

TRADES HALL STAGE THREE VICTORIA STREET WING 54 VICTORIA STREET, CARLTON VIC 3053



DRAWING REGISTER:

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A-004 ROOF SITE PLAN

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01 LOCATION PLAN
NTS

NOT FOR CONSTRUCTION

NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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STRUCTURE
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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY

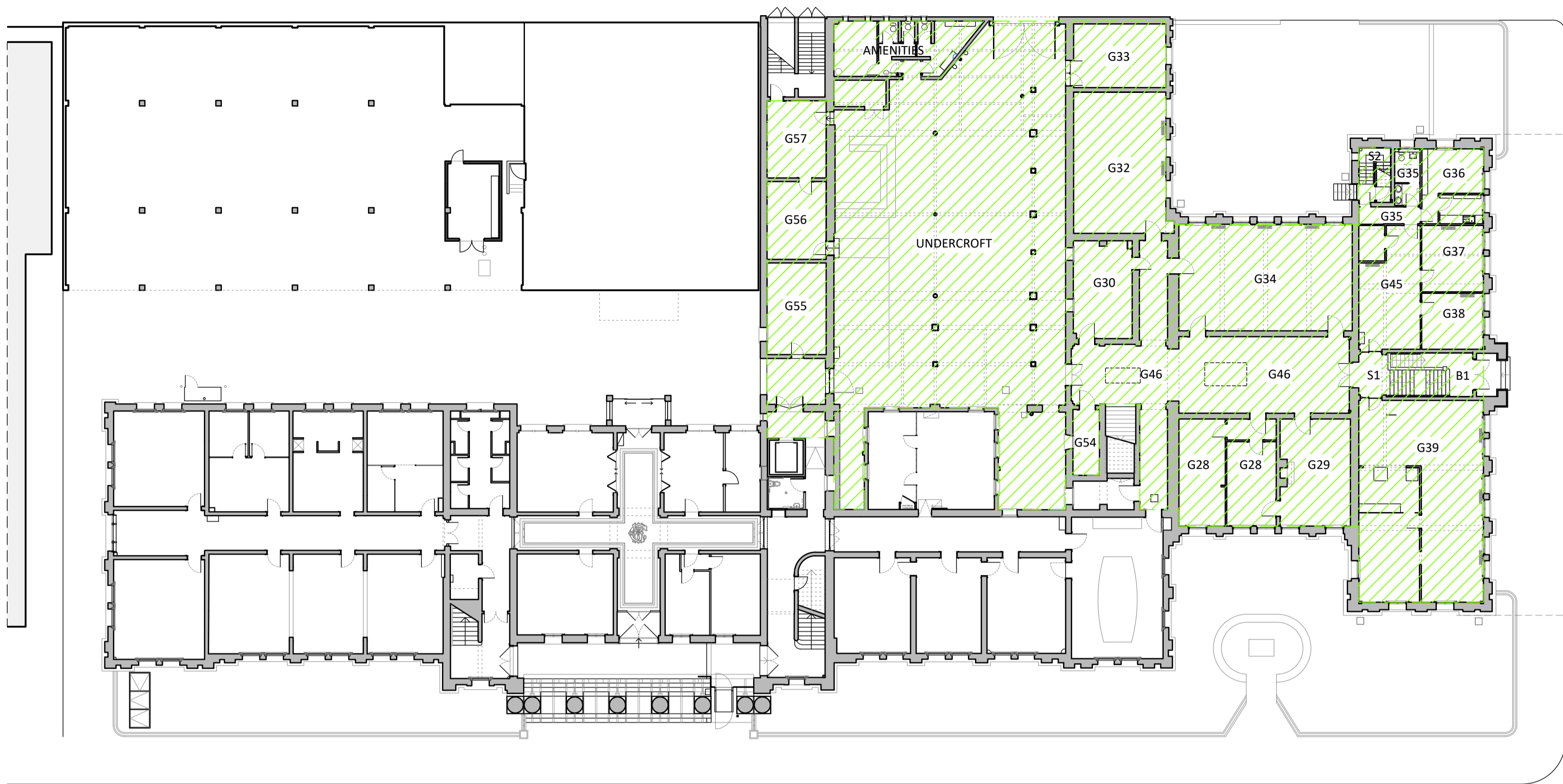
DRAWN	CHECKED	PROJECT NO.	DATE
TM	SH	10048	JUNE 2024

DRAWING TITLE
LOCATION PLAN
DRAWING REGISTER

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	NTS@A1	A-001	DD1





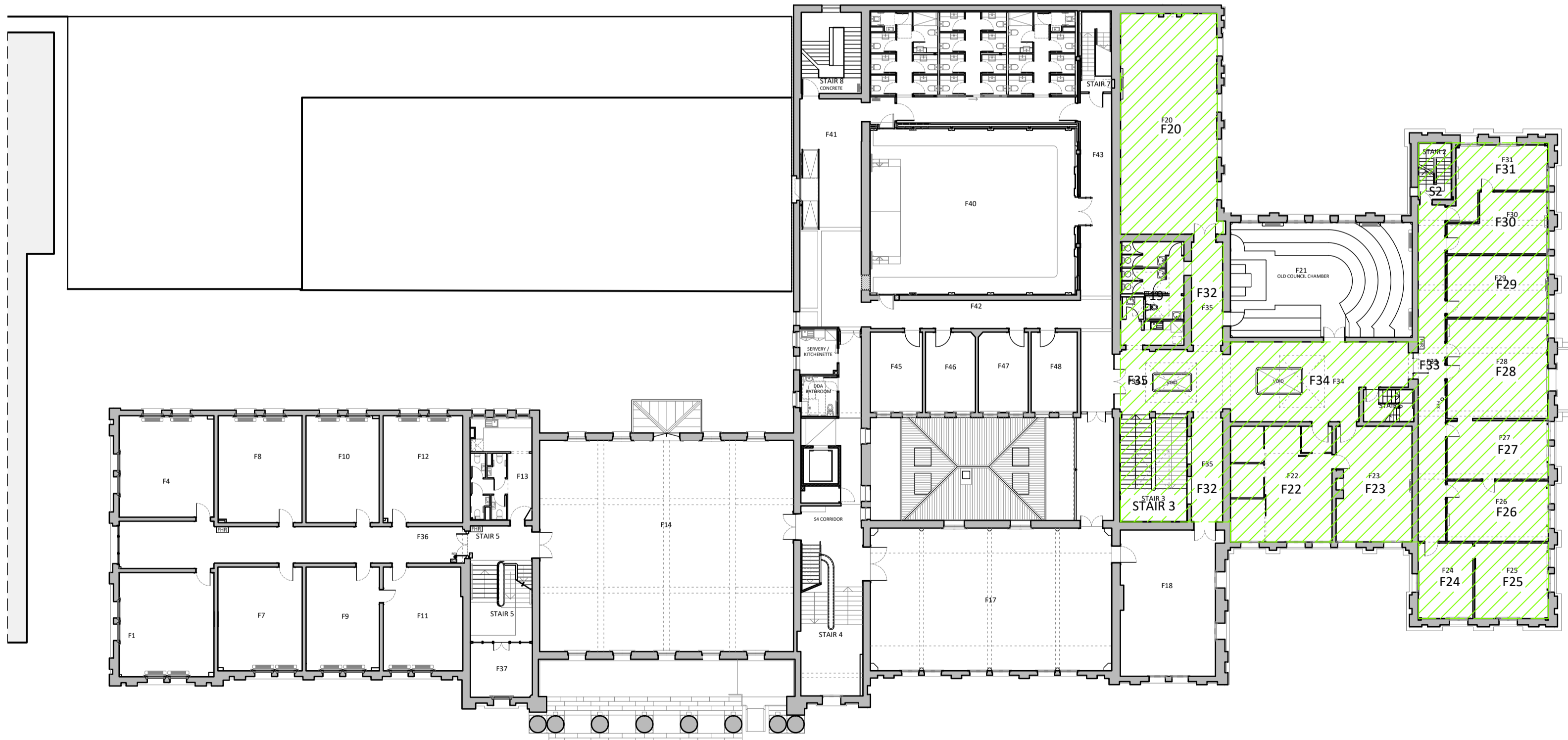
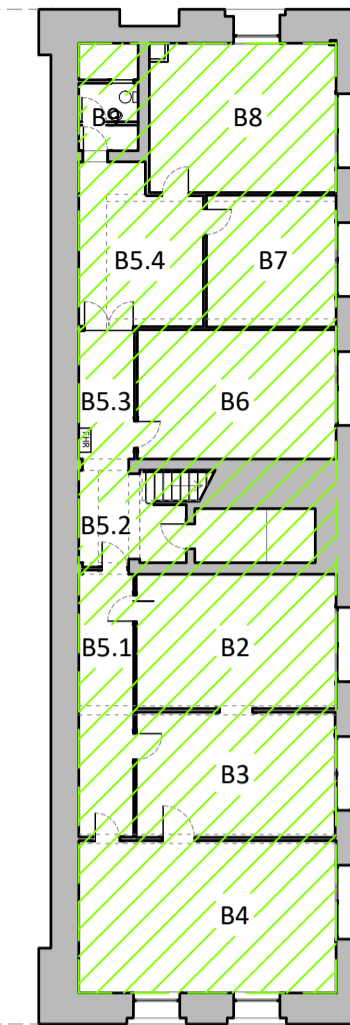
LYGON STREET

VICTORIA STREET

01 GROUND FLOOR PLAN
1:250

03 BASEMENT PLAN
1:250

- GENERAL NOTES:**
1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
 2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
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 6. MEASURED DRAWINGS ARE BASED ON THE EXTERNAL FINISH FACE OF WALLS.



02 FIRST FLOOR PLAN
1:250

LEGEND:
 STAGE THREE PRIMARY AREA OF WORKS

NOT FOR CONSTRUCTION

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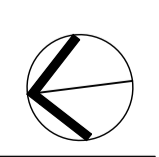
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PROJECT
 TRADES HALL STAGE THREE
 VICTORIA STREET WING
 LOCATED ON WURUNDJERI COUNTRY
 DRAWN TM CHECKED SH PROJECT NO. 10048 DATE JUNE 2024

DRAWING TITLE
 EXTENT OF WORKS
 PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE
 ISSUE AUTHORITY SCALE 1:250@A1 DRAWING NO. A-002 REVISION DD1



- GENERAL NOTES:**
1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
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LEGEND:

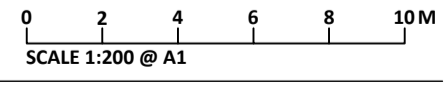
- FACADE CLEANING
- - - SITE BOUNDARY

01 SITE PLAN
1:200

LYGON STREET

VICTORIA STREET

NOT FOR CONSTRUCTION



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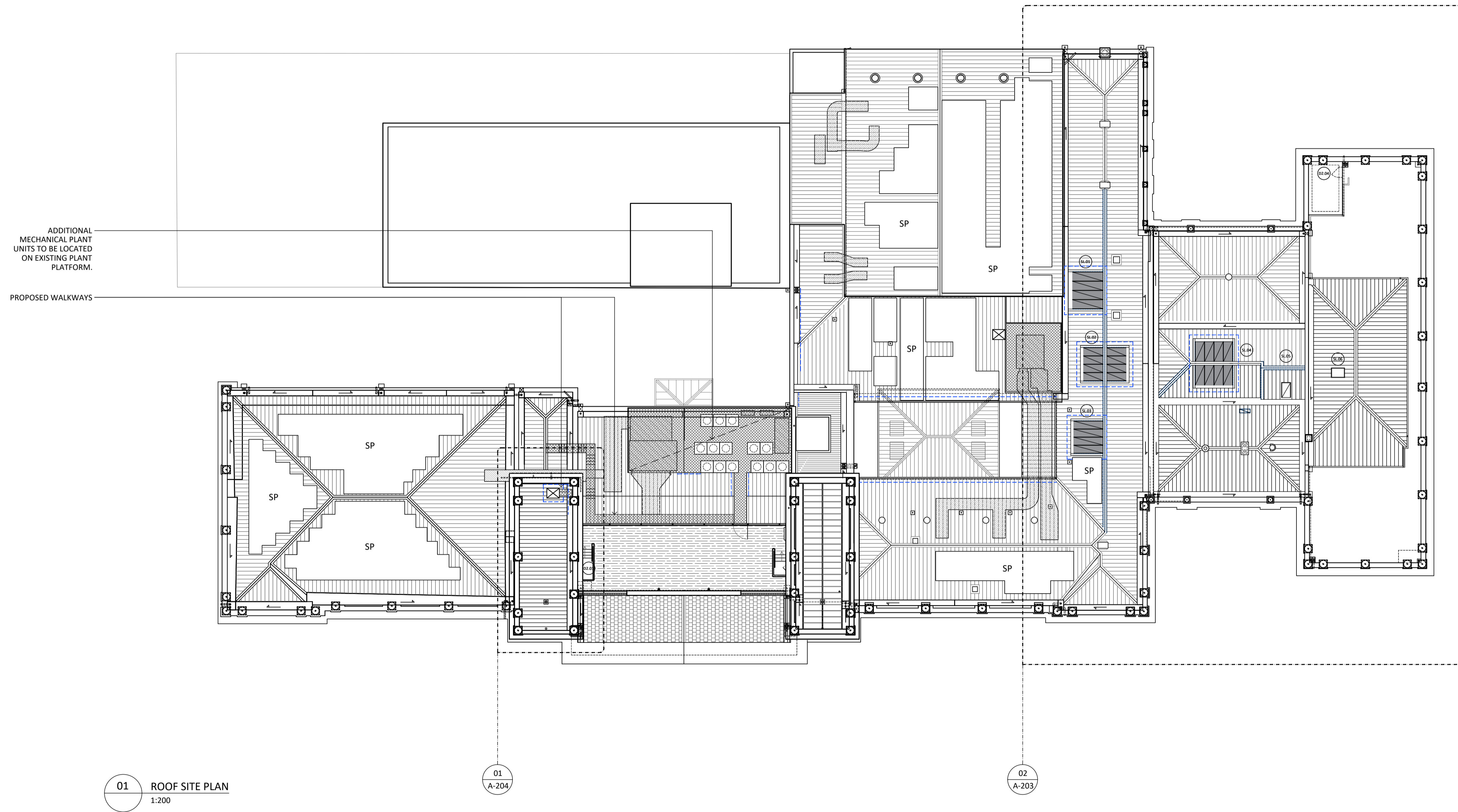
DRAWN	CHECKED	PROJECT NO.	DATE
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DRAWING TITLE
GROUND FLOOR
SITE PLAN

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

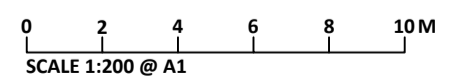
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:200@A1	A-003	DD1

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- LEGEND:**
- NEW FALL PROTECTION GUARD RAILS
 - SP EXISTING SOLAR PANELS

NOT FOR CONSTRUCTION



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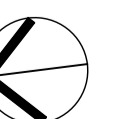
LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
TM	SH	10048	JUNE 2024

DRAWING TITLE
ROOF
SITE PLAN

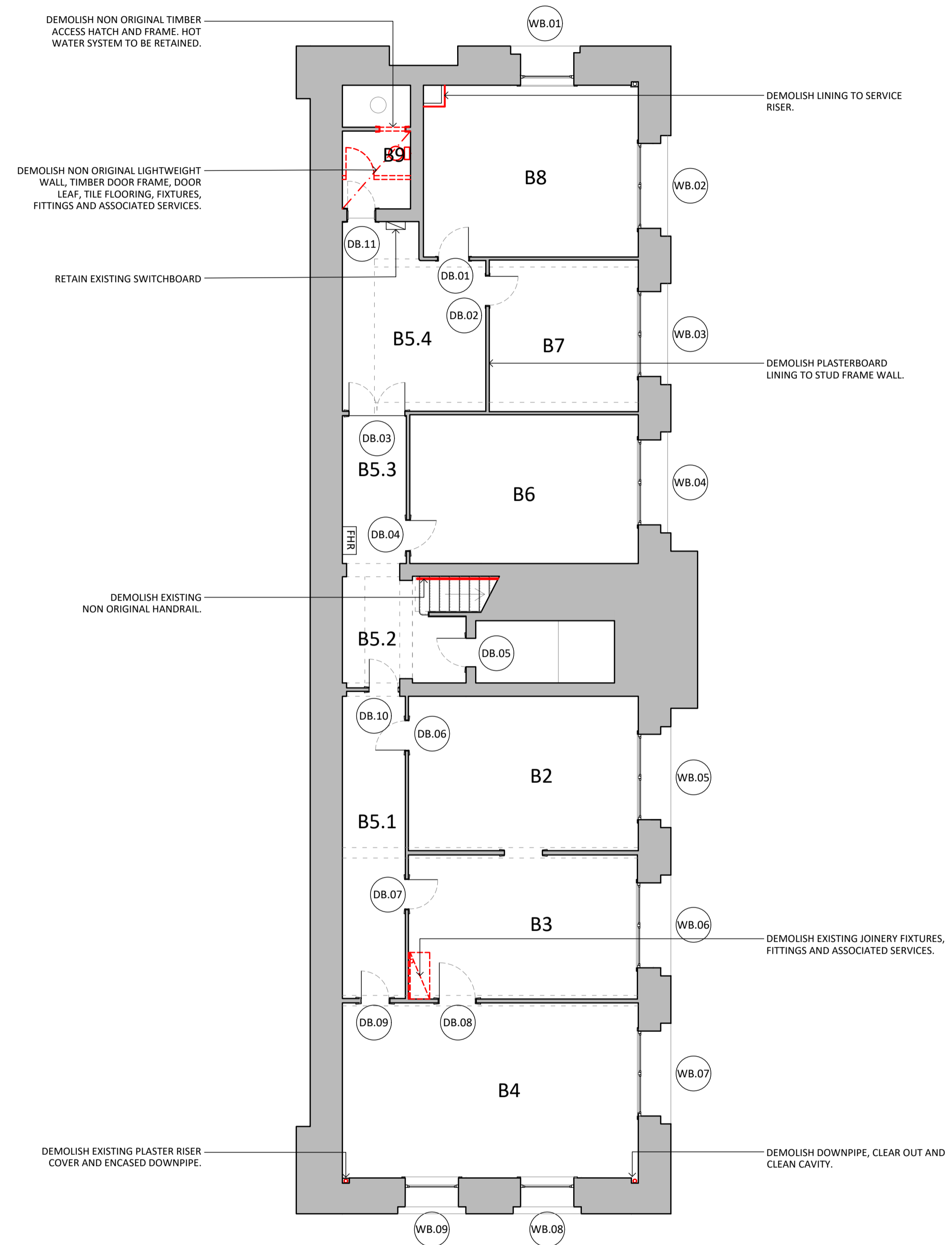
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:200@A1	A-004	DD1

