

GENERAL NOTES

- The Builder shall verify all dimensions and levels on site prior to commencement of work.
- The Builder is responsible for locating all existing services before any demolition or building works commence, consult relevant authority and consulting engineer's drawings for details.
- The builder is responsible to check and verify all title boundaries, dimensions and levels on site before commencement of any works.
- Figured dimensions take precedence over scaled dimensions, do not scale from these drawings.
- The smoke and spread of flame indices for all non exempt materials used in the Building are to be provided in accordance with specification C1.10 of the Building Code of Australia.
- All doors leading to exits and in exits are to be fitted with door furniture mounted between 900mm and 1100mm above floor level and be capable of being opened without the use of a key from the direction which a person would seek egress, by a single-handed downward action on a single device.
- All glass shall comply with AS 1288 and AS 2047 Selection and installation of Windows, glass shall comply with the relevant Section J Report. All full height glass panels in windows and doors shall have an approved vision strip installed not less than 900mm above floor level.
- All works shall be carried out in accordance with the Town Planning / Development Approval conditions, endorsed drawings and documents.
- All materials and workmanship shall comply with the relevant Australian Standard Codes and current National Construction Code.
- Builder to provide all necessary protection and hoarding to existing and adjoining properties and or buildings as is required to carry out the works. Confirm with the Local Authority Hoarding and Access requirements and consents.
- All wall thickness shown as dimensions are taken from face of structural framing. Interior and exterior wall linings and finishes are not included unless noted.
- Make good, repair or replace as required all existing surfaces disturbed by new works to match existing or as specified by Builder.
- Supply and install fire extinguishers and associated signage in accordance with the relevant Australian Standard and with the requirements of the Statutory Authority having jurisdiction.
- Levels shown on slab plan refers to structural floor level unless otherwise specified. Refer to finishes schedule for all floor finishes. Maintain finished levels across changes of floor finish. Install floor finish dividers as specified where changes of floor finishes occur. Architectural slab set-out plan shall be used to set-out building perimeter, slab set-downs and rebates. Locations of intermediate floor beams are indicative only and should be checked and co-ordinated with the structural engineer's drawings and documentation. Locations of penetrations for waste water services, electrical and the like are indicative only and shall be used as a guide and general reference purposes only and shall be co-ordinated with the relevant Services Engineers drawings.
- Allow for packing of walls as required to maintain a same plane wall sheeting. Contractor to allow for packing of stud walls to allow for fixing of sanitary fittings and fixtures, grab-rails, handrails, light fittings, joinery and the like.

- All DP's, sewer stacks, floor wastes etc. running internally in ducts/bulkheads to have acoustic pipe lagging (deci-mate 5-25 system or equal). Enclosures to have 2 x 13mm thick lining toward usable space and 90mm bulk insulation.
- All stair risers and treads shall comply with current NCC and Australian Standards, the Builder shall make allowance for floor finishes when setting out risers, no variations in riser height shall be permitted as specified by the Building Code of Australia or Australian Standard.
- All internal and external ramps shall have a maximum gradient of 1 in 14 with a maximum crossfall of 1 in 40, a minimum clear width of 1000mm.
- All handrails, balustrades, and grab-rails shall be installed to comply with the current building code of Australia and to AS1428.1 current version.
- Accessible sanitary facilities (disabled) and ambulant sanitary facilities shall be constructed in accordance with the plans, elevations and details, they shall comply with AS1428.1 current version, all fixtures and fittings shall be accessible compliant.
- All paving and site levels shown on architectural floor plans and site plans are for DDA compliance and approval- levels shall be co-coordinated between architectural and civil engineer's drawings. Report all errors, omissions, conflicts and discrepancies to Mt Martha Design + Drafting.
- Locations of all penetrations through concrete floor slab and shown on slab set-out plan shall be checked and confirmed on site by Drainage Contractor in consultation and co-ordination with any Service Engineer's drawings and details.
- All toilet and way finding signage shall comply the current NCC and current AS1428.1. Provide signage on all Ambulant Toilet cubicles, Accessible Toilets and the like.

BUILDING AND STANDARDS REFERENCE

All references contained within these standard notes and warnings which refer to the Building Code of Australia or the Australian Standards or to any Local Authority by-law shall mean the most recent amendment or version of such code or standard. It is the contractors responsibility to ensure that all trades and sub-contractors are aware of the NCC and Australian Standards relevant to their area.

DIMENSIONS EXISTING CONDITIONS

All dimensions shall be checked on site, dimensions shown are nominal and shall be used as a guide.

WATERPROOFING AND GRADED BATHROOM FLOOR

All bathroom / shower floor grades shall be in accordance with AS1428.1 - 2009 Section 15, Cause 15.5.2 floor and waste outlet which states the following;

- The floor of the shower recess and associated circulation space shall be self draining and without a step down, raised step, kerb or hob at the entry to the recess
- The waste outlet for the shower shall be provided in accordance with Fig 47 AS 1428.1-2009
- The slope of the floor of the shower recess shall have a gradient between 1 in 60 and 1 in 80 as shown in Fig 49 as 1428.1-2009
- The slope of floor of the remainder of the sanitary facility shall have a gradient between 1 in 80 and 1 in 100 as shown in Fig 49 as 1428.1-2009.
- Provide a waterstop to any perimeter opening to the wet area.
An accredited waterproof membrane must be installed to the entire wet area including a minimum of 25mm to walls above the finished floor surface.
- An accredited waterproof membrane must be installed at least 1500mm clear horizontal distance from the shower rose.

