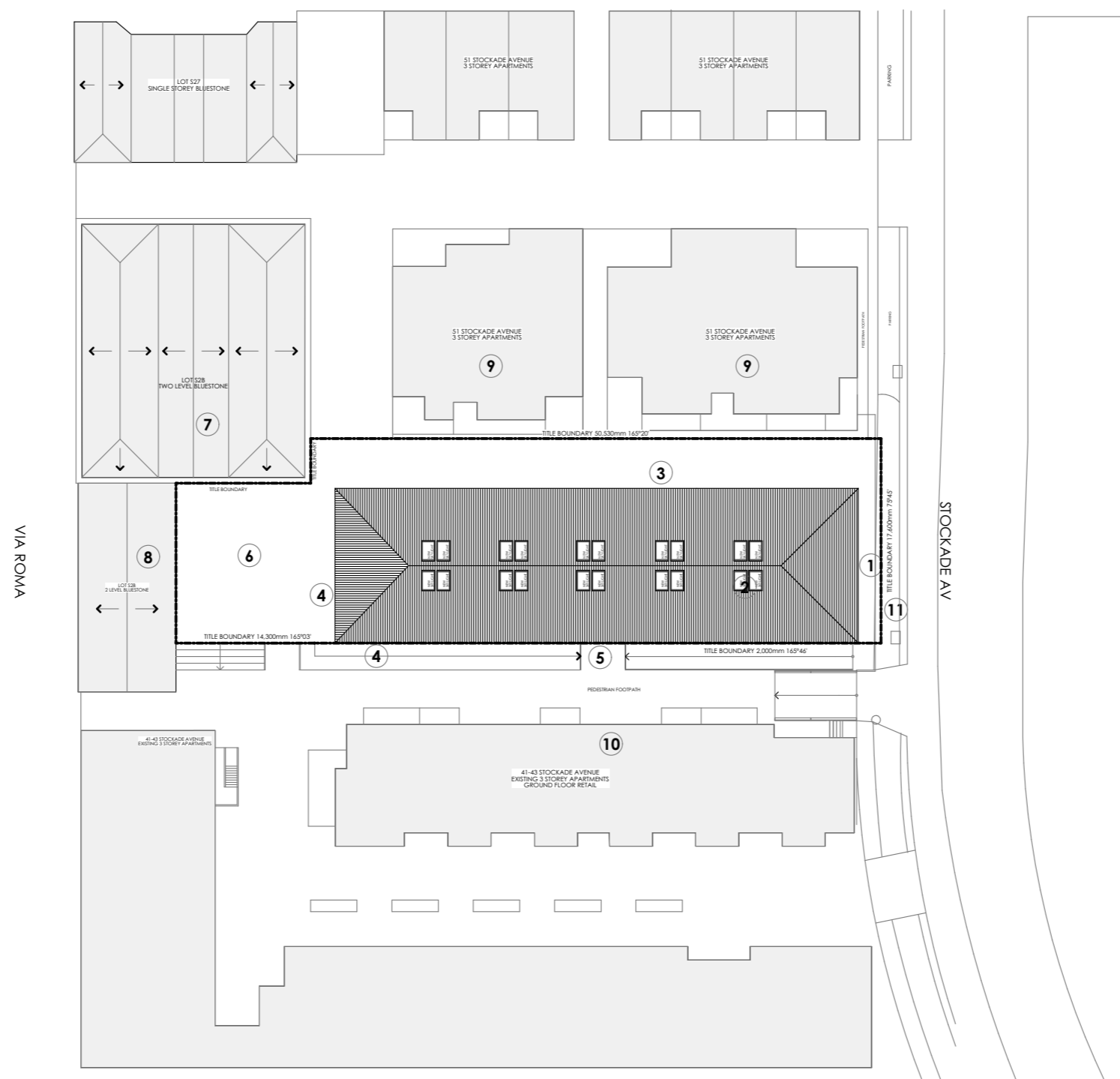
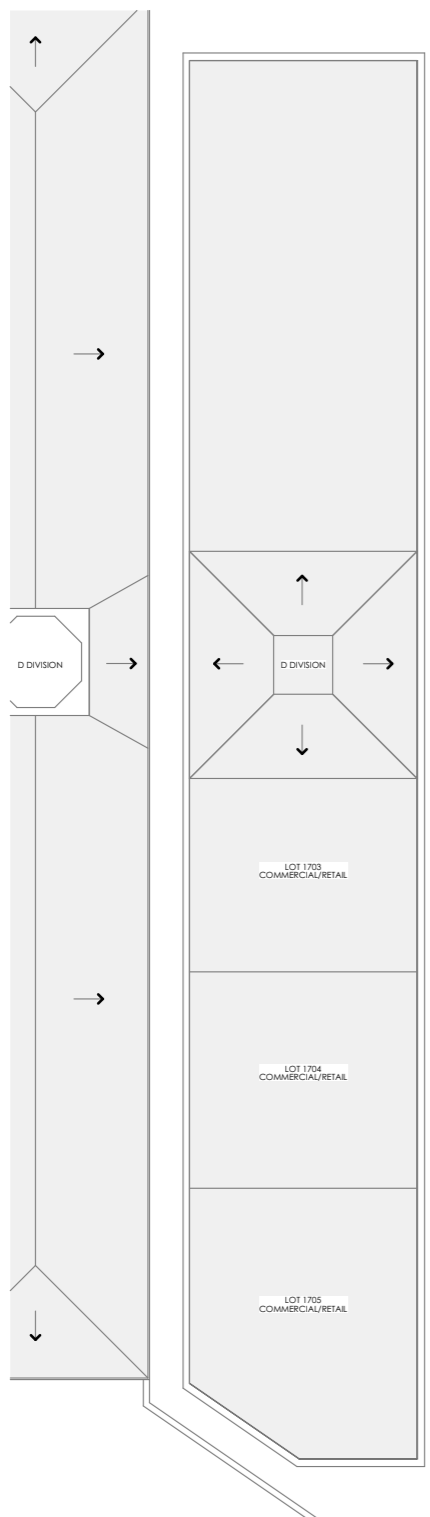
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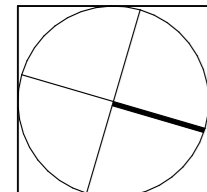
- DESIGN RESPONSE**
- 1 PROPOSED GLAZED FRONT FACADE TO BE DESIGNED TO MINIMISE IMPACT ON THE HERITAGE PLACE
 - 2 REPLACEMENT OF ENTIRE ROOF SHEETING AND THE INTRODUCTION OF NEW SKYLIGHTS FOR NATURAL LIGHT ADMITTANCE TO THE CENTRE OF THE BUILDING
 - 3 INSTALLATION OF NEW GUTTERS DOWNPIPES AND RAINWATER GOODS
 - 4 REPAIRS TO RESTORE EXISTING BLUESTONE WALLS WHERE DAMAGED
 - 5 EAST WALL IMMEDIATELY ABUTTING SITE BOUNDARY AND SHARED COMMON WALKWAY
 - 6 OPPORTUNITY TO PROVIDE COMMUNITY CONNECTION THROUGH REAR COURTYARD UTILISING PREFERRED PEDESTRIAN CONNECTION THOROUGHFARES
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 - 10 41-43 STOCKADE AVENUE - EXISTING 3 STOREY APARTMENT BUILDING WITH GROUND FLOOR RETAIL
 - 11 THE FRONT FACADE HAS BEEN REMOVED PREVIOUSLY AND IS CURRENTLY NON-EXISTANT

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