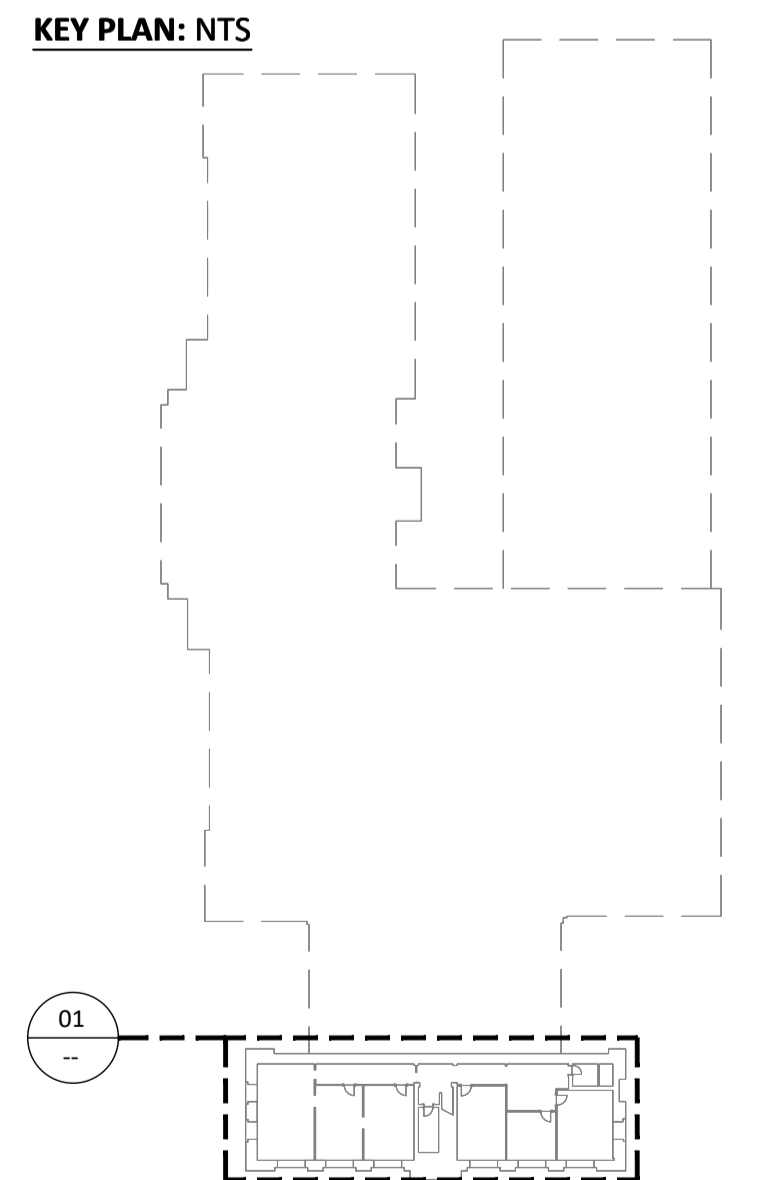


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- DEMOLITION NOTES:**
1. ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AND TO COMPLY WITH AS2601.
 2. ALL EXISTING BRICKWORK TO BE CAREFULLY DISMANTLED BY HAND, CLEANED AND PALLETISED FOR REUSE.
 3. PROTECT EXISTING FABRIC TO BE RETAINED FROM DAMAGE DURING DEMOLITION WORKS INCLUDING BUT NOT LIMITED TO; DOORS, WINDOWS, WALLS, FLOORS, CEILINGS, MASONRY, EXISTING RENDERED SURFACES, TILES, SHEET ROOFING AND FRAMING OR STRUCTURAL ELEMENTS.
 4. SALVAGE ALL ORIGINAL TIMBER SKIRTING FOR REPAIRS AND REUSE WHERE POSSIBLE.
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 8. FOR ASBESTOS REMOVAL WORKS REFER TO HAZARDOUS MATERIALS DIVISION 6 ASBESTOS AND HAZARDOUS MATERIALS AUDIT.
 9. CONTRACTOR IS TO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION WORKS. LIAISE WITH SUPERINTENDENT FOR REMEDIATION WORKS.



- LEGEND:**
- DEMOLISH
 - FHR FIRE HOSE REEL



01 EXISTING DEMOLITION BASEMENT PLAN
1:100

NOT FOR CONSTRUCTION

0 1 2 3 4 5M
SCALE 1:100 @ A1

NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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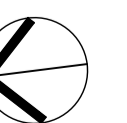
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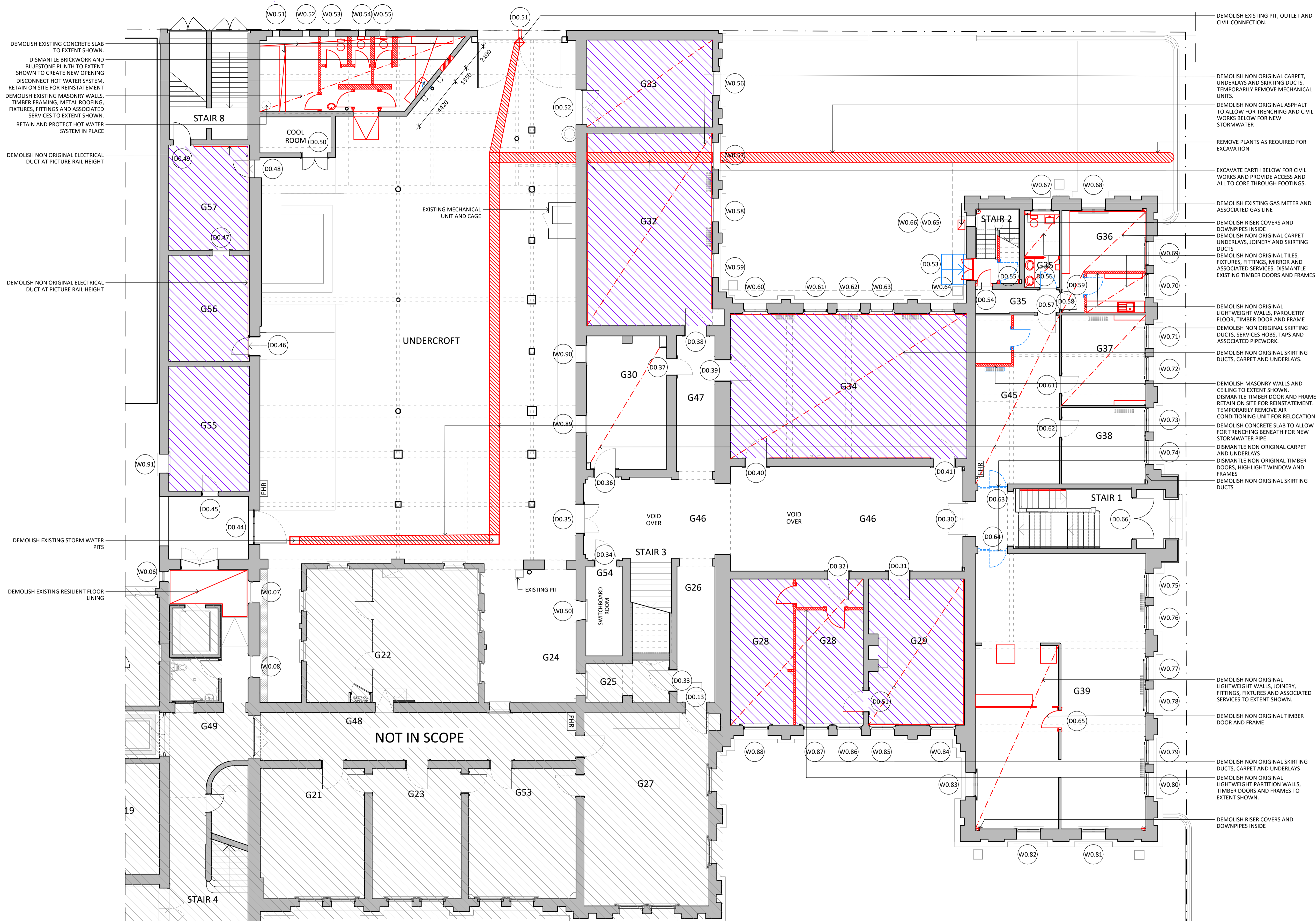
PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY
DRAWN TM CHECKED SH PROJECT NO. 10048 DATE JUNE 2024

DRAWING TITLE
EXISTING / DEMOLITION
BASEMENT PLAN

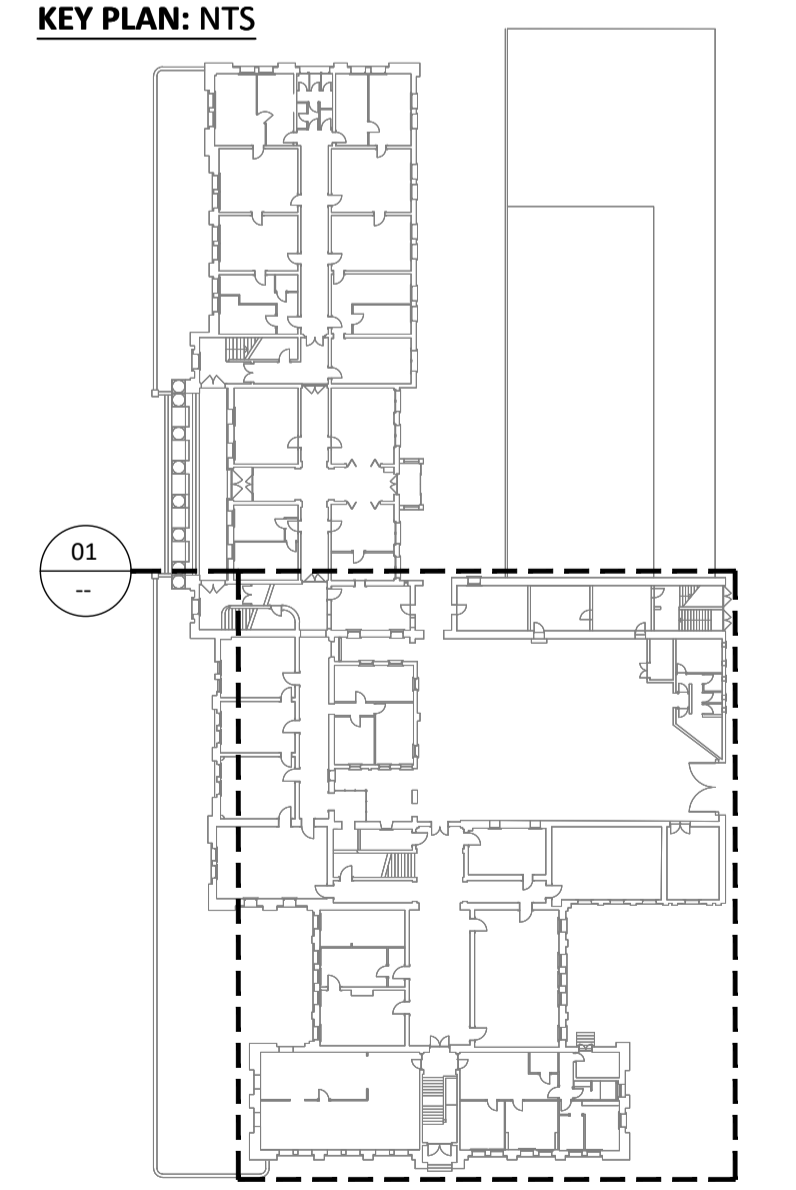
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE
ISSUE AUTHORITY SCALE 1:100@A1 DRAWING NO. A-100 REVISION DD1





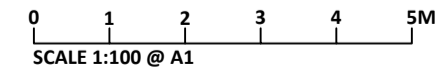
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 - MEASURED DRAWINGS ARE BASED ON THE EXTERNAL FINISH FACE OF WALLS.
- DEMOLITION NOTES:**
- ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AND TO COMPLY WITH AS2601.
 - ALL EXISTING BRICKWORK TO BE CAREFULLY DISMANTLED BY HAND, CLEANED AND PALLETISED FOR REUSE.
 - PROTECT EXISTING FABRIC TO BE RETAINED FROM DAMAGE DURING DEMOLITION WORKS INCLUDING BUT NOT LIMITED TO; DOORS, WINDOWS, WALLS, FLOORS, CEILING, MASONRY, EXISTING RENDERED SURFACES, TILES, SHEET ROOFING AND FRAMING OR STRUCTURAL ELEMENTS.
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 - CONTRACTOR IS TO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION WORKS. LIAISE WITH SUPERINTENDENT FOR REMEDIATION WORKS.

- LEGEND:**
- DEMOLISH
 - DISMANTLE
 - DISMANTLE AND REINSTATE FLOORING TO ALLOW FOR SERVICES INSTALLATION, SEISMIC STRENGTHENING AND CLEANING OF SUB-FLOOR SPACE. REINSTATE FLOORING FOLLOWING WORKS, REINSTATE TO ORIGINAL CONDITION, REFIX AS REQUIRED



01 EXISTING DEMOLITION GROUND FLOOR PLAN
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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PROJECT
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VICTORIA STREET WING

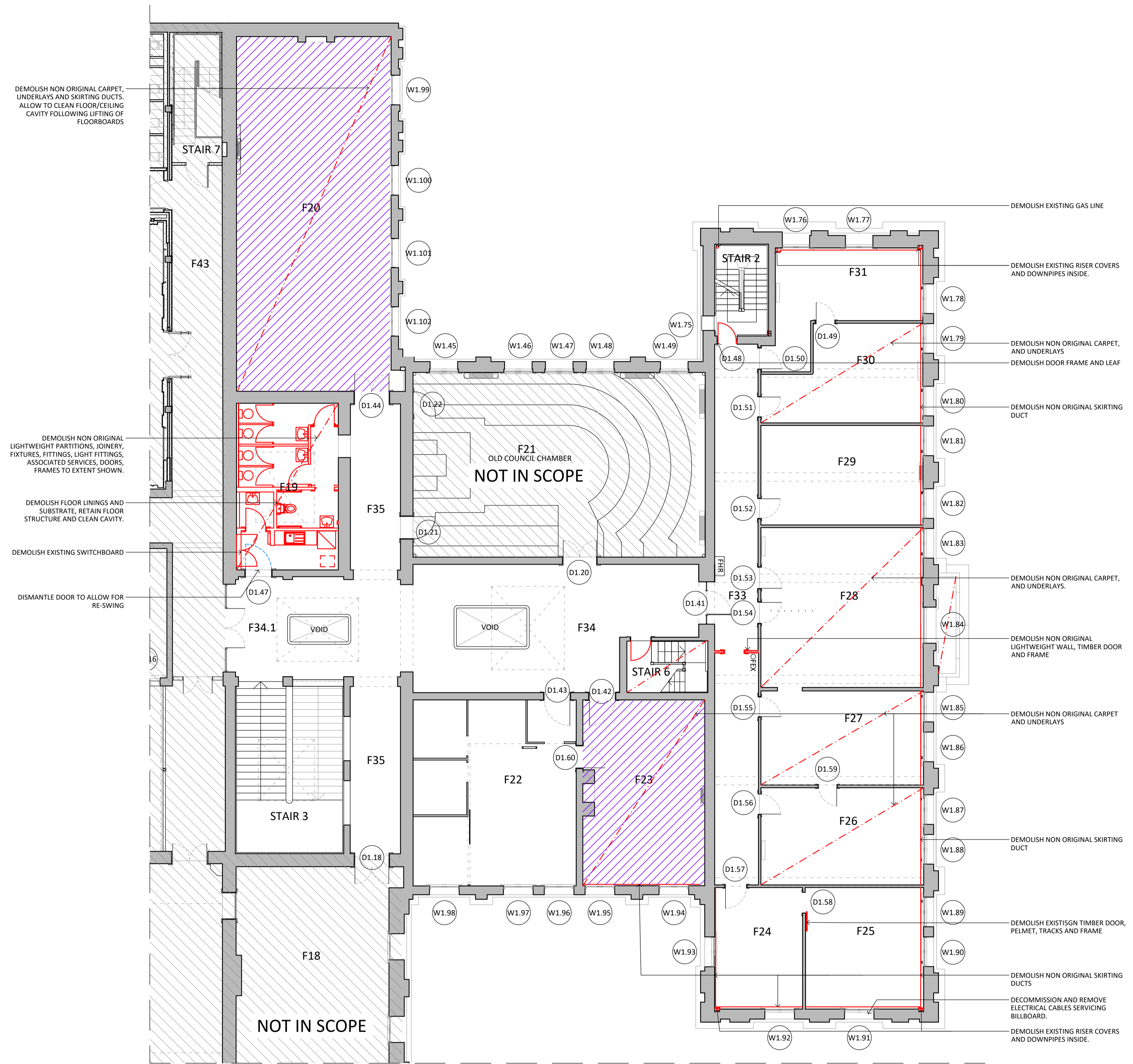
LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
JT	SH	10048	JUNE 2024

DRAWING TITLE
EXISTING / DEMOLITION
GROUND FLOOR PLAN

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

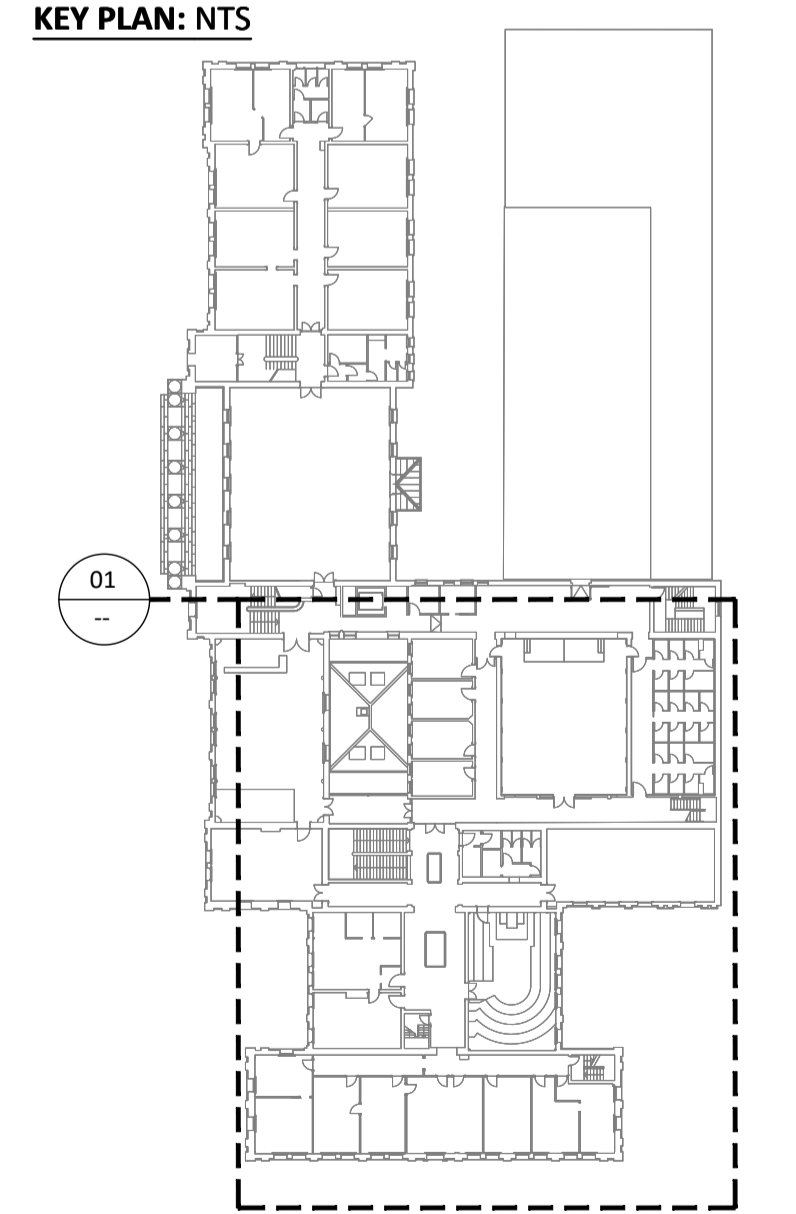
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-101	DD1