STANDARD GENERAL ABBREVIATIONS

AF	ACCESS FLOOR	LT	LIFTING TRACK
AP	ACCESS PANEL	LAM	PLASTIC LAMINATE
AL	ALUMINIUM FRAME	LVP	LOUVRE PANEL
AW	AWNING WINDOW	LS	LIGHT SWITCH
ADJ	ADJUSTABLE SHELVING	LVR	LOUVRES
B	BENCH	LVM	LOUVRES TO WINDOWS
BJT	BUTT JOINT	MT	MIXER TAP
BR	BRICKWORK	MR	MIRROR
BK	BLOCKWORK	MSSB	MAIN SITE SWITCHBOARD
CBD	CUPBOARD	MSB	MECHANICAL SWITCHBOARD
CHS	CIRCULAR HOLLOW SECTION	MW	MICROWAVE
CL	CEILING LEVEL	O/F	OVERFLOW
CFC	COMPRESSED CEMENT SHEET	OP	OFFSET PIVOT
COS	CHECK ON SITE	OS	OPENABLE SASH
CG	CORNER GUARD	OHC	OVERHEAD CUPBOARD
CH	COAT HOOK	OHS	OVERHEAD SHELVES
CP	CARPET (BROADLOOM)	OPW	OPERABLE WALL
CT	CARPET TILE	OV	OVEN
CS	CLEANERS SINK	PA	PUBLIC ADDRESS SYSTEM
CSD	CAVITY SLIDING DOOR	PC	PRECAST CONCRETE PANEL
COL	COLUMN STRUCTURAL	PJ	PRECAST JOINT
DP	DOWNPIPE	PV	PAVING
DJ	DUMMY JOINT	PIN	PINBOARD
DCL	DOOR CLOSER	PB	PLASTERBOARD
DL	DOWNLIGHT	PEN	PENDANT LIGHT FITTING
DRW	DRAWER	PTD	PAPER TOWEL DISPENSOR
DW	DISHWASHER	R	ROBE
DH	DOUBLE HUNG	RW	RAINWATER TANK
DFN	DRINKING FOUNTAIN	RM	ROOM
DM	DOOR MAT	RE	RESILIENT FLOOR FINISHES
EA	EQUAL ANGLE	RSD	ROLLER SHUTTER DOOR
EH	ELECTRICAL HEATER	RHS	RECTANGULAR HOLLOW SECTION
EJ	EXPANSION JOINT	REF	REFRIGERATOR
EMB	ELECTRICAL METER BOX	SEC	SECURITY PANEL
EQ	EQUAL	SCJ	SAW CUT JOINT
EX	EXISTING	SS	STAINLESS STEEL SINK
EXF	EXHAUST FAN UNIT	SHT	SHOWER SEAT
EMG	EMERGENCY LIGHT FITTING	SD	SLIDING DOOR
FG	FIXED GLAZING	SHF	SHELF
FA	FALL ARREST	SCN	SHOWER CURTAIN
FB	FLUSH BOLT	SHW	SHOWER
FE	FIRE EXTINGUISHER	SWB	SWITCHBOARD
FH	FIRE HYDRANT	SIGN	SIGNAGE
FP	FLUSH PULL	SL	SKYLIGHT
FSH	FIXED SHELVES	SW	SLIDING WINDOW
FHR	FIRE HOSE REEL	SD	SLIDING DOOR
FHT	FULL HEIGHT ROBE	SHS	SQUARE HOLLOW SECTION
FN	FENCING	ST	STONE TILE
FB	FABRIC	STC	STONE CLADDING
FT	FLOOR TILE	STF	STONE FLOORING
FW	FLOOR WASTE	SO	SOLID SURFACE
FS	FABRIC STRUCTURES	SP	SPLASHBACK
FIP	FIRE INDICATOR PANEL	SM	SMOKE DETECTOR
GAS	GAS METER	SPH	SPRINKLER HEAD
GU	GUARDRAIL	TM	TIMBER
GR	GRAB RAIL	TV	TELEVISION
GL	GROUND LINE	TPH	TOILET ROLL HOLDER
GPO	POWER POINT	TAC	TACTILE INDICATOR
GS	GAS PANEL HEATER	TC	TEXTURED COATING
GF	GLAZING FILM	TL	TOWEL RAIL
GZ	GLAZING	TP	TOILET PARTITIONS
GB	GLASS BLOCK	TR	TROUGH
GT	GUTTERS	TH	TOP HUNG
GCT	GAS COOKTOP	UBF	UNDER BENCH FRIDGE
HR	HANDRAIL	UB	UNIVERSAL BEAM
HRP	HYDRONIC HEATING PANEL	UR	URINAL
HT	HOSE TAP	VS	VISION STRIP
H	HINGE	VB	VILLABOARD
HB	HANDBASIN	WC	TOILET
HL	HEARING LOOP	WHB	WALL HUNG BASIN
HD	HAND DRYER	WHU	WALL HUNG URINAL
HPL	HOTPLATE	WB	WHITEBOARD
HN	HANDLE	WF	WALL FRAME
HWC	HOT WATER CYLINDER	WL	WALL LIGHT
HP	HARD PLASTER	WS	WORKSTATION
IWB	INTERACTIVE WHITEBOARD	WT	WALL TILE
IX	INSULATION THERMAL	WAP	WIRELESS DATA POINT
J	JOINT	ZIP	BOILING WATER UNIT
KP	KICKPLATE		

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STANDARD NOTES AND WARNINGS

GLASS USE WARNING

Any and all glass which is laminated and contains either a coloured film to interior face or other method of applied colourization to glass shall be used with caution, due to differential expansion within the laminated glass component, being the interior panel of glass and the exterior panel of glass expand and contract at differing rates causing failure of the glass panel in certain circumstances, and temperature ranges. Glaziers and window manufacturers are to ensure laminated glass is not used where harm from panels falling and or breaking can cause injury to persons and or property. Use of such panels without consent and or approval shall become the sole responsibility of the Glazier and or window manufacturer and or both.

VISUAL INDICATORS

All windows and glazed doors shall be provided with visual indicators in accordance with AS1428.1-current

FIRE EXTINGUISHERS

Supply and install Fire Extinguishers and associated Signage in accordance with the relevant Australian Standard and with the requirements of the Statutory Authority having jurisdiction.

WALL SUPPORT NOTE

Builder shall allow for blocking of walls with either 12mm marine ply sheeting fixed flush with face of wall studs or with 140x45 Timber Noggins nailed between studs, blocking is required for all Grab Rails and other wall fixtures such as Hand Dryers, Basins, Rails and the like, also for light fittings. Co-ordinate location with internal elevations. If unsure of locations or extent refer to Manufacturer for placement instructions.

ACCESS PANELS

For all electrical and mechanical equipment located within ceiling space, provide a minimum 450x450mm min access panel adjacent equipment, extent and locations to be confirmed on site by Builder.

EXPOSED STEELWORK

All steelwork which includes all columns and beams if any which are exposed to weather and located externally shall be hot dipped Galvanised. Any site alterations to steelwork which compromises Galvanised finish shall be on site cold Galv finished.

SLAB PENETRATIONS

Locations of all floor wastes and services penetrations shown on slab layout plan are to be used as a guide only. Final locations to be checked and confirmed on site by Drainage Contractor in consultation and co-ordination with Service Engineer's drawings and details.

SANITARY FACILITIES WALLS

Where walls are part of sanitary amenities or wet areas such as Cleaners room or Laundries and Bathrooms, they shall be lined with 12mm villaboard or 13mm water resistant plasterboard as noted and/or nominated in material and finishes schedule to all internal wall faces to these sanitary compartments, amenities and disabled toilets.

All amenity walls shall have minimum 90mm bulk insulation between studs to all perimeter walls as shown on floor plans and details including external walls, provide wall blocking as noted.

FIRE PROTECTION

Fire resistance and construction requirements NCC Part C. All new penetrations through floors for services, pipework ductwork and the like shall be protected by means of a fire collar or mastic as appropriate access and egress NCC Part D. Storage spaces under stairs used for egress shall have a rating of 60/60/60 walls and ceiling, doors to such storage areas must be -/60/30 self closing fire door (NCC D2.8)

MOUNTING BRACKETS

Mounting brackets for televisions and other equipment are to be located outside the 2000mm head height clearance requirement along paths of travel.