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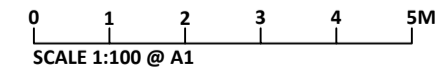
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- LEGEND:**
- DEMOLISH (Red dashed line)
 - DISMANTLE (Blue dashed line)
 - DISMANTLE AND REINSTATE FLOORING TO ALLOW FOR SERVICES INSTALLATION, SEISMIC STRENGTHENING AND CLEANING OF SUB-FLOOR SPACE. REINSTATE FLOORING FOLLOWING WORKS, REINSTATE TO ORIGINAL CONDITION, REFIX AS REQUIRED (Purple hatched area)



01 EXISTING DEMOLITION FIRST FLOOR PLAN
1:100

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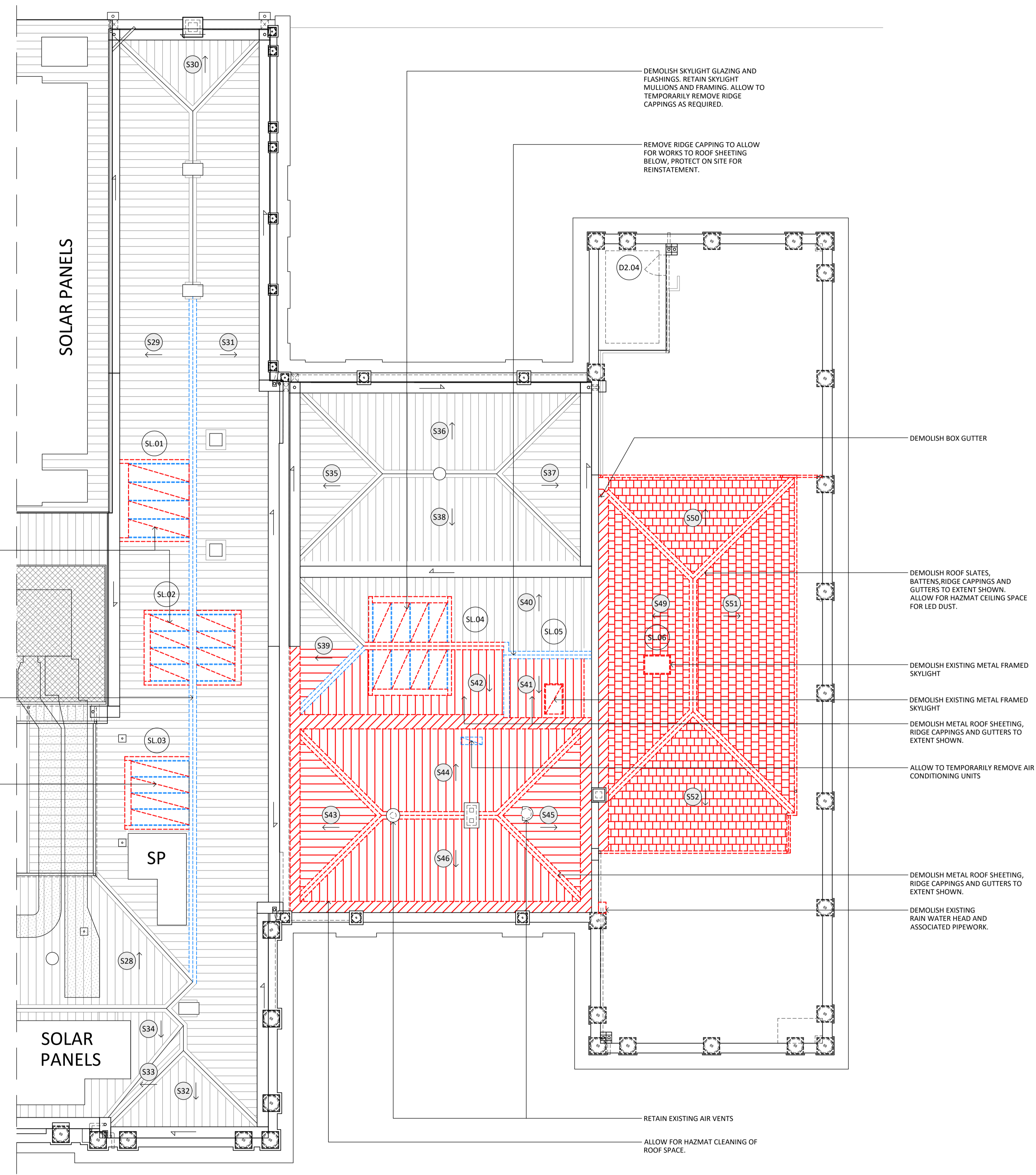
DRAWING TITLE
EXISTING / DEMOLITION
FIRST FLOOR PLAN

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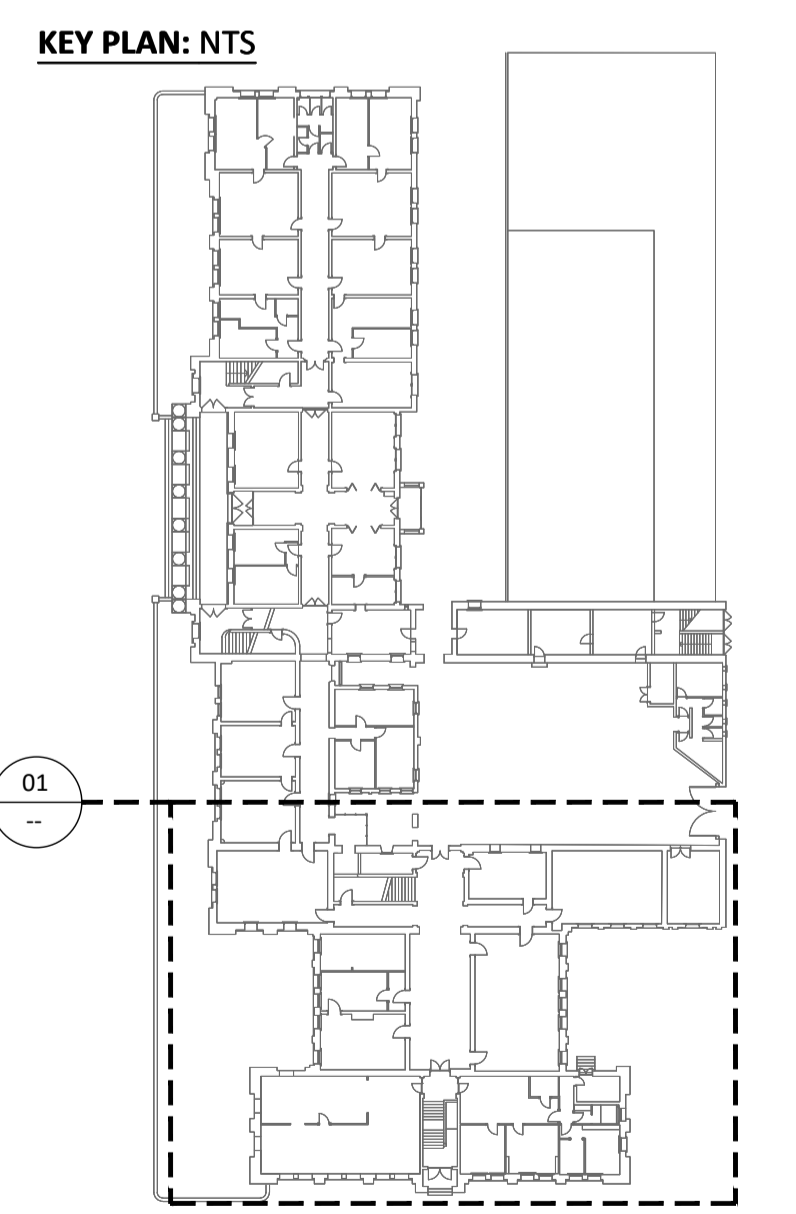
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-102	DD1

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1. ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AND TO COMPLY WITH AS2601.
 2. ALL EXISTING BRICKWORK TO BE CAREFULLY DISMANTLED BY HAND, CLEANED AND PALLETISED FOR REUSE.
 3. PROTECT EXISTING FABRIC TO BE RETAINED FROM DAMAGE DURING DEMOLITION WORKS INCLUDING BUT NOT LIMITED TO; DOORS, WINDOWS, WALLS, FLOORS, CEILINGS, MASONRY, EXISTING RENDERED SURFACES, TILES, SHEET ROOFING AND FRAMING OR STRUCTURAL ELEMENTS.
 4. SALVAGE ALL ORIGINAL TIMBER SKIRTING FOR REPAIRS AND REUSE WHERE POSSIBLE.
 5. PRIOR TO THE REMOVAL OF INFILL TO OPENINGS ENSURE THERE IS A LINTEL IN PLACE.
 6. CLEAN MASONRY WALLS TO BE RETAINED WHERE STRUCTURE ADJACENT TO WALLS HAS BEEN REMOVED.
 7. FOLLOWING DEMOLITION ALL RUBBLE, DEBRIS AND DUST ARE TO BE REMOVED AND DISPOSED OFF SITE IN ACCORDANCE WITH ALL RELEVANT AUTHORITIES REQUIREMENTS AND GUIDELINES.
 8. FOR ASBESTOS REMOVAL WORKS REFER TO HAZARDOUS MATERIALS DIVISION 6 ASBESTOS AND HAZARDOUS MATERIALS AUDIT.
 9. CONTRACTOR IS TO MAKE GOOD ANY DAMAGE CAUSED DUE TO DEMOLITION WORKS. LIAISE WITH SUPERINTENDENT FOR REMEDIATION WORKS.

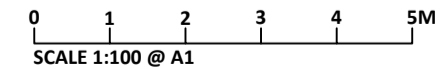


- LEGEND:**
- DEMOLISH (Red hatched area)
 - DISMANTLE (Blue dashed line)
 - EXISTING SOLAR PANELS (SP)



01 EXISTING DEMOLITION ROOF PLAN
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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www.lovellichen.com.au

PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
TM	SH	10048	JUNE 2024

DRAWING TITLE
EXISTING / DEMOLITION
ROOF PLAN

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

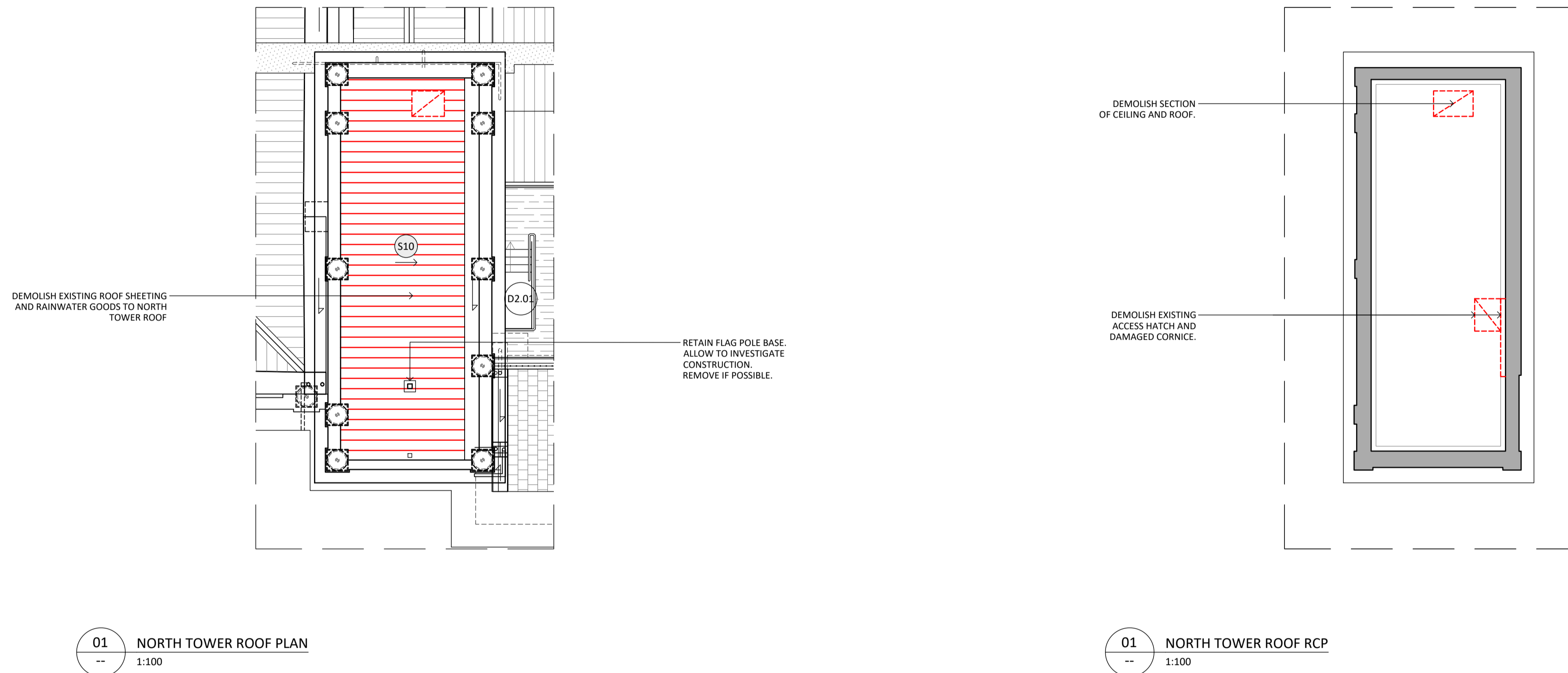
ISSUE	SCALE	DRAWING NO.	REVISION
PRELIMINARY	1:100@A1	A-103	DD1

GENERAL NOTES:

1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
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3. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY. DRAWINGS AT A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
4. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT FOR QUANTIFICATION AND CONSTRUCTION PURPOSES.
6. MEASURED DRAWINGS ARE BASED ON THE EXTERNAL FINISH FACE OF WALLS.

DEMOLITION NOTES:

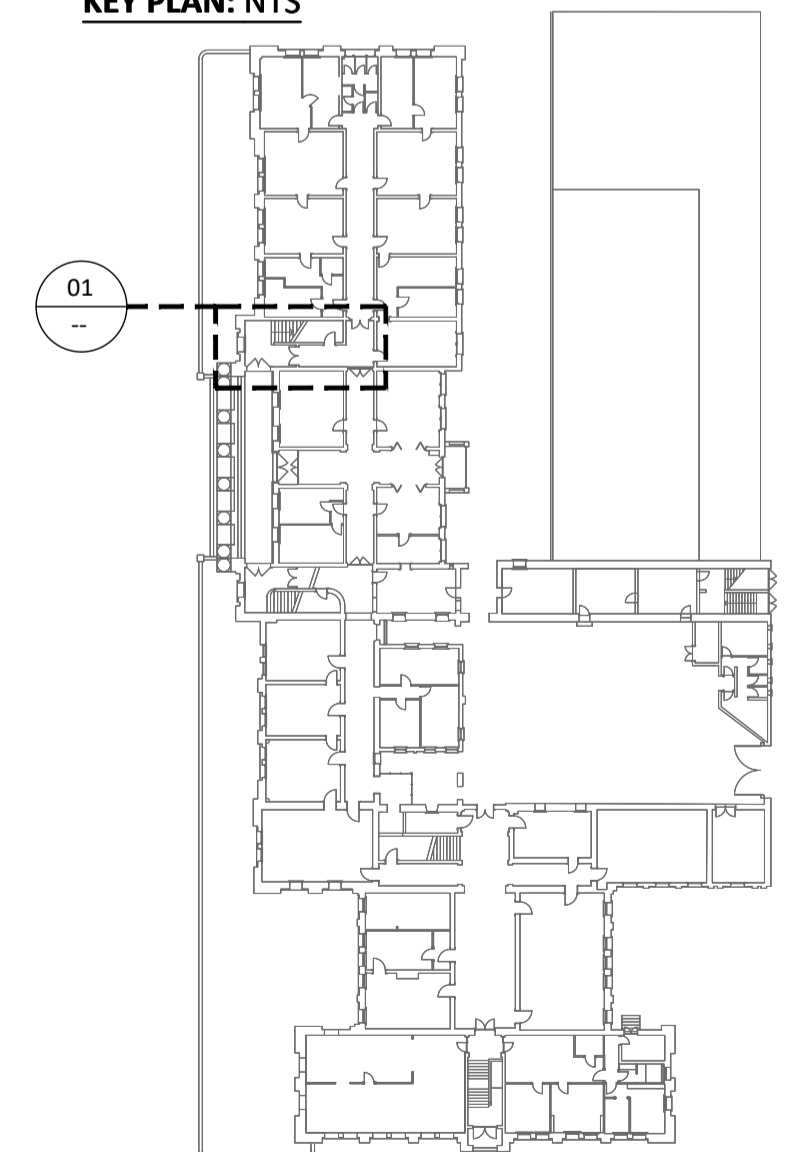
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LEGEND:



KEY PLAN: NTS



NOT FOR CONSTRUCTION

NO.	DATE	REVISION
DD1	07/05/2024	HERITAGE VICTORIA SUBMISSION

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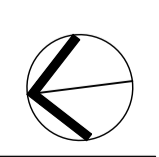
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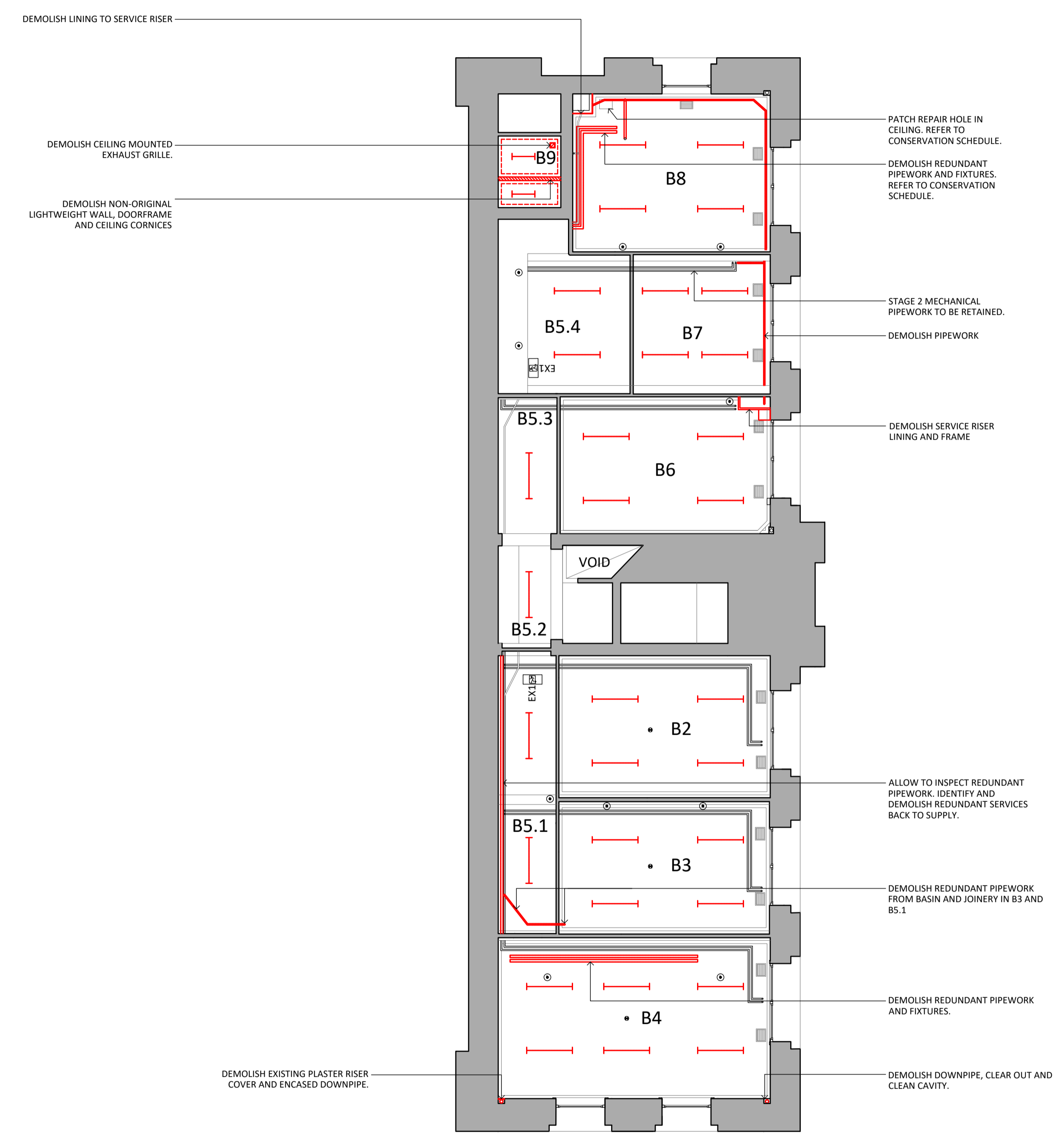
PROJECT
 TRADES HALL STAGE THREE
 VICTORIA STREET WING
 LOCATED ON WURUNDJERI COUNTRY
 DRAWN: TM, CHECKED: SH, PROJECT NO.: 10048, DATE: JUNE 2024

DRAWING TITLE
 EXISTING DEMOLITION
 NORTH TOWER ROOF PLAN
 AND REFLECTED CEILING PLAN
 PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE
 ISSUE: AUTHORITY, SCALE: 1:200@A1, DRAWING NO.: A-104, REVISION: DD1

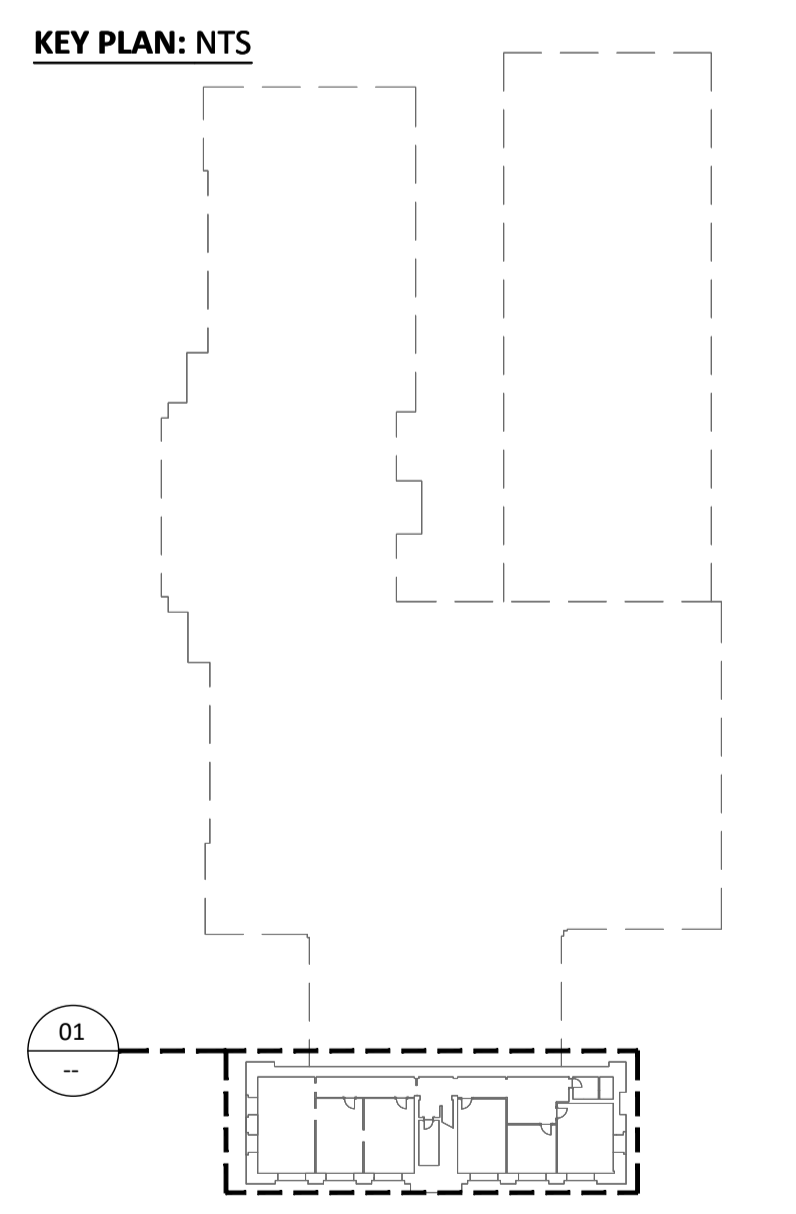


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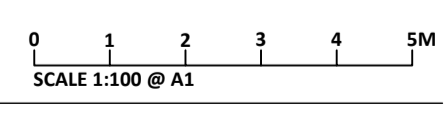


- CEILING WORKS LEGEND:**
- BATTEN LUMINAIRE TO BE CAREFULLY DEMOLISHED
 - DEMOLISH
 - DISMANTLE
 - ⊙ EXISTING EMERGENCY LIGHT
 - ⊙ EXISTING CEILING MOUNTED EXHAUST GRILLE
 - ⊙ EXISTING SPRINKLER
 - ⊙ EXISTING EXIT SIGN



01 -- EXISTING DEMOLITION BASEMENT RCP
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
TM	SH	10048	JUNE 2024

DRAWING TITLE
EXISTING / DEMOLITION
BASEMENT
REFLECTED CEILING PLAN

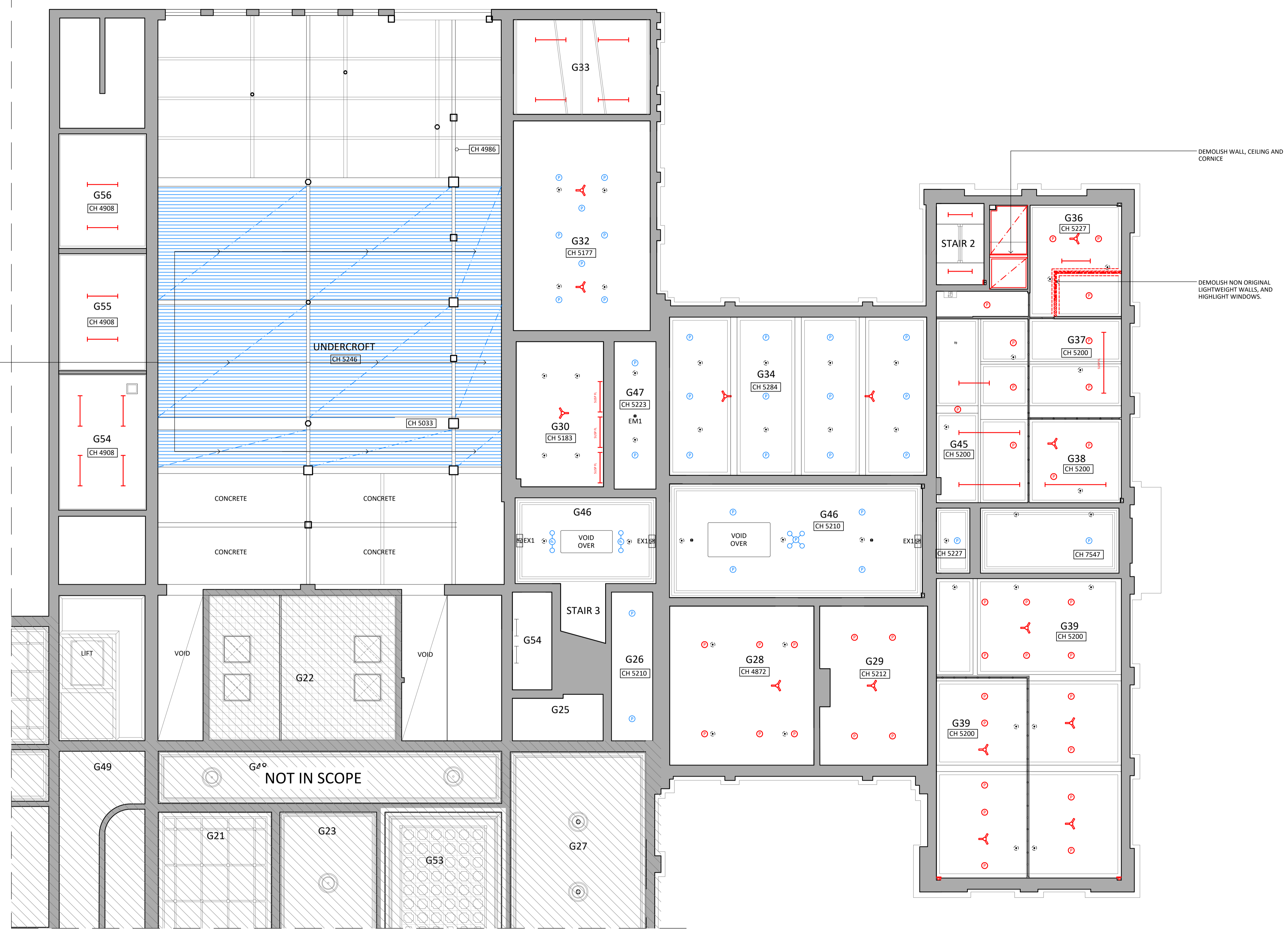
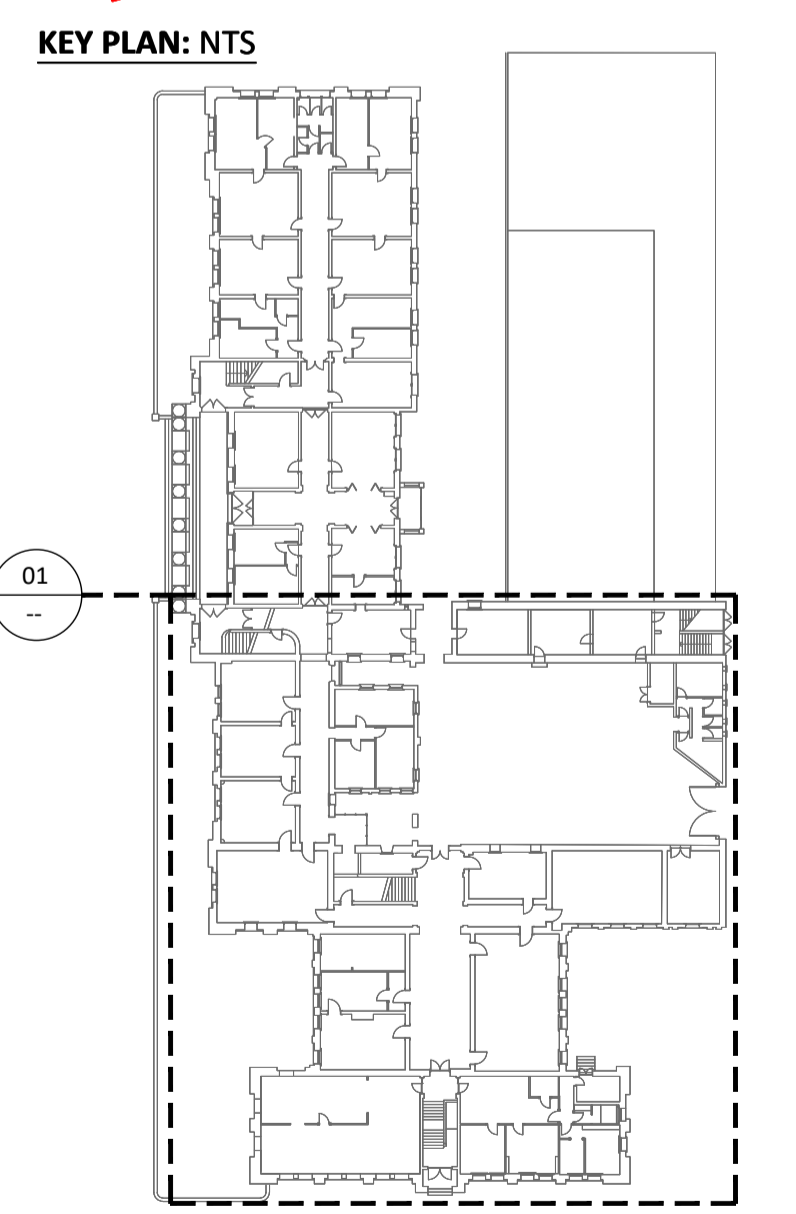
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-110	DD1

- GENERAL NOTES:**
1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
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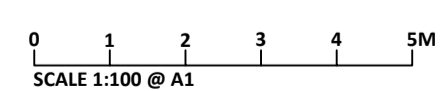
- DEMOLITION NOTES:**
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- CEILING WORKS LEGEND:**
- BATTEN LUMINAIRE TO BE CAREFULLY DEMOLISHED
 - DEMOLISH
 - DISMANTLE
 - EXISTING PIPEWORK
 - EXISTING EMERGENCY LIGHT
 - EXISTING CEILING MOUNTED EXHAUST GRILLE
 - EXISTING SPRINKLER
 - M1 EXISTING MOTION DETECTOR
 - EXISTING EXIT SIGN
 - PENDANT LIGHT FITTING TO BE CAREFULLY REMOVED FOR REFURBISHMENT
 - PENDANT LIGHT FITTING TO BE CAREFULLY REMOVED
 - CEILING FAN TO BE CAREFULLY DEMOLISHED



01 EXISTING DEMOLITION GROUND FLOOR RCP
-- 1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

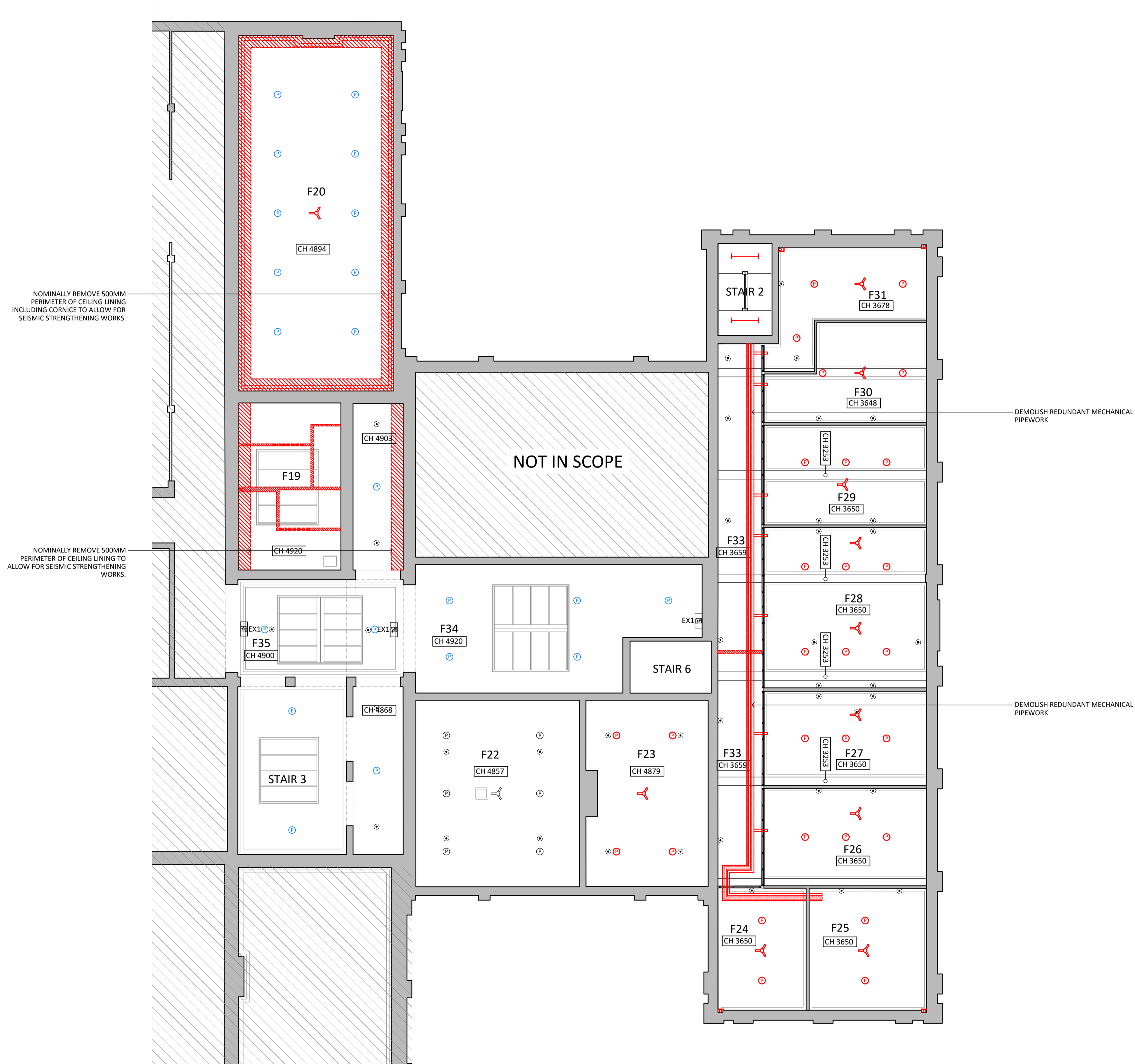
LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
JT	SH	10048	JUNE 2024

DRAWING TITLE
EXISTING / DEMOLITION
GROUND FLOOR
REFLECTED CEILING PLAN

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

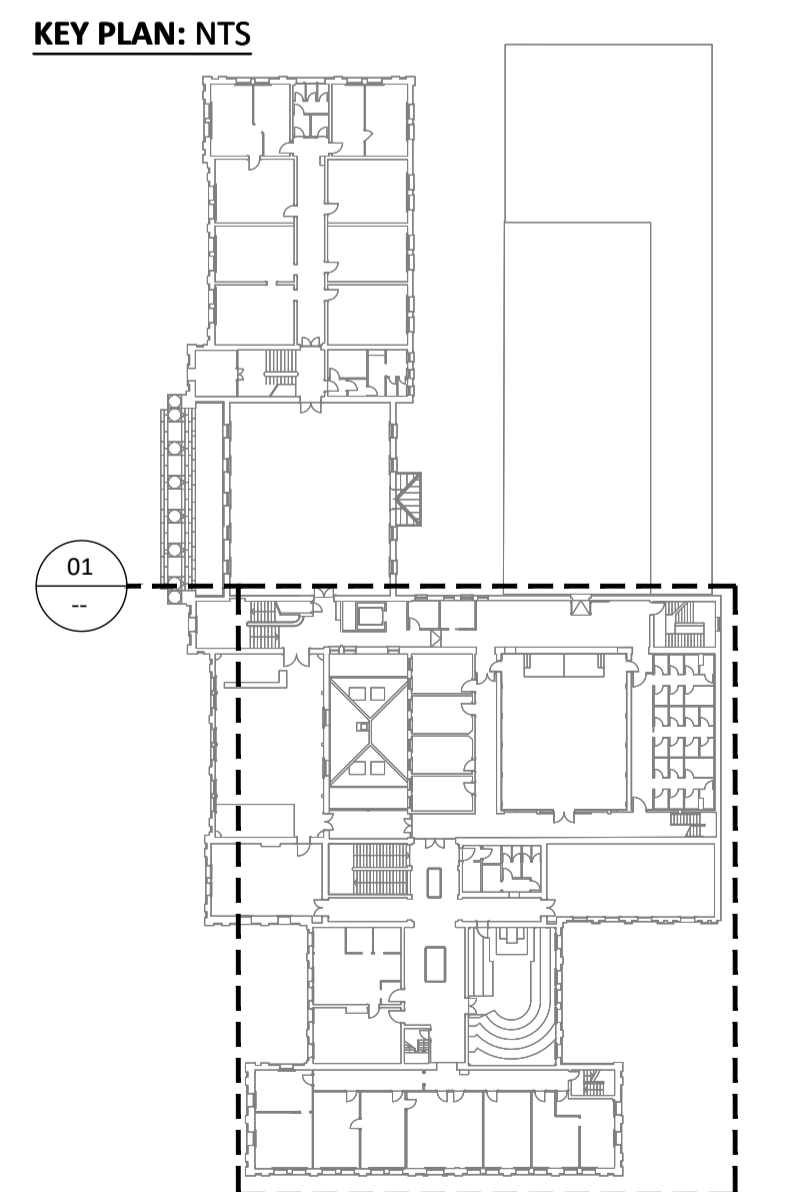
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-111	DD1