SLAB PENETRATIONS WARNING:

New penetrations into existing suspended concrete floor slab shall have the area under the slab checked for existing services, final locations to be approved by the Structural Engineer, all penetration sizes shall be kept to a minimum required. No coring shall commence until such time as location and determination of structural slab has been determined and approved by Structural Engineer and Building Management. Provide protection to area affected by a basement carpark. Drilling may only be undertaken during the hours as directed by Building Management


ELECTRICAL FITTINGS RCP


Note: for all electrical fittings refer to Electrical Engineer's drawings, light fittings shown on reflected ceiling plan are indicative only and shall be checked and confirmed with Builder prior to placement.

TERMITE PROTECTION

The Contractor shall note that these works are located with a designated termite area and as such physical termite barriers shall be installed to perimeter of all new buildings and to all penetrations into new building either from under floor or from outside the perimeter of the building. physical barriers such as "trithor and trithor collars" for penetrations shall be allowed for and installed in accordance with manufacturers details and specifications, all such termite barriers shall be installed by a qualified and trained installer.

LEGEND

 Denotes the location of smoke alarms to be provided and installed in accordance with AS 3786 and unless installed in an existing part of a class 1, 2 or 3 or a class 4 part of a building, the smoke alarm shall be hard wired and each one to be interconnected and have battery backup.

 Denotes ceiling or wall exhaust fan installed in accordance with A.S. 1668.2 (linked to relative light switch). 25 litres/sec WC or bathroom air must be exhausted to
A. the outside air via way of ducts or
B. into roof space provided it is adequately ventilated
C. with roof vents and/or open eaves, or the roof is tiled without sarking.

DRAWING REGISTER	
No.	PAGE TITLE
GN-01	GENERAL NOTES
GN-02	ACCESSIBILITY NOTES
A01	PROPOSED LOCATION SITE PLAN
A02	EXISTING FLOOR PLAN
A03	PROPOSED FLOOR PLAN
A04	PROPOSED INTERNAL ELEVATIONS
A05	PROPOSED INTERNAL ELEVATIONS

GENERAL NOTES

design@mtmarthadrafting.com.au
1/364 Main Street, Mornington. Vic. 3931

03 5975 4896
03 5975 6657

adam.doherty - dpad:1545
Registered Building Practitioner



DATE	AMENDMENT DESCRIPTION	ISSUE

Proposed Veranda & Deck Extension
YMCA
Crown Allotment (4B) No. 35 Sunnyside Road,
Mt Eliza, Victoria 3930

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GENERAL NOTES

Drawn: FVG Date: 23.5.2024
Issue No: A Sheet No: GN01
Scale: NTS @ A2 Sheet Size
Job Reference: 3548-CD

STAIRS AND RAMPS

Minimum clear width between stair handrails shall be no less than 1000mm, however to allow for movement of persons with disabilities no stair or ramp shall be less than 1200mm clear width between handrails.

Movement of persons with disabilities should be able to occur in a confident and consistent manner, all continuous accessible paths of travel will have a minimum clear unobstructed width of 1200mm, no items such as columns, fire hose reels, wall mounted telephones or any other item which would encroach on the clear width shall be permitted into the accessible path space.

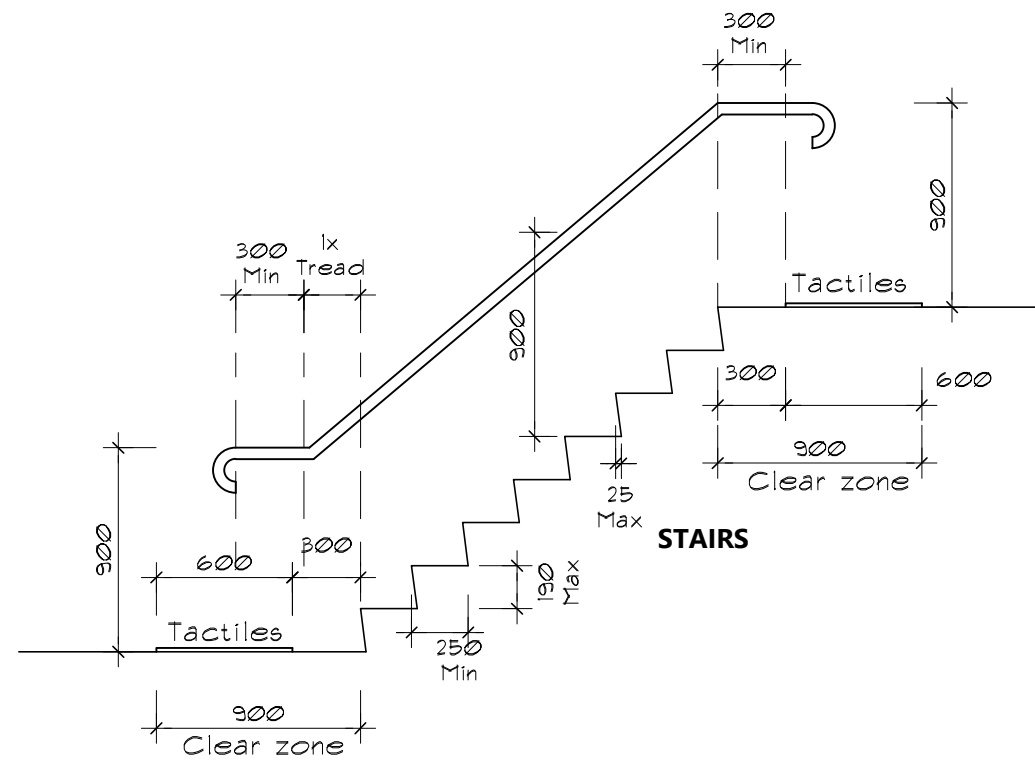
For paths of travel less than 1800mm in clear width, passing areas of a width of 1800mm must be provided for a length of 2000mm every 20m as per AS 1428.1 - Clause 6.4

Handrails shall be provided to both sides of all stairs and ramps and be continuous around all landings with appropriate extensions, design and of consistent height.

Provide warning strips of not less than 50mm and not more than 75mm with a maximum of 10mm downturn on the tread nosing for the full width of the stair with a minimum luminance contrast of 30% to the background as per AS1428.1 - 2009 clause 11.1. Stair nosings shall not have an exposed vertical face of more than 10mm.