- GENERAL NOTES:**
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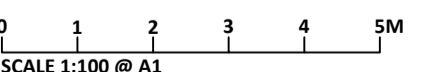
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- CEILING WORKS LEGEND:**
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 - DEMOLISH
 - DISMANTLE
 - EXISTING EMERGENCY LIGHT
 - EXISTING CEILING MOUNTED EXHAUST GRILLE
 - EXISTING SPRINKLER
 - M1 EXISTING MOTION DETECTOR
 - EXISTING EXIT SIGN
 - PENDANT LIGHT FITTING TO BE CAREFULLY REMOVED FOR REFURBISHMENT
 - PENDANT LIGHT FITTING TO BE CAREFULLY REMOVED
 - CEILING FAN TO BE CAREFULLY DEMOLISHED



01 EXISTING DEMOLITION FIRST FLOOR RCP
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY
DRAWN JT CHECKED SH PROJECT NO. 10048 DATE JUNE 2024

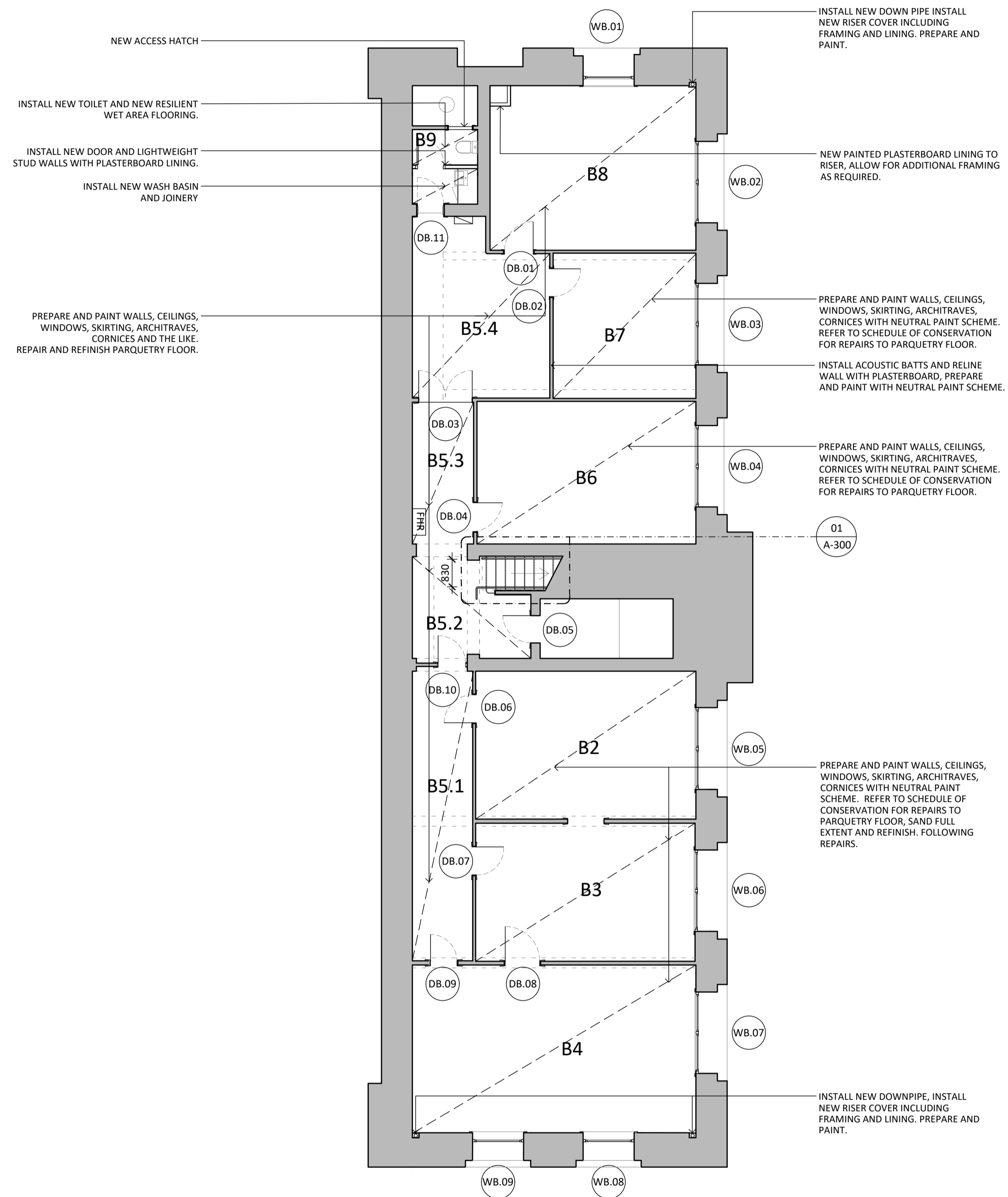
DRAWING TITLE
EXISTING / DEMOLITION
FIRST FLOOR
REFLECTED CEILING PLAN
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE
ISSUE AUTHORITY SCALE 1:100@A1 DRAWING NO. A-112 REVISION DD1

GENERAL NOTES:

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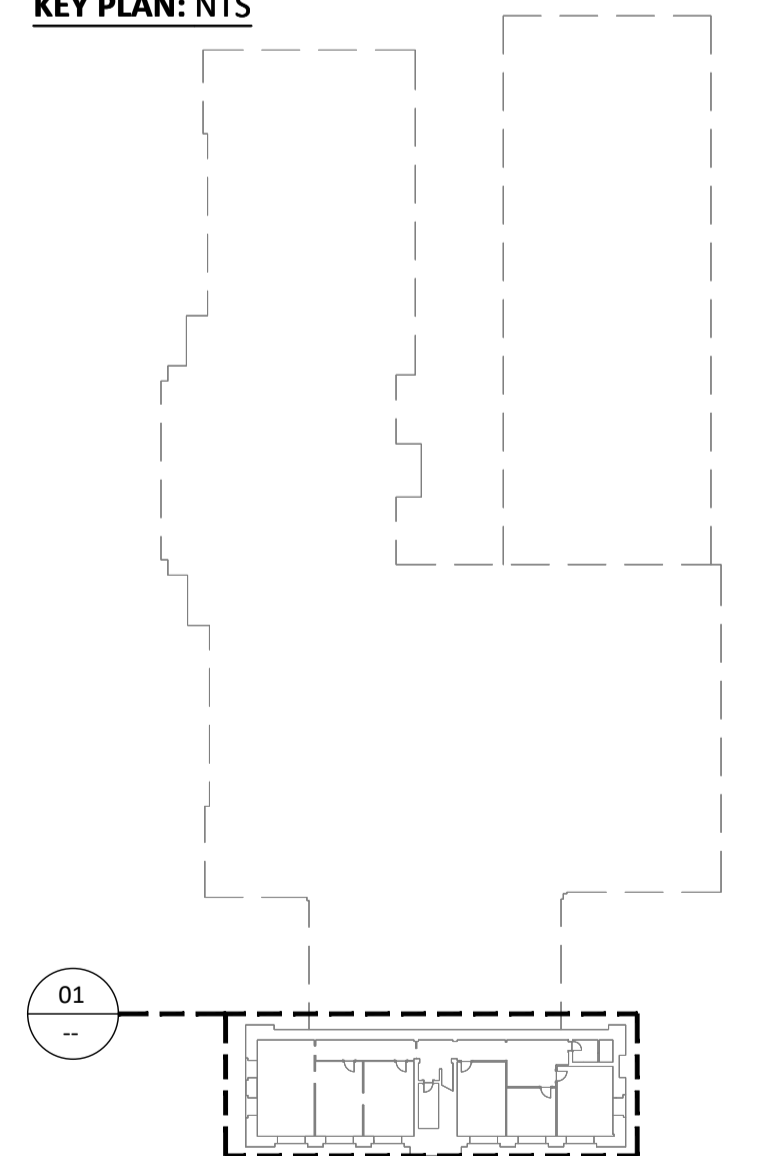
WORKS NOTES:

1. SETOUT IS TO BE IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
2. ALL ROOF PLUMBING TO COMPLY WITH AS 3500.3.2
3. ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS 2179.1
4. ALL FLASHING AND CAPPING TO COMPLY WITH AS 2904
5. CONNECT NEW STORMWATER SERVICES TO EXISTING LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE REGULATING AUTHORITY.
6. ALL HYDRAULIC SERVICE RISERS TO BE LINED IN PAINTED 13MM PLASTERBOARD AND PIPES WRAPPED WITH 4KG/M3 ACOUSTIC PIPE LAGGING
7. ALL MECHANICAL SERVICE RISERS TO BE LINED IN PAINTED 13MM PLASTERBOARD WHERE EXPOSED
8. ALL SERVICES, ELECTRICAL METERS OR DISTRIBUTION BOARDS LOCATED IN THE PATHS OF TRAVEL TO AN EXIT MUST BE IN NON-COMBUSTIBLE ENCLOSURES WITH SMOKE SEALS TO ENCLOSURE DOORS.
9. ALL REPLACEMENT GLAZING TO WINDOWS TO COMPLY WITH AS1288 AS PER THE SPECIFICATION.



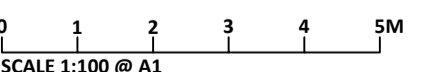
01 -- PROPOSED BASEMENT PLAN
1:100

KEY PLAN: NTS



01 --

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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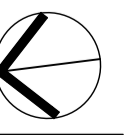
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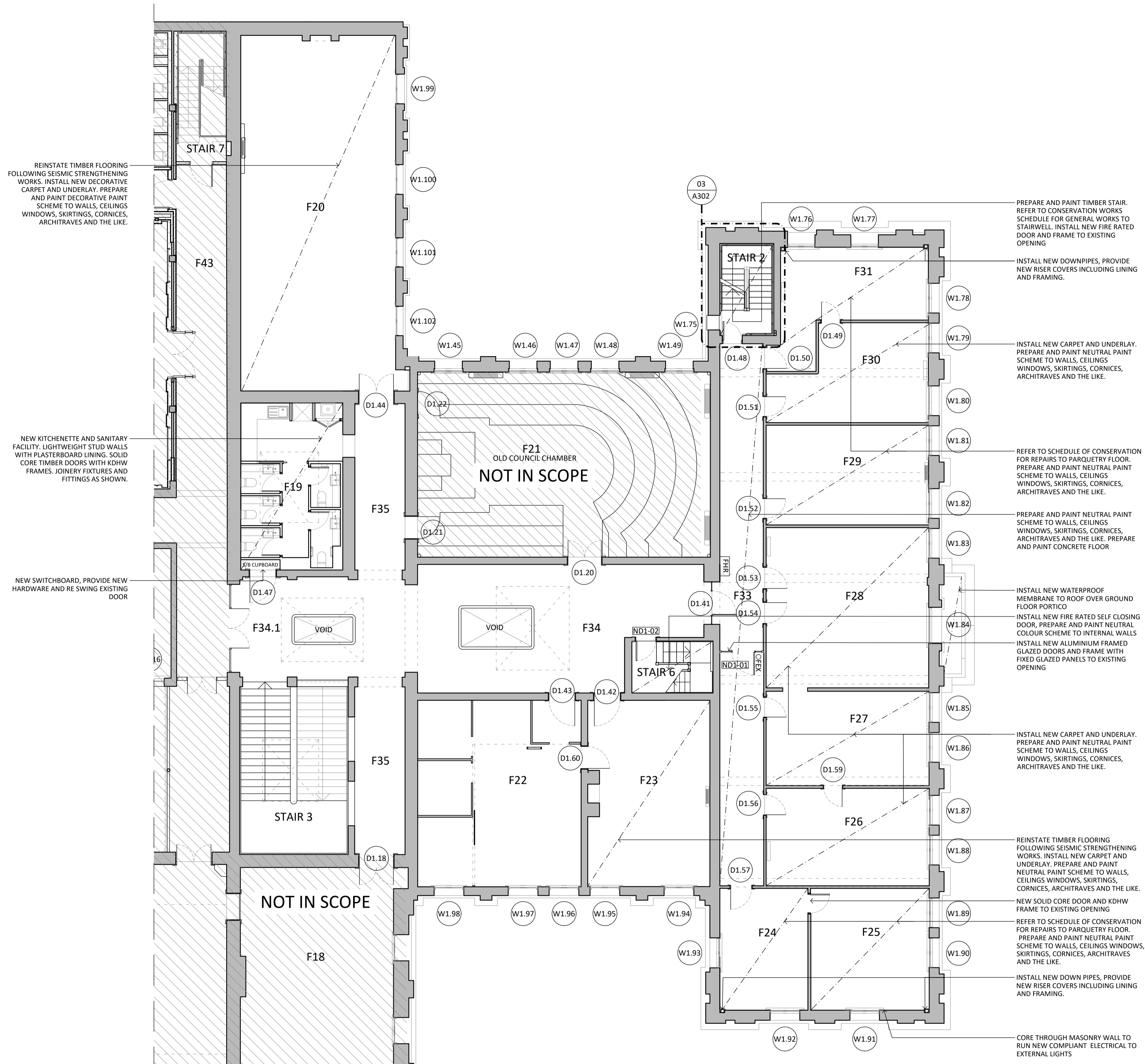
PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY
DRAWN TM CHECKED SH PROJECT NO. 10048 DATE JUNE 2024

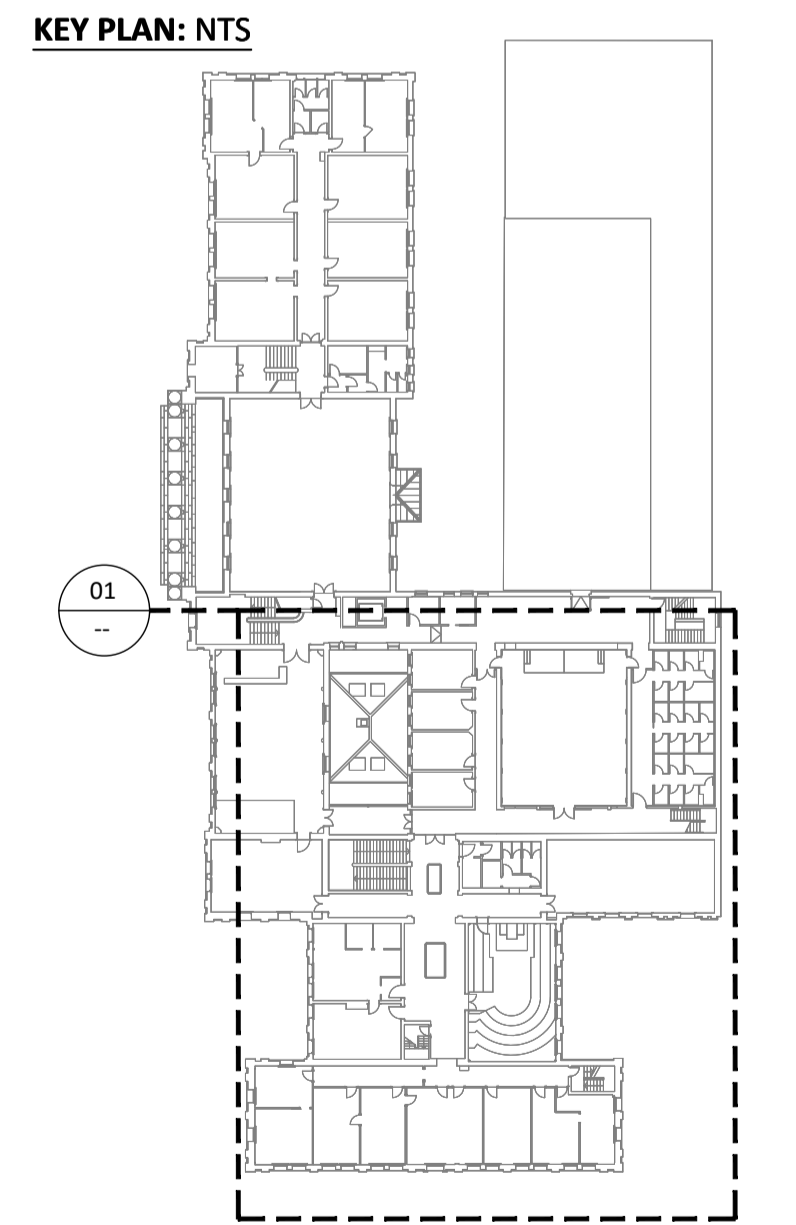
DRAWING TITLE
PROPOSED
BASEMENT PLAN

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE
ISSUE AUTHORITY SCALE 1:100@A1 DRAWING NO. A-200 REVISION DD1



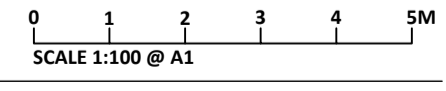


- GENERAL NOTES:**
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 2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
 3. DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY. DRAWINGS AT A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
 4. ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT FOR QUANTIFICATION AND CONSTRUCTION PURPOSES.
 5. MEASURED DRAWINGS ARE BASED ON THE EXTERNAL FINISH FACE OF WALLS.
- WORKS NOTES:**
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 2. ALL ROOF PLUMBING TO COMPLY WITH AS 3500.3.2
 3. ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS 2179.1
 4. ALL FLASHING AND CAPPING TO COMPLY WITH AS 2904
 5. CONNECT NEW STORMWATER SERVICES TO EXISTING LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE REGULATING AUTHORITY.
 6. ALL HYDRAULIC SERVICE RISERS TO BE LINED IN PAINTED 13MM PLASTERBOARD AND PIPES WRAPPED WITH 4KG/M3 ACOUSTIC PIPE LAGGING
 7. ALL MECHANICAL SERVICE RISERS TO BE LINED IN PAINTED 13MM PLASTERBOARD WHERE EXPOSED
 8. ALL SERVICES, ELECTRICAL METERS OR DISTRIBUTION BOARDS LOCATED IN THE PATHS OF TRAVEL TO AN EXIT MUST BE IN NON-COMBUSTIBLE ENCLOSURES WITH SMOKE SEALS TO ENCLOSURE DOORS.
 9. ALL REPLACEMENT GLAZING TO WINDOWS TO COMPLY WITH AS1288 AS PER THE SPECIFICATION.