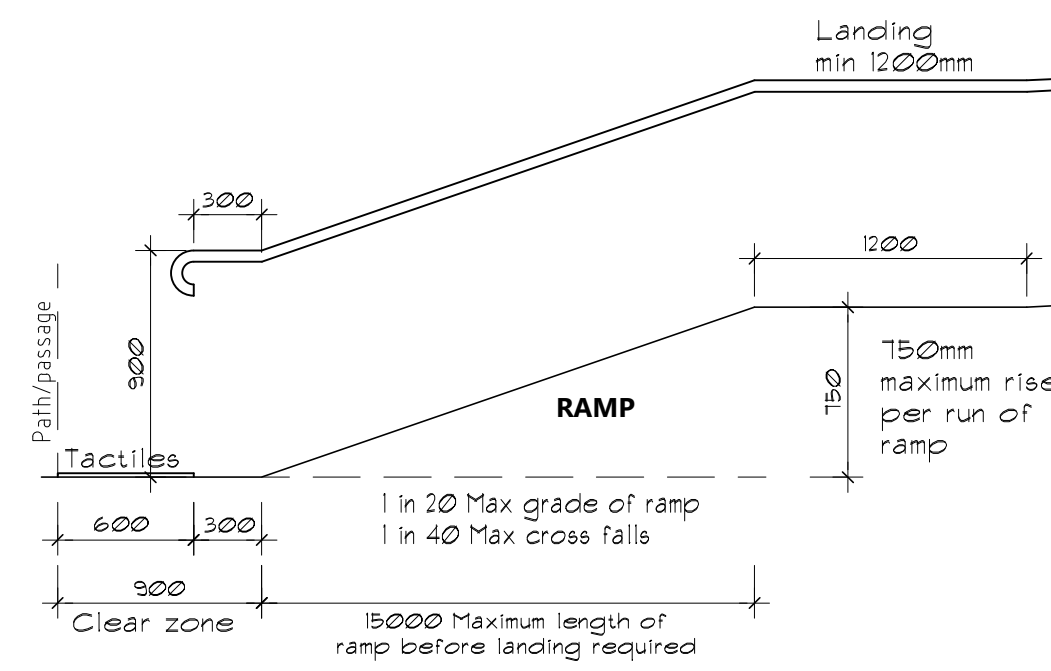
All stair risers shall be enclosed and shall not have an overhang, risers may be angled a maximum of 25mm to the vertical from the stair nosing to the rear of the tread.

Tactile ground surface indicators or a suitable barrier must be provided where there are impediments or hazards with less than 2000mm clearance head height. eg: under stairs and ramps as per AS1428.4.1-2009 Clause 2.6.

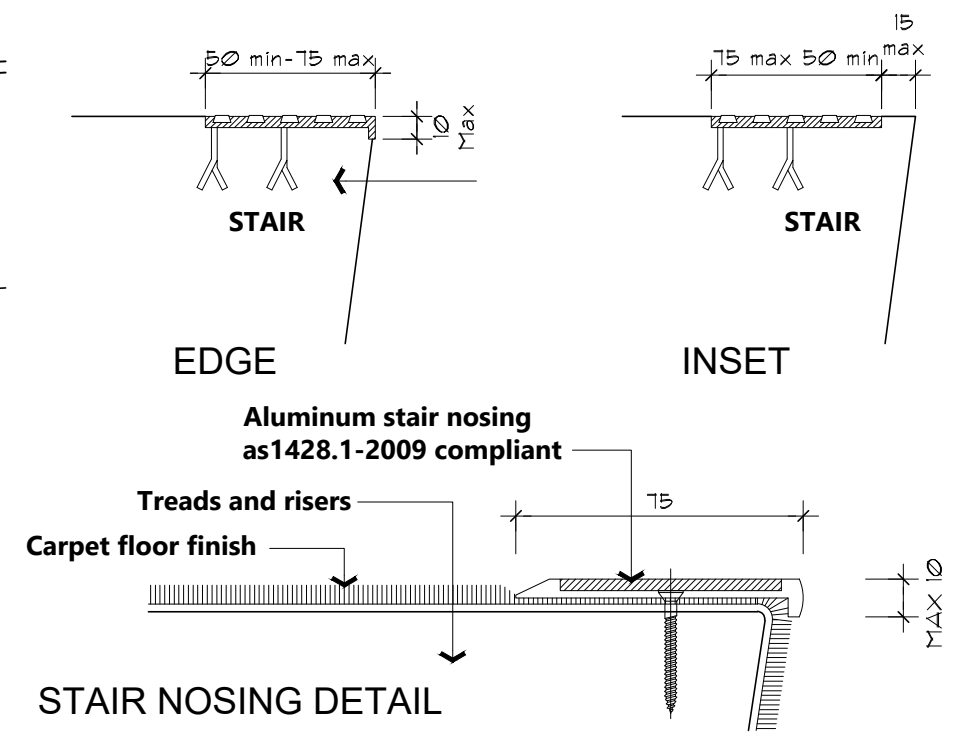


Note: Tactiles are required at start and end of flight of stairs, they are also required at landings if handrail is not continuous around landings.

TYPICAL STAIR SET-OUT



TYPICAL RAMP SET-OUT



STAIR NOSINGS

Where rebated / recessed stair nosing are required the Contractor shall ensure specified type is used. Where Contractor provides a substitute recessed / rebated tread nosing the Contractor shall seek approval from the Super-Intendant prior to purchase and installation of such nosing- where nosing is to be rebated into a selected tile floor finish the Contractor shall ensure that such rebate has no effect on the tile which may cause such tile to fracture or break due to excessive depth of rebate

GENERAL NOTES

md
Mt.Martha design + drafting
BUILDING DESIGNERS
mtmarthadrafting.com.au

design@mtmarthadrafting.com.au
1/364 Main Street, Mornington. Vic. 3931
03 5975 4896
03 5975 6657
adam.doherty - dpad:1545
Registered Building Practitioner