01 PROPOSED FIRST FLOOR PLAN
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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BCE DESIGN
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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

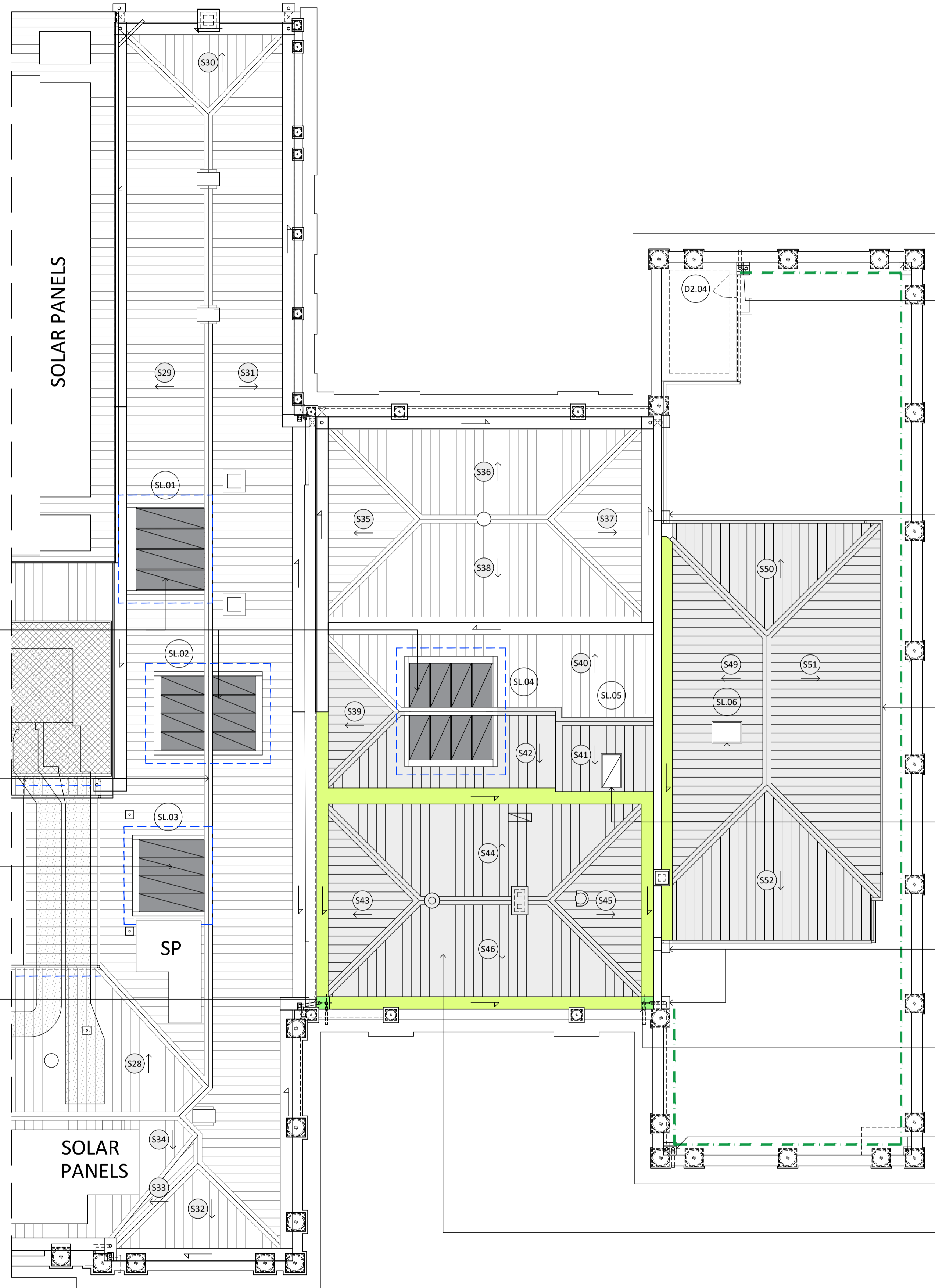
LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
JT	SH	10048	JUNE 2024

DRAWING TITLE
PROPOSED
FIRST FLOOR PLAN

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-202	DD1



INSTALL NEW COMPLIANT OPAQUE GLAZING TO SKYLIGHTS SL.01, SL.02, SL.04. RETAIN EXISTING GALVANISED FRAMING

REINSTATE RIDGE CAPPING

INSTALL NEW COMPLIANT OPAQUE GLAZING TO SKYLIGHTS SL.03. RETAIN EXISTING GALVANISED FRAMING

INSTALL NEW SUMP WITH OVERFLOW REFER HYDRAULIC ENGINEER'S DOCUMENTATION FOR SUMP AND OVERFLOW DETAILS

REPLACE DOWN PIPES AND CONNECTION TO EXISTING SUMP. ALLOW TO LOCALLY REPAIR WATERPROOF MEMBRANE FOLLOWING WORKS.

INSTALL NEW GRADE 316 STAINLESS STEEL RAINWATER HEAD REFER TO HYDRAULIC ENGINEER'S DOCUMENTATION FOR DETAILS

INSTALL NEW GALVANISED CORRUGATED ROOF SHEETING INCLUDING RIDGE CAPPING TO S49, S50, S51 AND S52 SLOPES. PROVIDE BOX GUTTER TO S49 AND EAVES GUTTERS TO S50, S51 AND S52 SLOPES. PROVIDE NEW ROOF INSULATION, TIMBER BATTENS AND MOISTURE PERMEABLE MEMBRANE.

NEW FIXED ALUMINIUM SKYLIGHTS SLO. SLO.06, PROVIDE NEW TIMBER FRAMING TO SUPPORT.

INSTALL NEW GRADE 316 STAINLESS STEEL RAINWATER HEAD REFER TO HYDRAULIC ENGINEER'S DOCUMENTATION FOR DETAILS

INSTALL NEW SUMP WITH OVERFLOW REFER HYDRAULIC ENGINEER'S DOCUMENTATION FOR SUMP AND OVERFLOW DETAILS

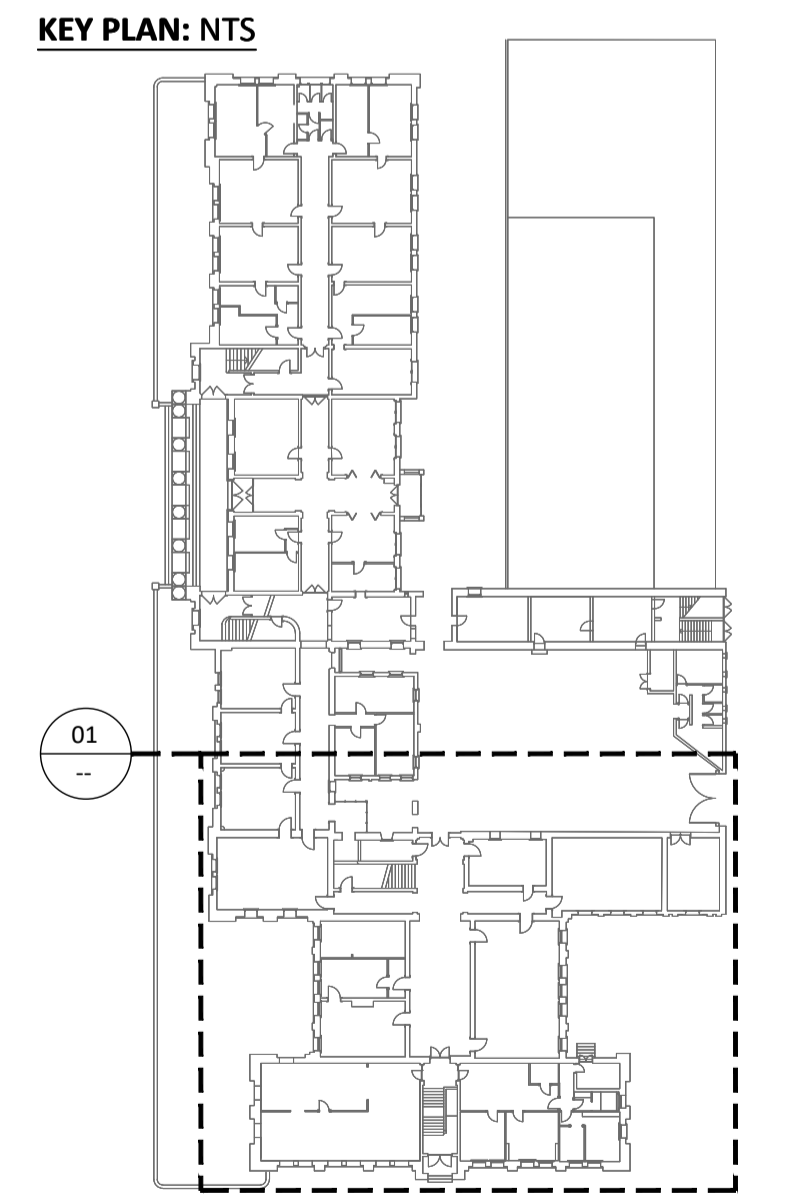
REPLACE DOWN PIPES AND CONNECTION TO EXISTING SUMP AS PER HYDRAULIC ENGINEER'S SPECIFICATION. ALLOW TO LOCALLY REPAIR WATERPROOF MEMBRANE FOLLOWING WORKS.

INSTALL NEW GALVANISED CORRUGATED ROOF SHEETING TO S39, S41, S42, S43, S44, S45, S46, INCLUDING NEW RIDGE CAPPINGS.

- GENERAL NOTES:**
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
 - ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
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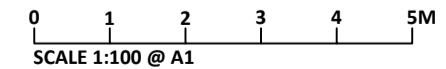
- ROOF NOTES:**
- CONTRACTOR TO PROVIDE PROTECTION TO ALL OPEN SLOPES DURING WORKS, REPLACING ROOF IN MANAGEABLE SECTIONS AT A TIME SO AS NOT TO LEAVE ROOF EXPOSED TO THE WEATHER.
 - INSTALL NEW REFLECTIVE FOIL SARKING TO ALL SLOPES NOMINATED FOR NEW SHEETS IN ACCORDANCE WITH THE SPECIFICATION.
 - ALLOW TO REPLACE 10% OF THE ROOF BATTENS TO SLOPES NOMINATED FOR NEW SHEETS, FOLLOWING REVIEW AND CONFIRMATION BY SUPERINTENDENT.
 - INSTALL NEW CORRUGATED GALVANISED ROOF SHEETING, CAPPING AND FLASHING TO SLOPES S01-S06, S07-S09 AND S27, FIXED TO EXISTING BATTENS WITH GRADE 316 STAINLESS STEEL ROOFING SCREWS.
 - REPLACEMENT OF ALL BOX GUTTERS IN GRADE 316 STAINLESS STEEL
 - REFER STRUCTURAL ENGINEERS DRAWINGS FOR ROOF STRENGTHENING WHICH PROVIDES A NEW BASE FOR BOX GUTTERS, ENSURE FALLS TO SUMPS AS NOMINATED.
 - WHERE ROOF STRENGTHENING IS NOT REQUIRED ALLOWING FOR NEW SUPPORT STRUCTURE AND MODIFICATION OF FALLS TO SUMPS AS NOMINATED.
 - ALLOW FOR EXPANSION JOINTS IN BOX GUTTERS IN ACCORDANCE WITH AS 3500.3
 - BOX GUTTERS TO HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40.
 - REPLACE ALL COVER FLASHINGS IN GRADE 316 STAINLESS STEEL.
 - INSTALL NEW SUMPS WITH OVERFLOWS TO NOMINATED LOCATIONS IN GRADE 316 STAINLESS STEEL.
 - PROVIDE NEW SUPPORT STRUCTURE IN ACCORDANCE WITH AS 3500.
 - INSTALL NEW EPDM FLASHINGS TO ALL EXISTING SERVICE PENETRATIONS IN ALL SLOPES NOMINATED FOR NEW SHEETS

- LEGEND:**
- NEW SUMP
 - NEW SIDE OVERFLOW
 - NEW BOX GUTTER
 - NEW CORRUGATED GALVANISED ROOF SHEETING
 - NEW FALL PROTECTION GUARD RAILS
 - EXISTING SOLAR PANELS
 - STRUCTURAL STRENGTHENING INCLUDING RESTRAINT OF PARAPET



01 PROPOSED ROOF PLAN
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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www.lovellichen.com.au

PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

DRAWN	CHECKED	PROJECT NO.	DATE
TM	SH	10048	JUNE 2024

DRAWING TITLE
PROPOSED
ROOF PLAN

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-203	DD1

GENERAL NOTES:

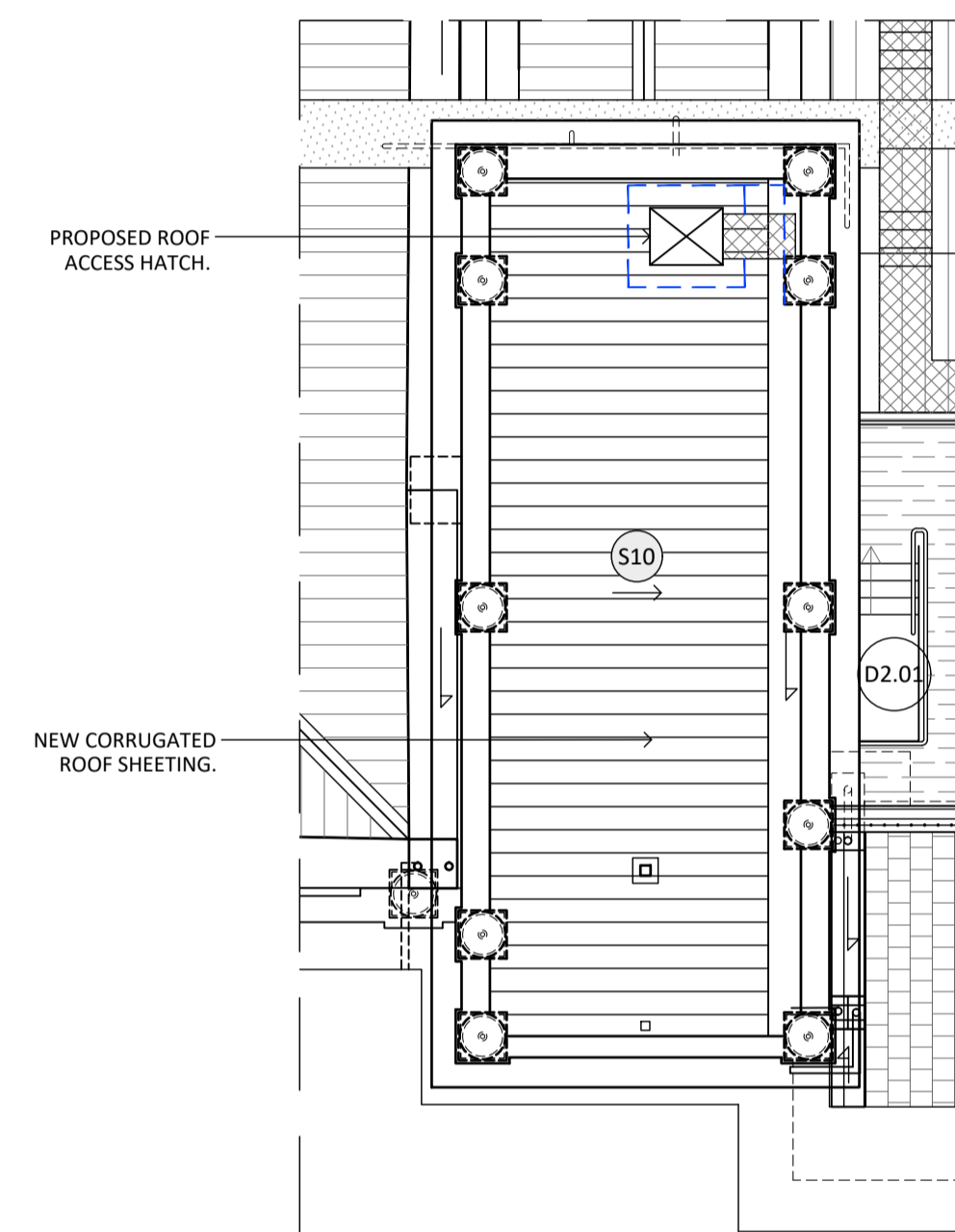
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5. MEASURED DRAWINGS ARE BASED ON THE EXTERNAL FINISH FACE OF WALLS.

ROOF NOTES:

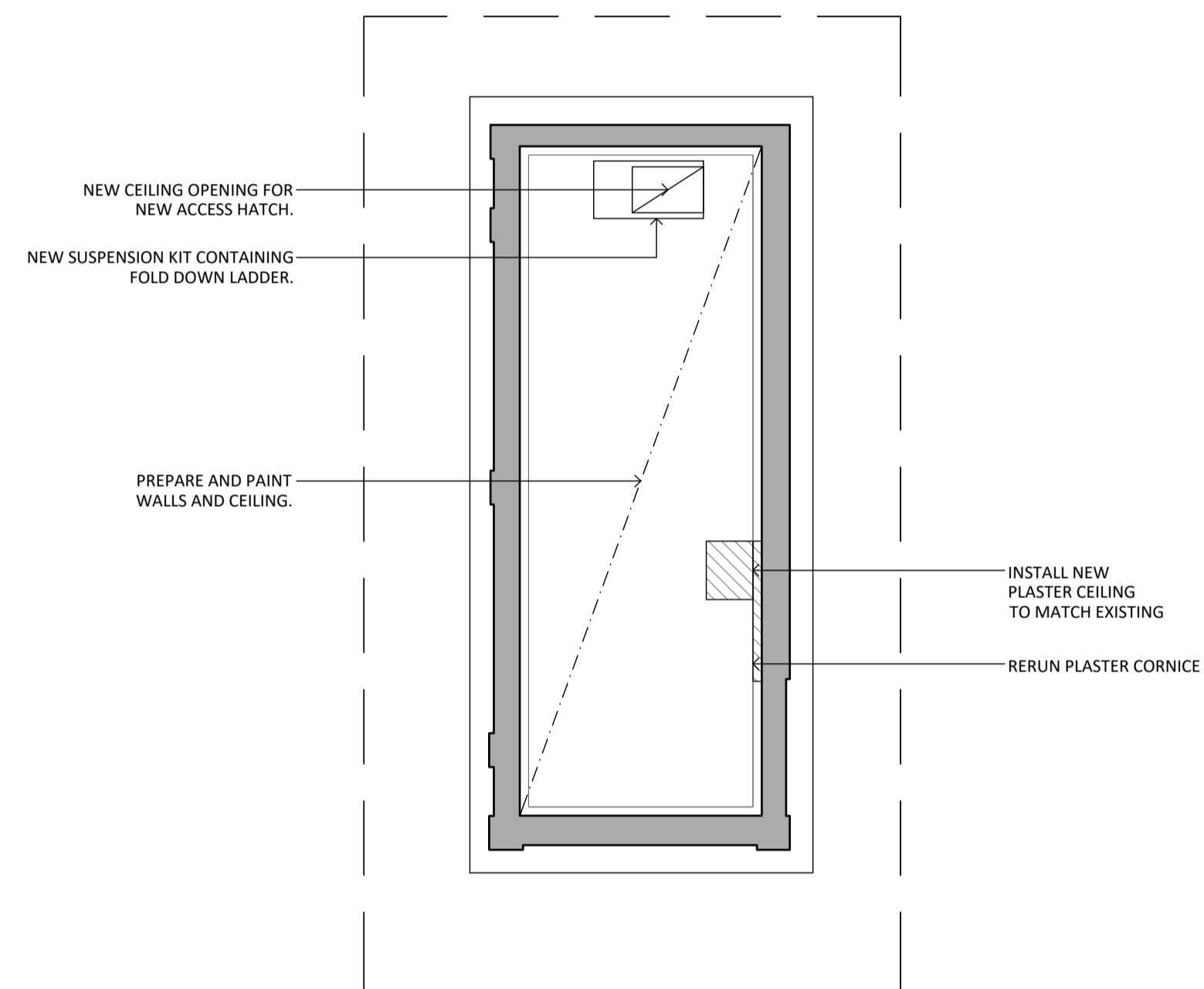
1. CONTRACTOR TO PROVIDE PROTECTION TO ALL OPEN SLOPES DURING WORKS, REPLACING ROOF IN MANAGEABLE SECTIONS AT A TIME SO AS NOT TO LEAVE ROOF EXPOSED TO THE WEATHER.
2. INSTALL NEW REFLECTIVE FOIL SARKING TO ALL SLOPES NOMINATED FOR NEW SHEETS IN ACCORDANCE WITH THE SPECIFICATION.
3. ALLOW TO REPLACE 10% OF THE ROOF BATTENS TO SLOPES NOMINATED FOR NEW SHEETS, FOLLOWING REVIEW AND CONFIRMATION BY SUPERINTENDENT.
4. INSTALL NEW CORRUGATED GALVANISED ROOF SHEETING, CAPPING AND FLASHING TO SLOPES S01-S06, S07-S09 AND S27, FIXED TO EXISTING BATTENS WITH GRADE 316 STAINLESS STEEL ROOFING SCREWS.
5. REPLACEMENT OF ALL BOX GUTTERS IN GRADE 316 STAINLESS STEEL
6. REFER STRUCTURAL ENGINEERS DRAWINGS FOR ROOF STRENGTHENING WHICH PROVIDES A NEW BASE FOR BOX GUTTERS, ENSURE FALLS TO SUMPS AS NOMINATED.
7. WHERE ROOF STRENGTHENING IS NOT REQUIRED ALLOWING FOR NEW SUPPORT STRUCTURE AND MODIFICATION OF FALLS TO SUMPS AS NOMINATED.
8. ALLOW FOR EXPANSION JOINTS IN BOX GUTTERS IN ACCORDANCE WITH AS 3500.3.
9. BOX GUTTERS TO HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40.
10. REPLACE ALL COVER FLASHINGS IN GRADE 316 STAINLESS STEEL.
11. INSTALL NEW SUMPS WITH OVERFLOWS TO NOMINATED LOCATIONS IN GRADE 316 STAINLESS STEEL.
12. PROVIDE NEW SUPPORT STRUCTURE IN ACCORDANCE WITH AS 3500.
13. INSTALL NEW EPDM FLASHINGS TO ALL EXISTING SERVICE PENETRATIONS IN ALL SLOPES NOMINATED FOR NEW SHEETS

LEGEND:

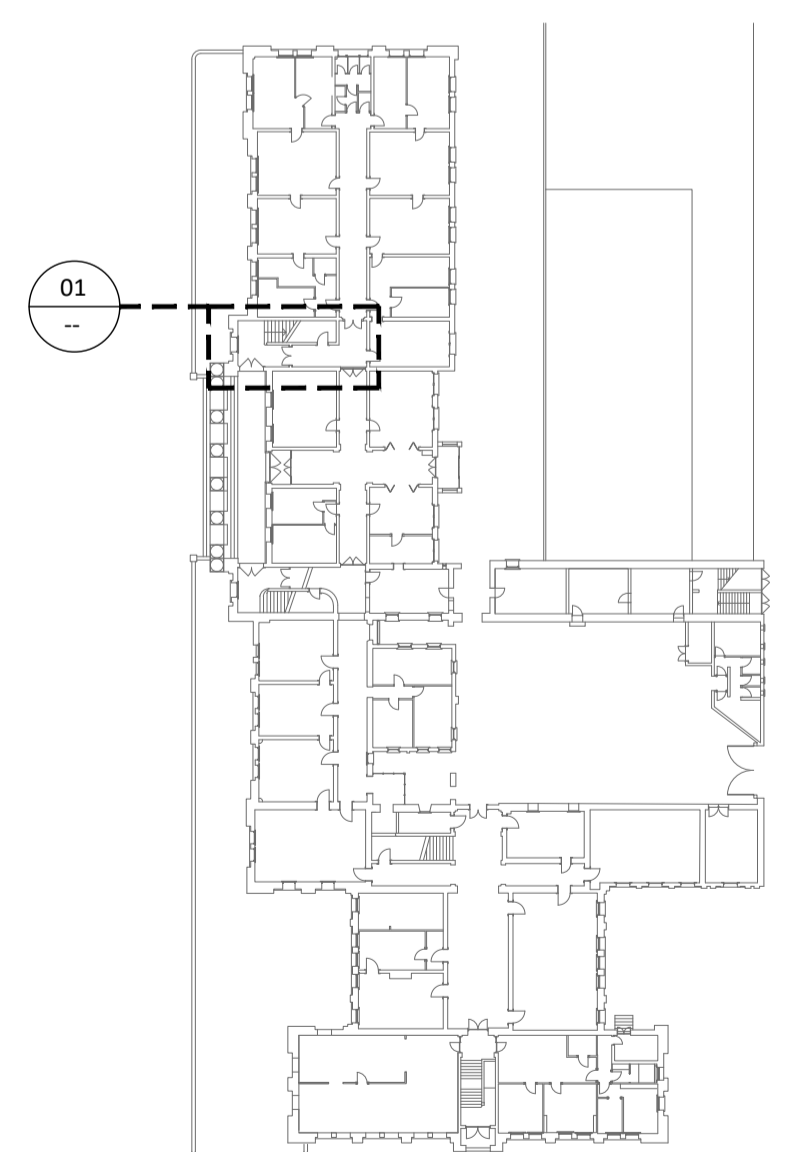
- NEW FALL PROTECTION GUARD RAILS
- ⊗ ACCESS HATCH



01 PROPOSED NORTH TOWER ROOF PLAN
1:100



01 PROPOSED NORTH TOWER ROOF RCP
1:100



NOT FOR CONSTRUCTION

0 1 2 3 4 5M
SCALE 1:100 @ A1

NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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STRUCTURE
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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING
LOCATED ON WURUNDJERI COUNTRY
DRAWN TM CHECKED SH PROJECT NO. 10048 DATE JUNE 2024

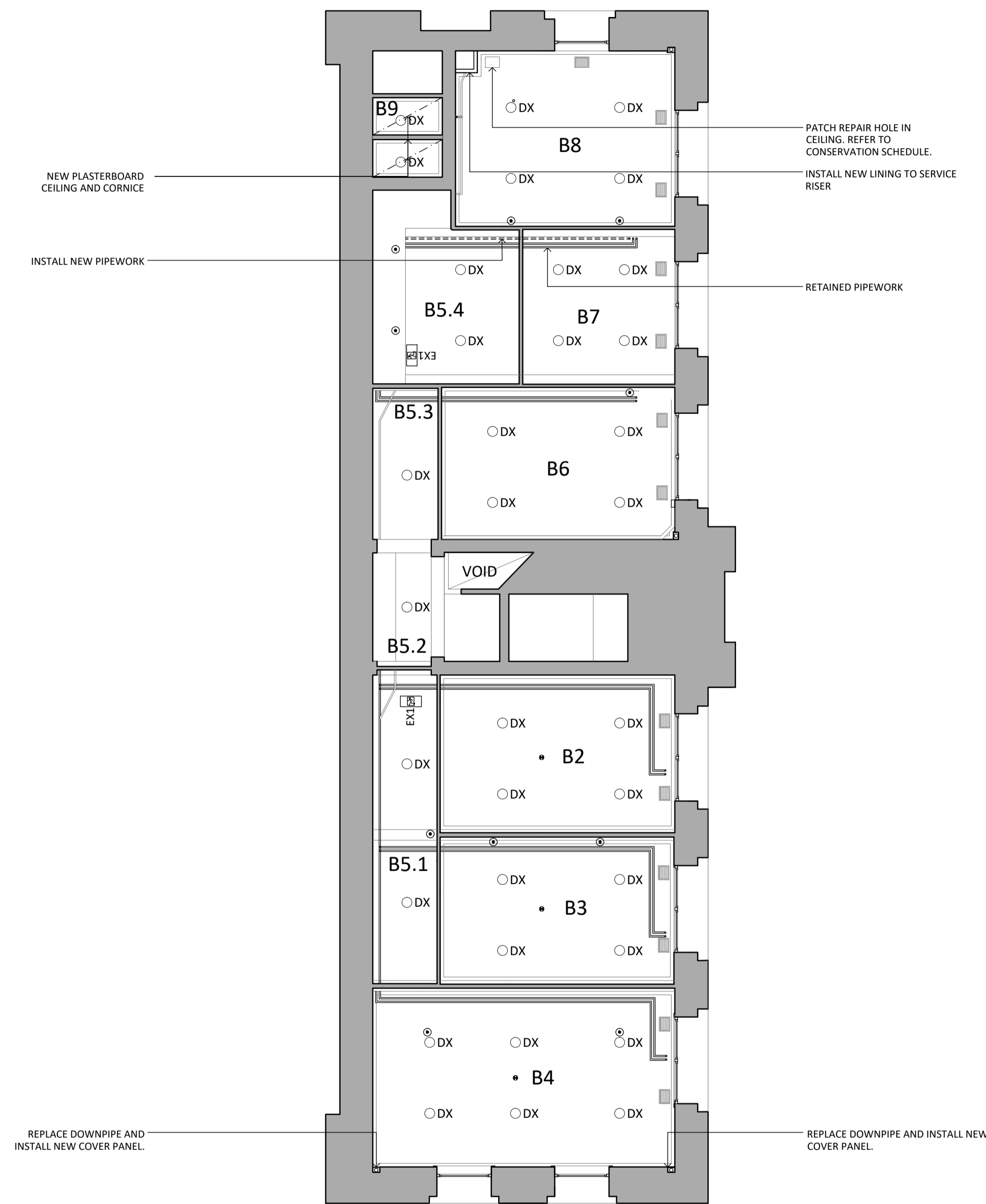
DRAWING TITLE
PROPOSED NORTH TOWER ROOF PLAN AND REFLECTED CEILING PLAN
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE
ISSUE AUTHORITY SCALE 1:100@A1 DRAWING NO. A-204 REVISION DD1

GENERAL NOTES:

1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
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WORKS NOTES:

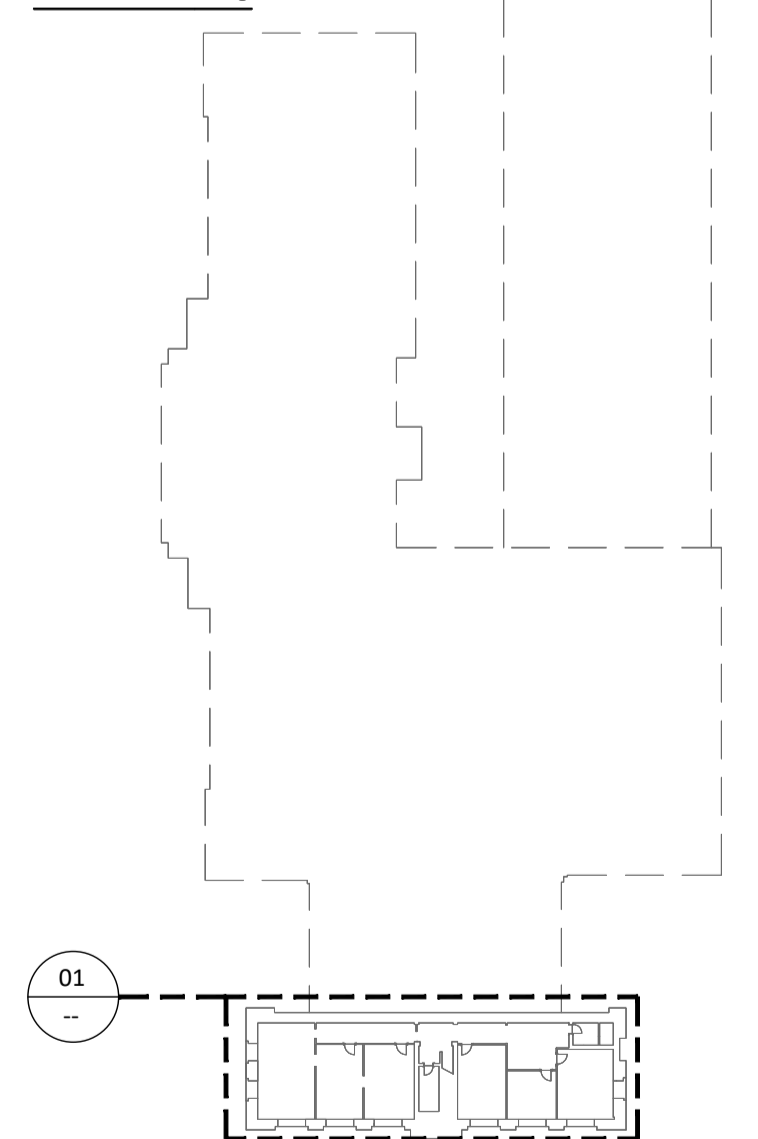
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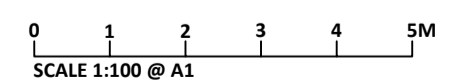
PROPOSED CEILING WORKS LEGEND:

- DX NEW DOWNLIGHT
- EXISTING EMERGENCY LIGHT
- ⊙ EXISTING SPRINKLER
- EX1 EXISTING EXIT SIGN

KEY PLAN: NTS



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NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
TM	SH	10048	JUNE 2024

DRAWING TITLE
PROPOSED BASEMENT RCP

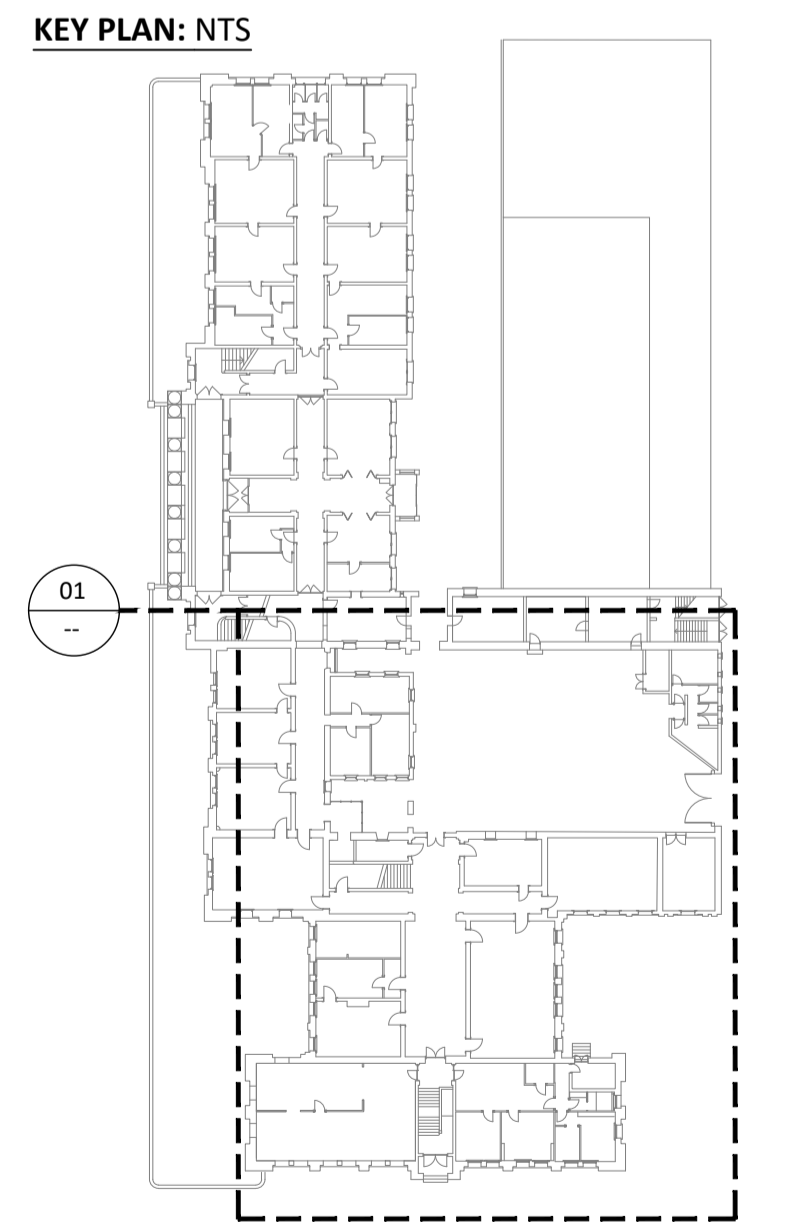
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-210	DD1



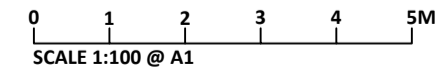
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- PROPOSED CEILING WORKS LEGEND:**
- DX NEW DOWNLIGHT
 - ⊙ REFURBISHED EXISTING PENDANT
 - ⊕ EXISTING EMERGENCY LIGHT
 - ⊗ EXISTING SPRINKLER
 - ⊠ EXISTING EXIT SIGN



01 PROPOSED GROUND FLOOR PLAN RCP
1:100

NOT FOR CONSTRUCTION



NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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www.lovellichen.com.au

PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
JT	SH	10048	JUNE 2024

DRAWING TITLE
PROPOSED
GROUND FLOOR PLAN RCP

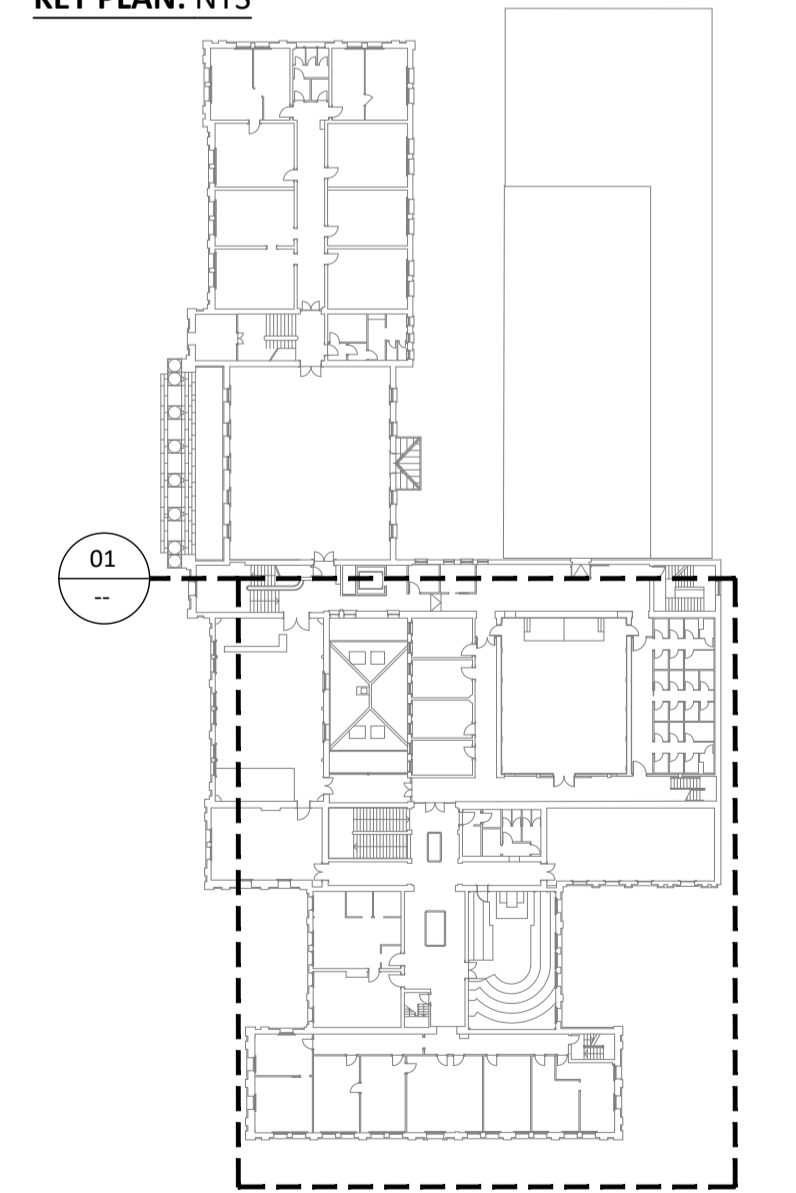
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-211	DD1