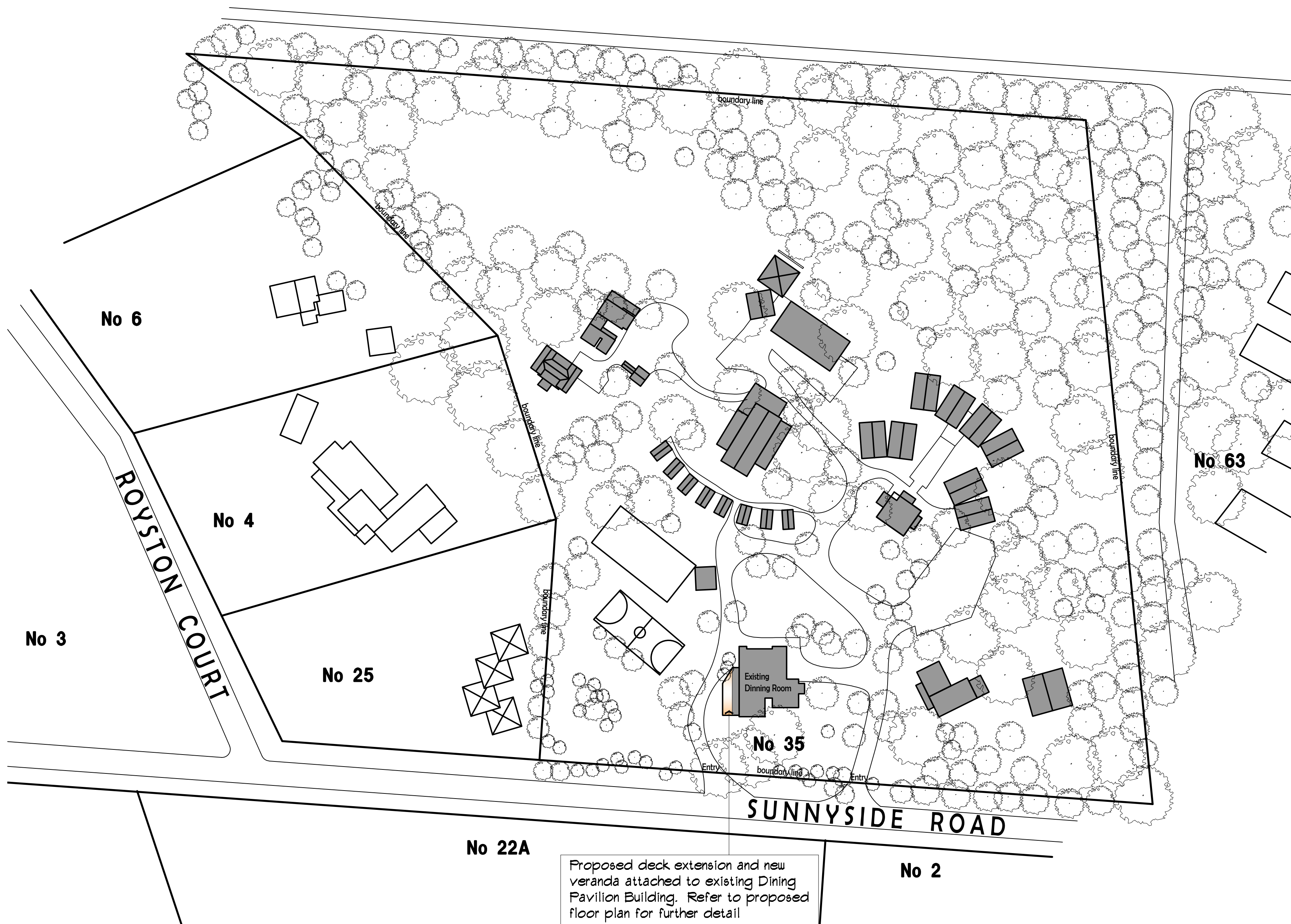


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ACCESSIBILITY NOTES	
Drawn: FVG	Date: 23.5.2024
Issue No: A	Sheet No: GN02
Scale: NTS	@ A2 Sheet Size
Job Reference: 3548-CD	



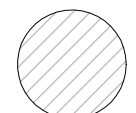
LOCATION SITE PLAN
Scale: 1 : 250




Proposed deck extension and new veranda attached to existing Dining Pavilion Building. Refer to proposed floor plan for further detail

- SITE SURVEY GENERAL NOTES:-**
- 12-06 HABITABLE WINDOW DIMENSIONS = 1200mm (Height) x 600mm (Width)
 - S=350 S = APPROX SILL HEIGHT (mm) ABOVE NATURAL GROUND LEVEL
 - N/HAB N/HAB = NON HABITABLE WINDOW
 - No Title Pegs were located on any sites. This is not a re - establishment survey of any property. Fence, building and/or boundary discrepancies are apparent. Title outlines and/or setbacks may be approximate only based on existing fence and/or building locations. Approx title position only. Are-establishment plan survey is suggested. Refer to Title Re-establishment plan when complete or where one has been carried out for fence location and title boundary discrepancies and adjust Title where required. Setbacks are to subject title boundary unless noted otherwise in this report.
 - All authority assets, services & offsets, or the like, must be confirmed and checked on site prior to any works. Any indication of asset locations (if any) on these drawings are approximate only and must be confirmed. The provision of any asset information in relation with this documentation is not exhaustive, nor substitute to fulfill any authority requirements.
 - All title information (dimensions, bearings, restrictions, instruments, etc.) as shown may alter throughout the course of the development process. Details as shown are a representation only of the information obtained at the time of searching as interpreted by the author of this report. Calculations and interpretations may vary and must be Verified by the relevant authorities and bodies.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM.

- EXISTING VEGETATION NOTES:-**
- Trees of immature height and/or age have not been assessed.
- Locations of trees, heights and other significant features are also approximate.
- More accurate assessment may be required when the final building envelope and proposed works are ascertained.
- Refer soil engineer for possible requirement for root barrier/s. assess all significant trees near proposed building envelope.
- Vegetation is predominantly only outlined in the area of the subject site.
- BELOW DENOTES SIGNIFICANT VEGETATION EXISTING ON AND/OR AROUND THE SUBJECT SITE AS NOMINATED. (REFER REPORT).
- Example:
 TYPE: Eucalyptus
 HEIGHT: H=0-2m
 WIDTH: W=0-2m
 TRUNK DIA: TDia=250mm (MT)
 MT = MULTIPLE TRUNKS (Where Determined)

- TREE REMOVAL & FOOTINGS NOTE:-**
- Any trees from within or around the building envelope should be removed as soon as possible to allow time for the sub-soils to regain their equilibrium moisture content.
 - Found footings 2.0 m below ground level if within 0.75 x the mature height of any retained adjacent trees and refer to engineers design
 - Alternatively, the proposed structure should be isolated from the drying effect of the trees, by way of a root barrier to engineer's design.
-  denotes trees / shrubs to be removed

- SITE LEGEND:-**
-  EXISTING SUBJECT BUILDING
 -  AREA OF PROPOSED WORKS
 -  PROPOSED DECK / BALCONY

- SITE EXCAVATION:-**
- No cut or fill proposed to exceed 1m high

NOT FOR CONSTRUCTION

design@mtmarthadrafting.com.au
1/364 Main Street, Mornington. Vic. 3931

md
Mt.Martha design + drafting
BUILDING DESIGNERS
mtmarthadrafting.com.au

03 5975 4896
03 5975 6657

adam doherty - dpad:1545
Registered Building Practitioner

Design Matters
Member

DATE	AMENDMENT DESCRIPTION	ISSUE
19.02.24	Preliminary working drawing issue	0
23.05.24	Add solar panels to roof	A

Proposed Veranda & Deck Extension
 YMCA
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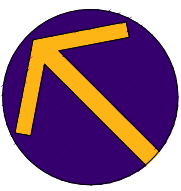
PROPOSED SITE PLAN

Drawn: FVG Date: 23.5.2024

Issue No: A Sheet No: A01

Scale: 1:1000 @ A2 Sheet Size

Job Reference: 3548-CD





PROPOSED FLOOR PLAN

Scale: 1 : 100

	M SQ	
	m ²	□ S
EXISTING BUILDING AREA:	400.16	43.07
EXISTING PORCH(S)	30.22	3.25
EXISTING DECK	42.90	4.62
PROPOSED DECK	50.33	5.42
PROPOSED VERANDA	69.60	7.49
TOTAL BUILDING AREA:	523.61	56.36 □ S

(Total is footprint only and therefore does not include proposed veranda.)

LEGEND:-

- EXISTING BUILDING (AREA OF NO WORKS)
- AREA OF RENOVATION
- EXISTING WALLS - SOLID HATCH
- DEMOLITION
- SOLAR PANEL (ON ROOF)
SIZE 1134x1262

DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS & COMPUTATIONS
Mitchell-Loughrey Consulting Engineers Pty.Ltd.
 Graeme Mitchell-0417 594 984 office@mlengineers.com.au
 Rob Loughrey-0400 113 291 rob@mlengineers.com.au

FOUNDING DEPTHS - Footings:-
 FOUND STRIP & STUMP FOOTINGS AT LEAST 100mm INTO Naturally occurring fine SANDS with an allowable bearing capacity of 100kPa" AS INDICATED IN THE SOIL REPORT
 Soil Report Bore holes indicate founding depths of 300mm & 350mm may be encountered - Verify on site.
 SITE CLASSIFICATION: CLASS M

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SHEETS GN01 - GENERAL NOTES, GNO2 - ACCESSIBILITY NOTES.

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md
 Mt.Martha design + drafting
 BUILDING DESIGNERS
 mtmarthadrafting.com.au

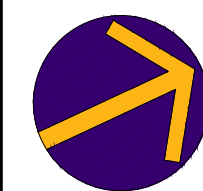
design@mtmarthadrafting.com.au
 1/364 Main Street, Mornington. Vic. 3931
 03 5975 4896
 03 5975 6657
 adam.doherty - dpad:1545
 Registered Building Practitioner



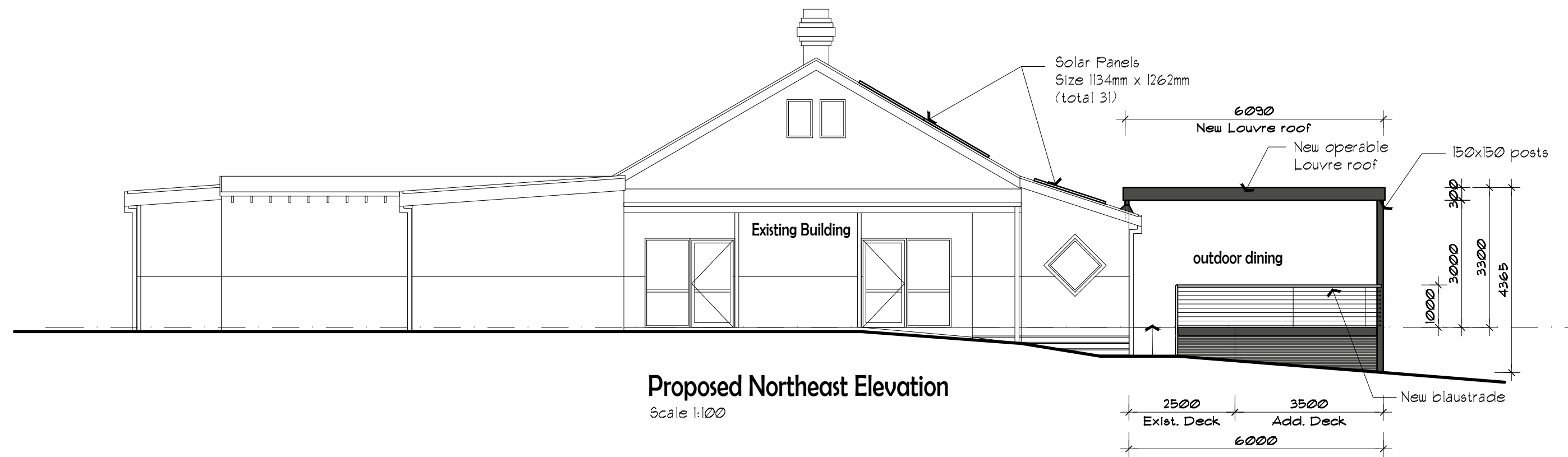
DATE	AMENDMENT DESCRIPTION	ISSUE
19.02.24	Preliminary working drawing issue	0
23.05.24	Add solar panels to roof	A

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PROPOSED FLOOR PLAN	
Drawn: FVG	Date: 23.5.2024
Issue No: A	Sheet No: A02
Scale: 1:100	@ A2 Sheet Size
Job Reference: 3548-CD	

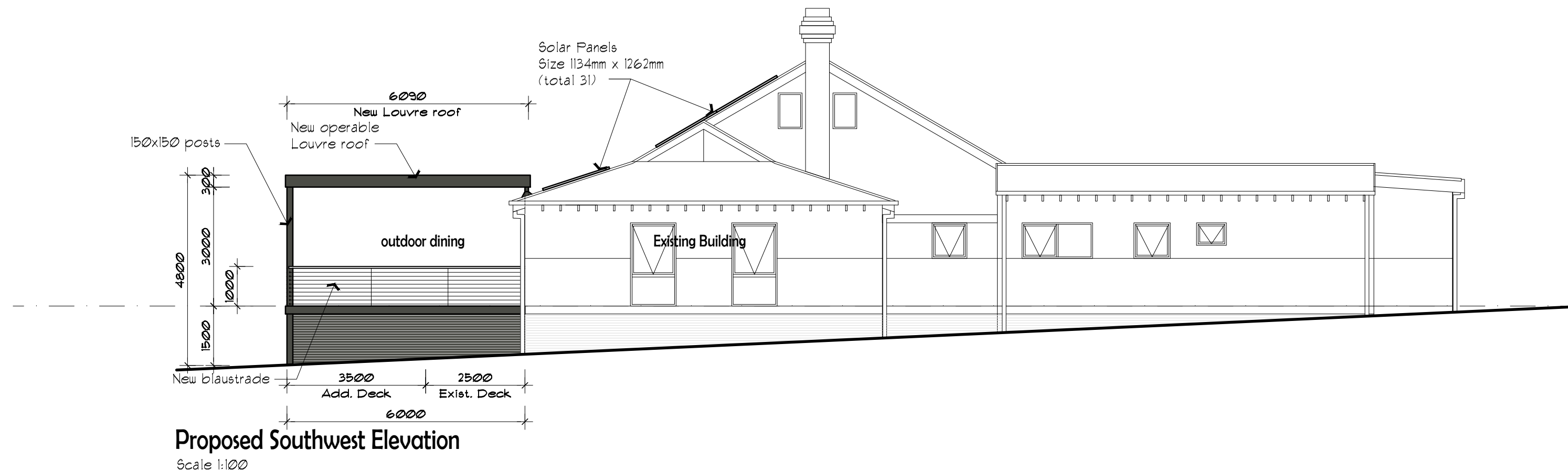
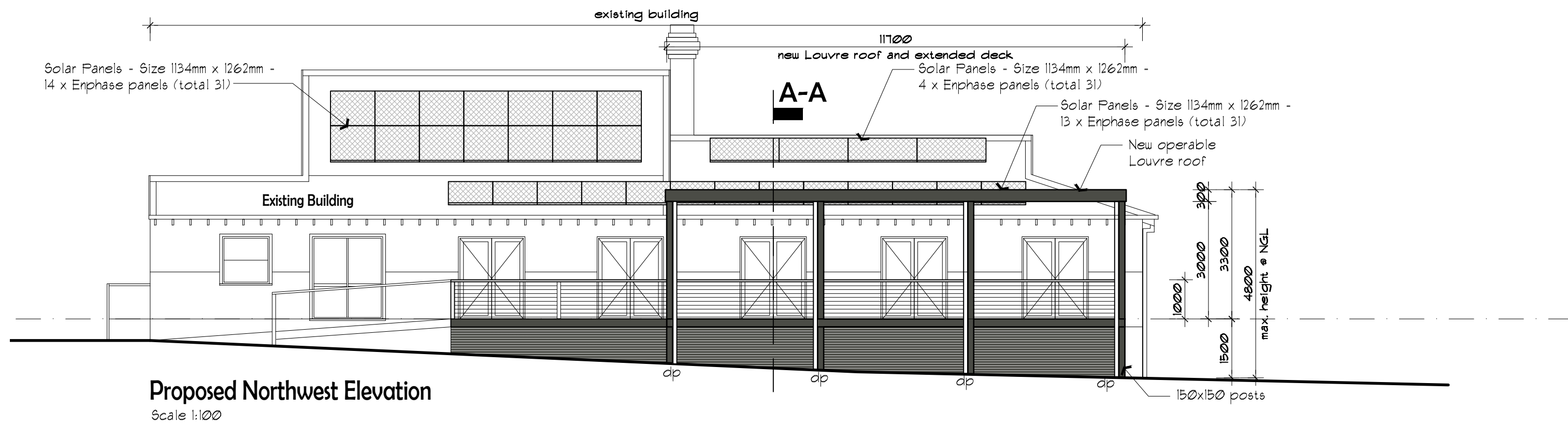


FLOOR PLAN LEGEND:-

- Existing Floor Area - Proposed Renovation
- Existing Floor Area - No Works
- New vinyl flooring as Selected by Client
- Existing walls - solid hatch
- Demolition

EXISTING FIRE EXTINGUISHERS:-

- FE-01** Existing dry powder fire extinguisher for Class A, B C and electrical fires 2.5kg ABE90 Powder
- FE-02** Existing dry powder fire extinguisher for Class A, B C and electrical fires 4.5kg ABE90 Powder



THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SHEETS GN01 - GENERAL NOTES, GNO2 - ACCESSIBILITY NOTES.

NOT FOR CONSTRUCTION

md
Mt.Martha design + drafting
BUILDING DESIGNERS
mtmarthadrafting.com.au

design@mtmarthadrafting.com.au
1/364 Main Street, Mornington. Vic. 3931
03 5975 4896
03 5975 6657
adam.doherty - dpad:1545
Registered Building Practitioner

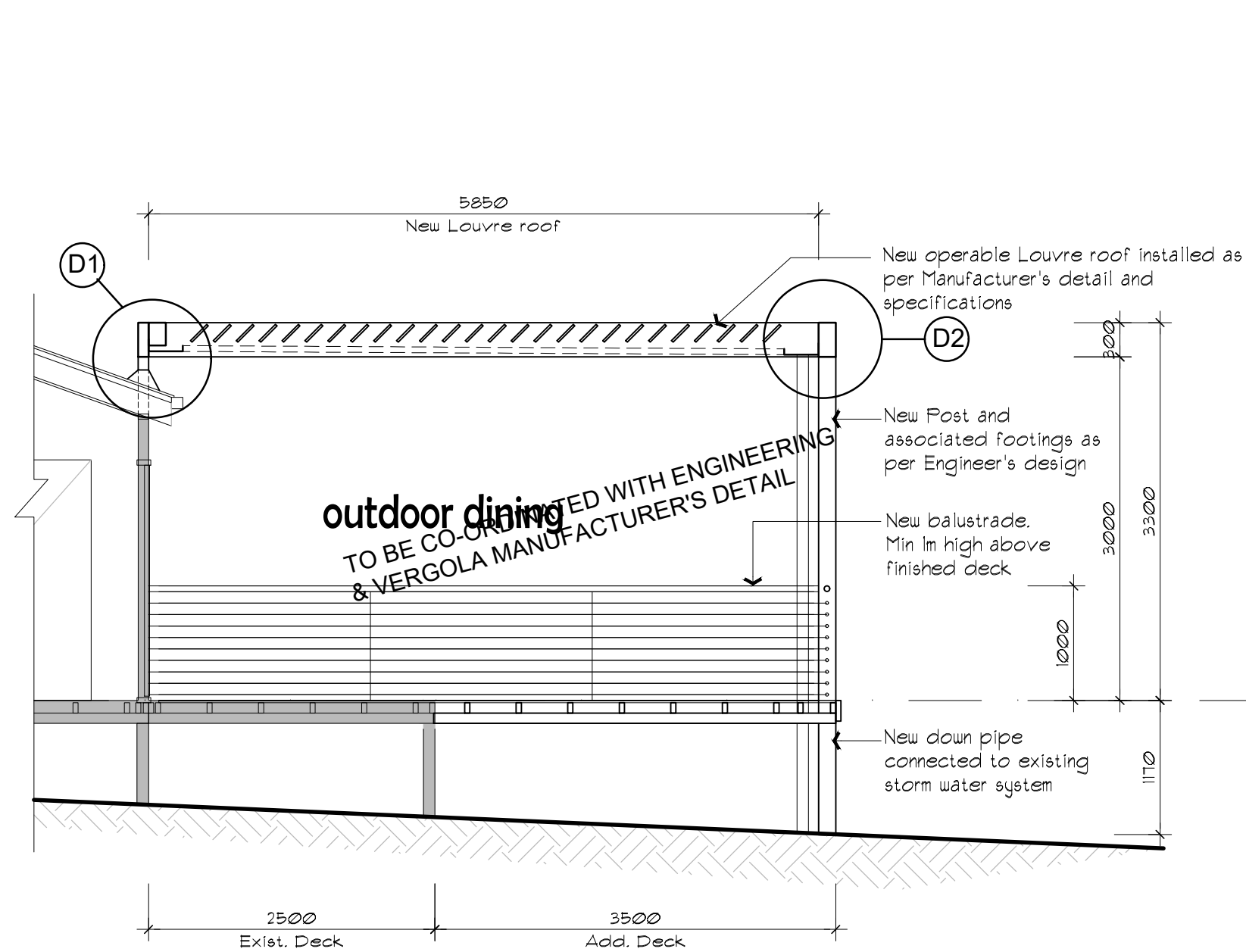


DATE	AMENDMENT DESCRIPTION	ISSUE
19.02.24	Preliminary working drawing issue	0
23.05.24	Add solar panels to roof	A

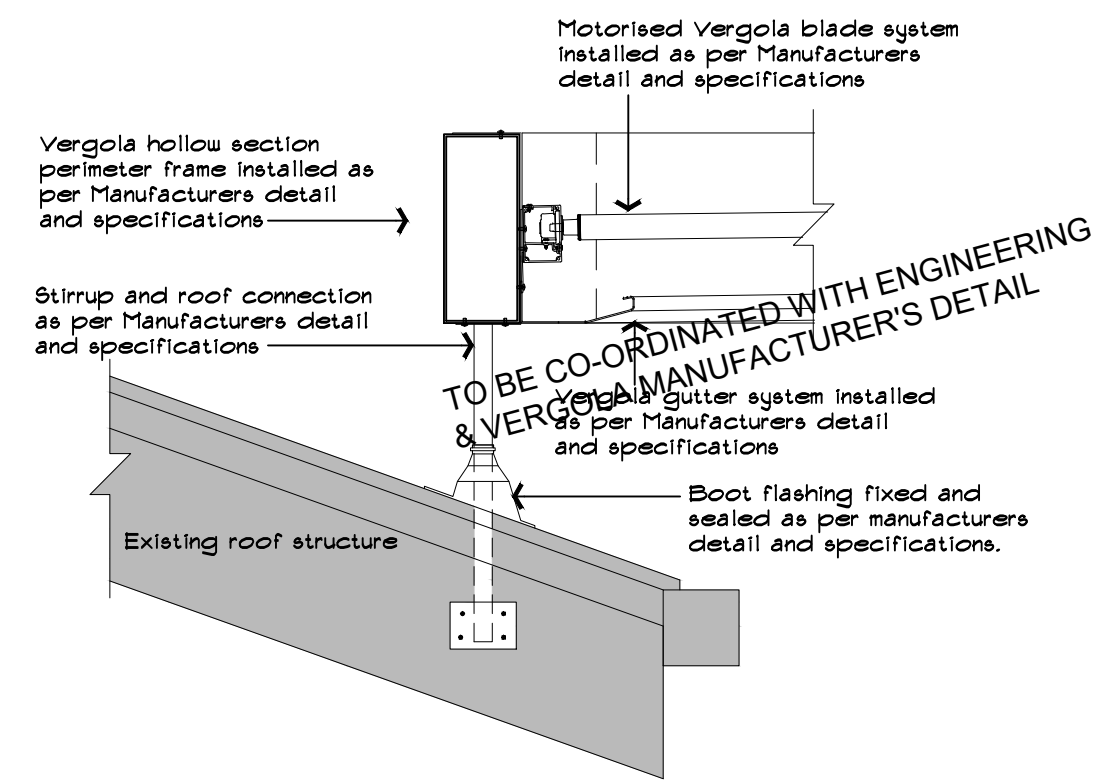
Proposed Veranda & Deck Extension
YMCA
Crown Allotment (4B) No. 35 Sunnyside Road,
Mt Eliza, Victoria 3930

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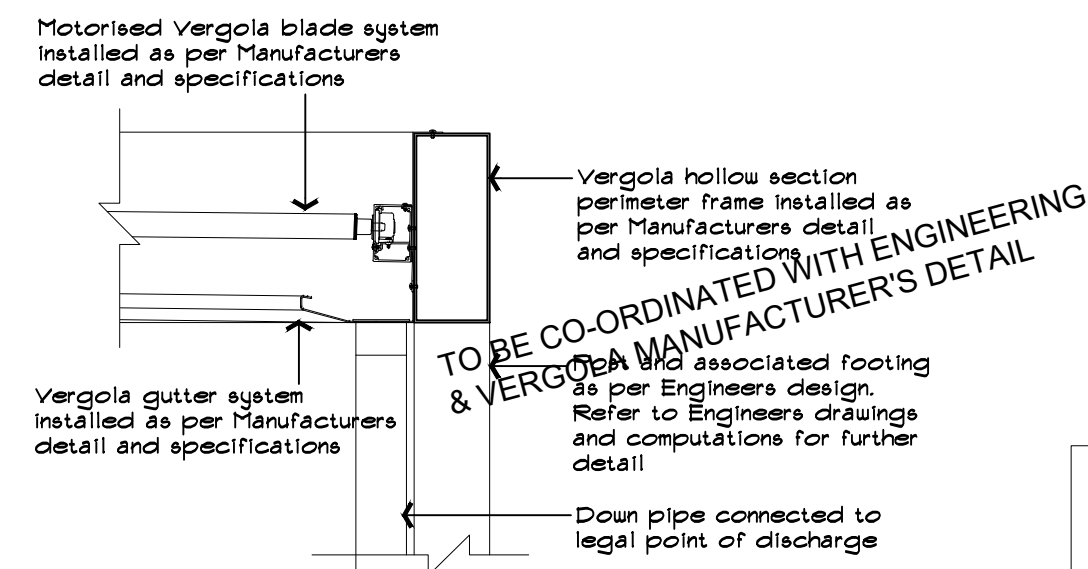
PROPOSED ELEVATIONS
Drawn: FVG Date: 23.5.2024
Issue No: A Sheet No: A03
Scale: 1:100 @ A2 Sheet Size
Job Reference: 3548-CD



Section A-A
Scale 1:50



D1 Connection detail over Roof
Scale 1:10



D2 Vergola gutter Detail
Scale 1:10

DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS & COMPUTATIONS
Mitchell-Loughrey Consulting Engineers Pty.Ltd.
 Graeme Mitchell-0417 594 984 office@mlengineers.com.au
 Rob Loughrey-0400 113 291 rob@mlengineers.com.au

FOUNDING DEPTHS - Footings:-
 FOUND STRIP & STUMP FOOTINGS AT LEAST 100mm INTO Naturally occurring fine SANDS with an allowable bearing capacity of 100kPa" AS INDICATED IN THE SOIL REPORT
 Soil Report Bore holes indicate founding depths of 300mm & 350mm may be encountered - Verify on site.
 SITE CLASSIFICATION: CLASS M

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SHEETS GN01 - GENERAL NOTES, GNO2 - ACCESSIBILITY NOTES.

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md
 Mt.Martha design + drafting
 BUILDING DESIGNERS
 mtmarthadrafting.com.au

design@mtmarthadrafting.com.au
 1/364 Main Street, Mornington. Vic. 3931
 03 5975 4896
 03 5975 6657
 adam.doherty - dpad:1545
 Registered Building Practitioner



DATE	AMENDMENT DESCRIPTION	ISSUE
19.02.24	Preliminary working drawing issue	0
28.03.24	Building permit RFI's	A
23.05.24	Add solar panels to roof	B

Proposed Veranda & Deck Extension
 YMCA
 Crown Allotment (4B) No. 35 Sunnyside Road,
 Mt Eliza, Victoria 3930

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PROPOSED SECTION
 Drawn: FVG Date: 23.5.2024
 Issue No: B Sheet No: A04
 Scale: 1:50 @ A2 Sheet Size
 Job Reference: 3548-CD