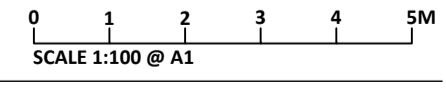
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- CEILING WORKS LEGEND:**
- ⊙ DX NEW DOWNLIGHT
 - ⊕ REFURBISHED EXISTING PENDANT
- KEY PLAN: NTS**



01 PROPOSED FIRST FLOOR PLAN RCP
1:100

NOT FOR CONSTRUCTION



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SUITE 428, 838 COLLINS STREET, 3008

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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
JT	SH	10048	JUNE 2024

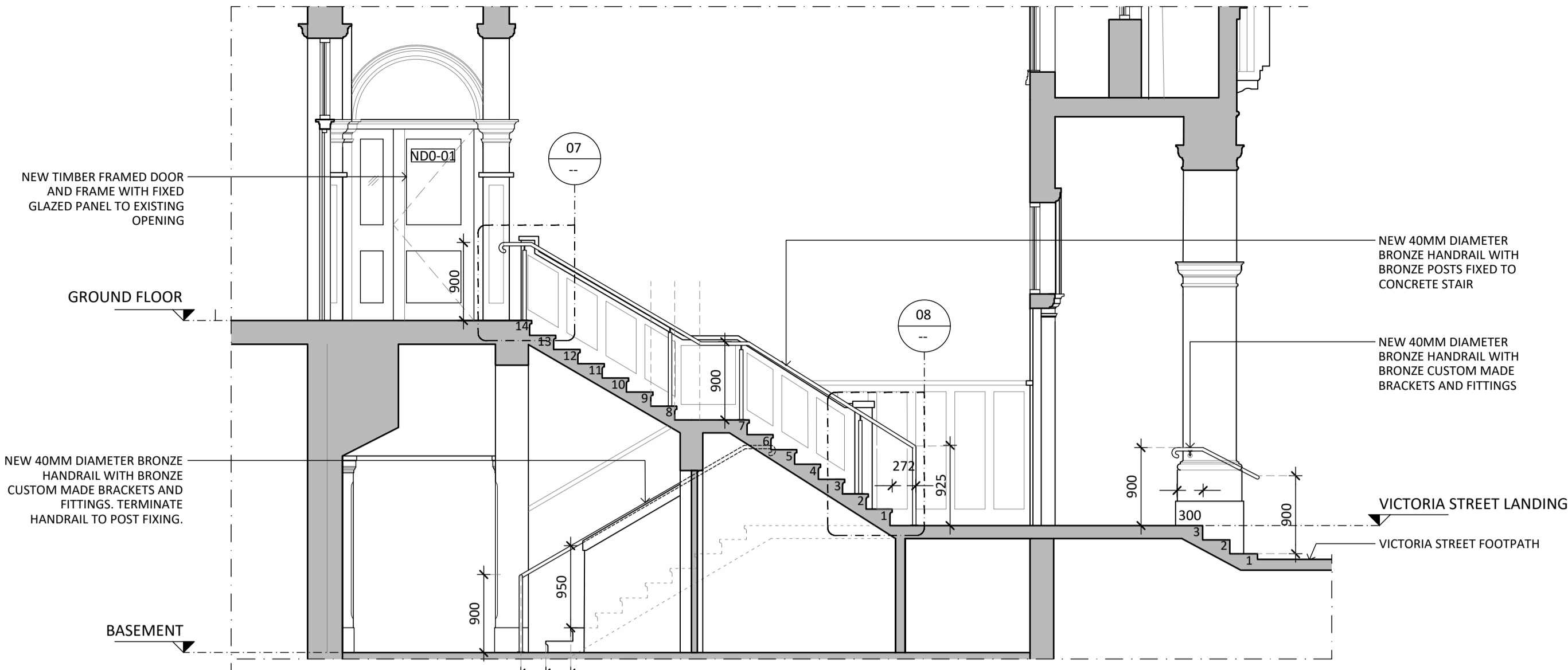
DRAWING TITLE
PROPOSED
FIRST FLOOR PLAN RCP

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

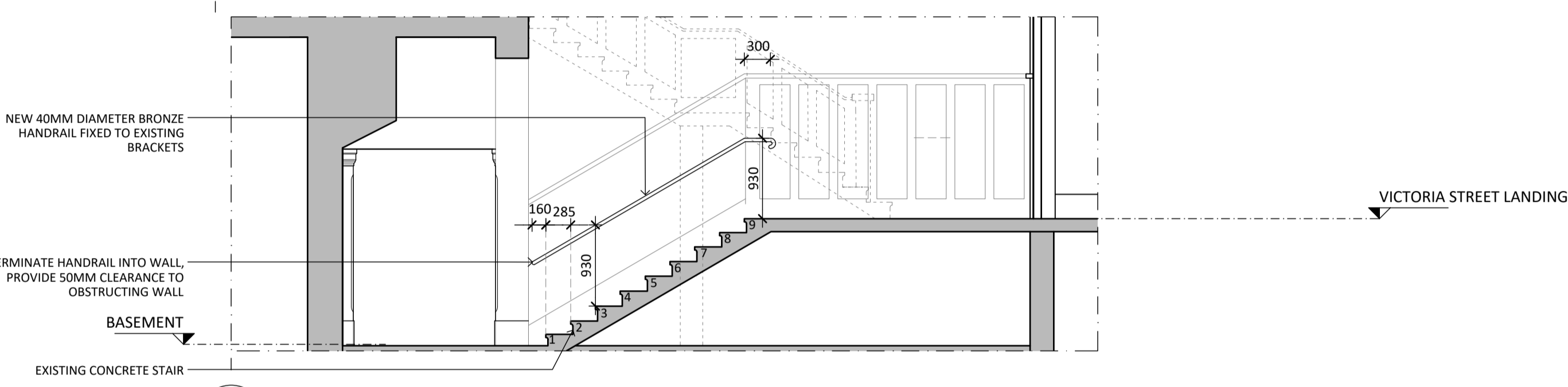
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:100@A1	A-212	DD1

- GENERAL NOTES:**
1. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
 2. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
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 5. MEASURED DRAWINGS ARE BASED ON THE EXTERNAL FINISH FACE OF WALLS.

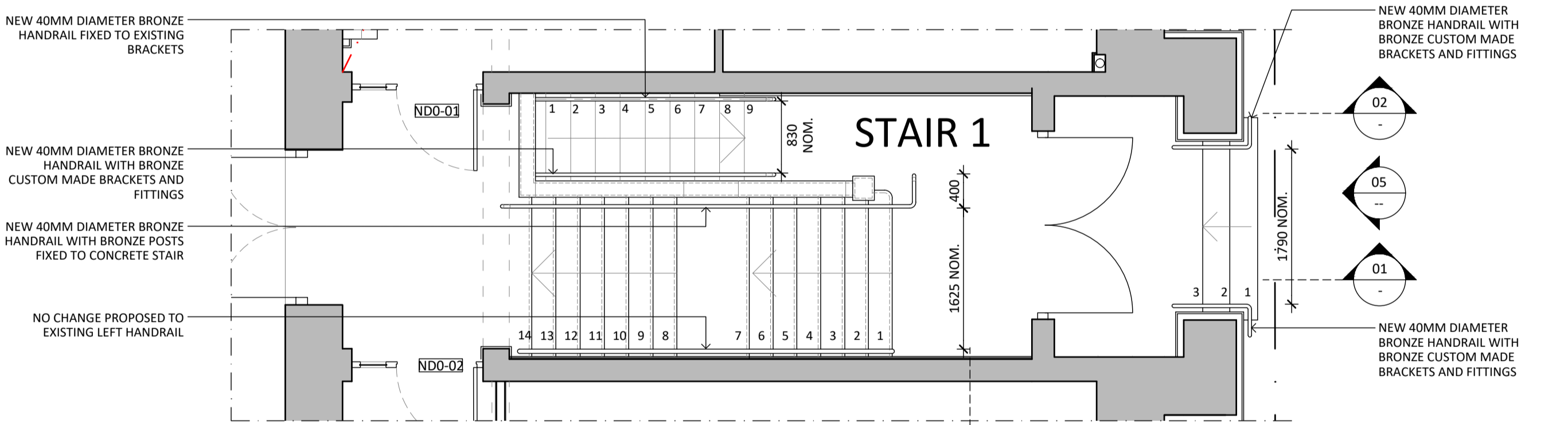
- HANDRAIL / BALUSTRADE NOTES:**
1. HANDRAIL / BALUSTRADE TO BE IN COMPLIANCE WITH AS1428.1-2009.
 2. POSTS ON LANDINGS/FLOORS: FIXING METHOD TO BE CONFIRMED ON SITE, ASSUME BOLT FIXING THROUGH A BASE PLATE.
 3. CLEARANCE BETWEEN A HANDRAIL AND ADJACENT WALL SURFACE OR OTHER OBSTRUCTION SHALL BE NOT LESS THAN 50MM.
 4. 125MM SPHERE MUST NOT BE ABLE TO PASS THROUGH ANY OPENING AT 1M OR MORE ABOVE FINISHED FLOOR LEVEL.
 5. INSTALL NEW NOSING STRIPS OR CONTRAST STRIPS AS SPECIFIED TO ALL NOSINGS.
 6. ALL METAL WELDED JOINTS TO BE FINISHED AS FLAT / SMOOTH SURFACES.



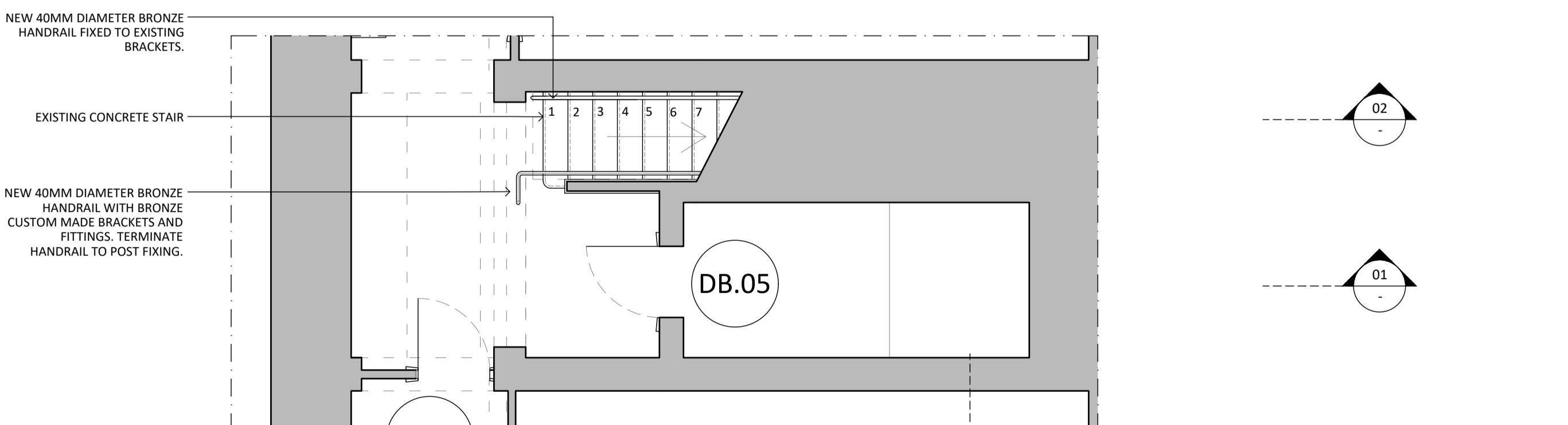
01 STAIR 1 SECTION - EAST
1:50



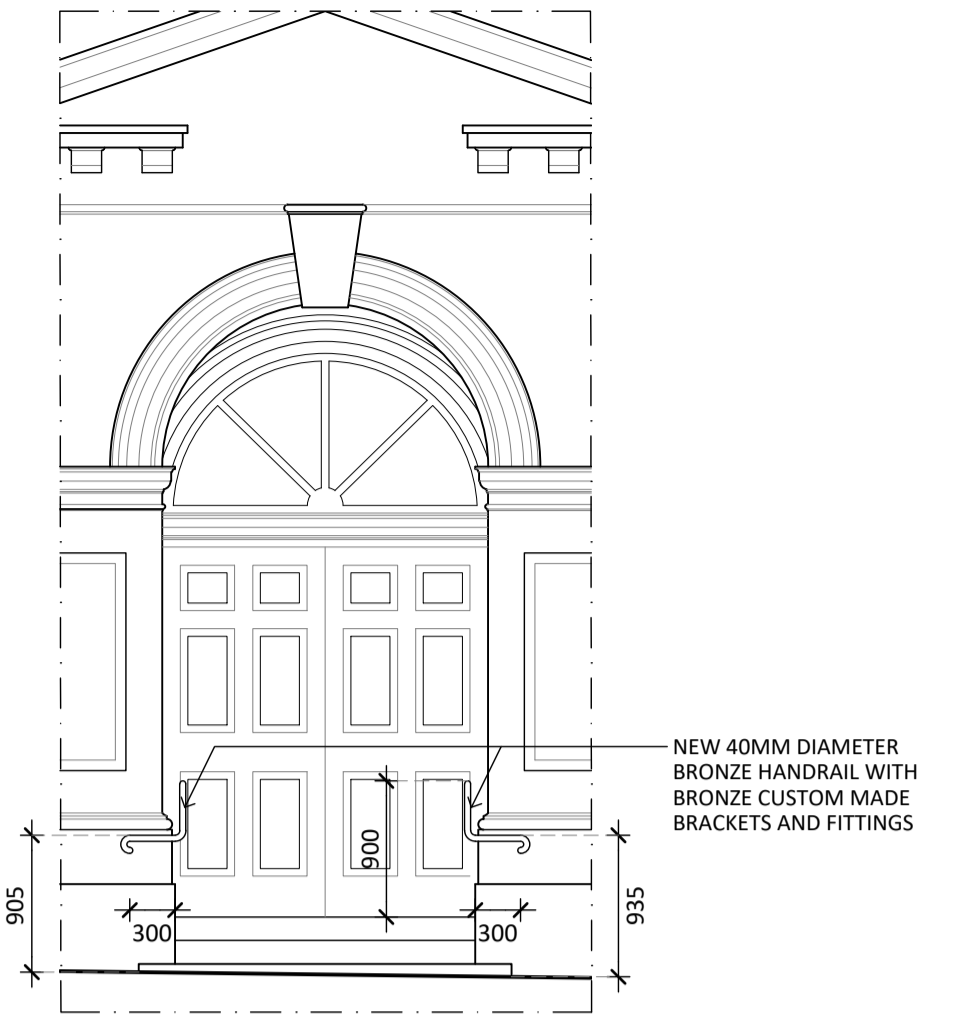
02 STAIR 1 SECTION - EAST
1:50



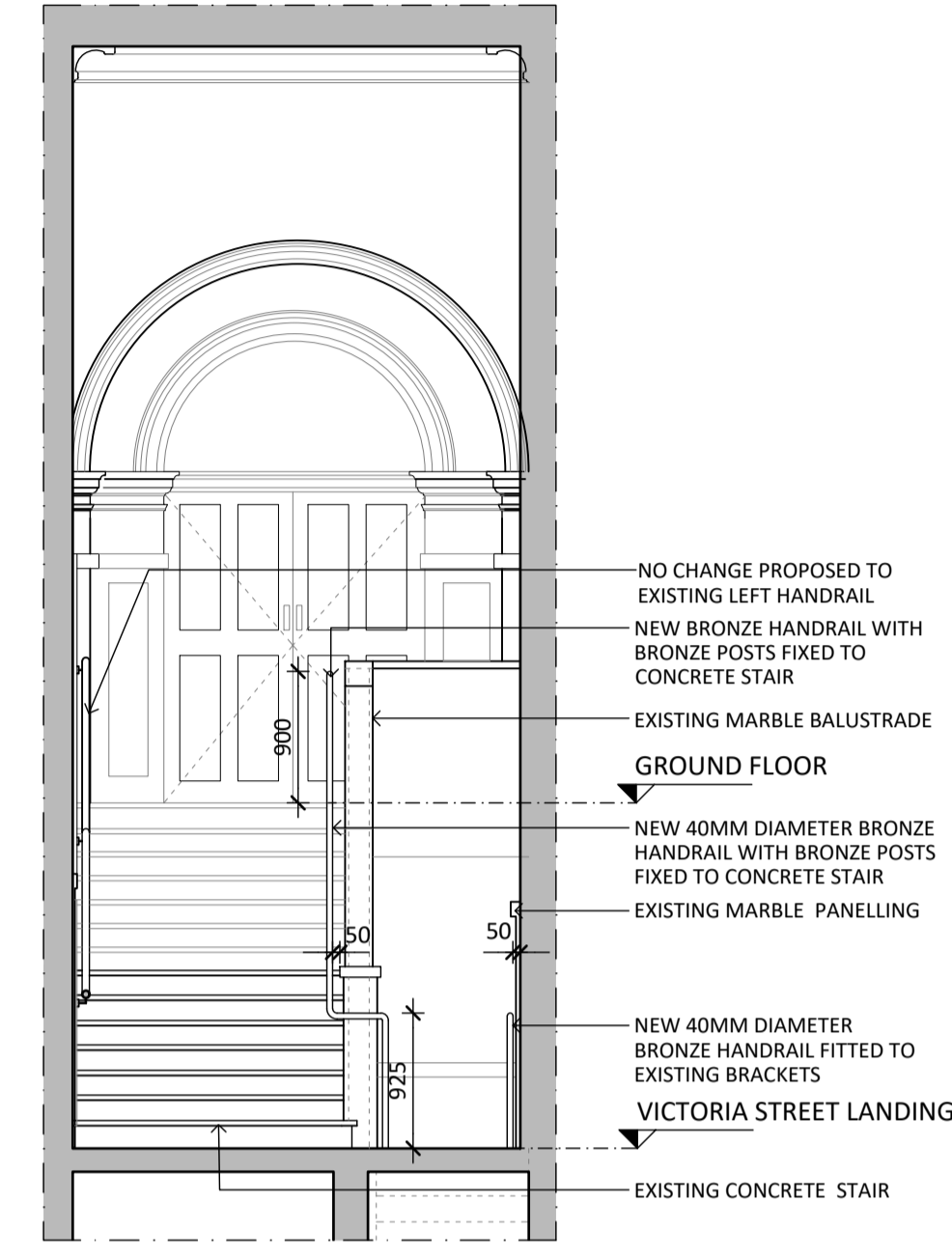
03 STAIR 1 PLAN - GROUND FLOOR PLAN
1:50



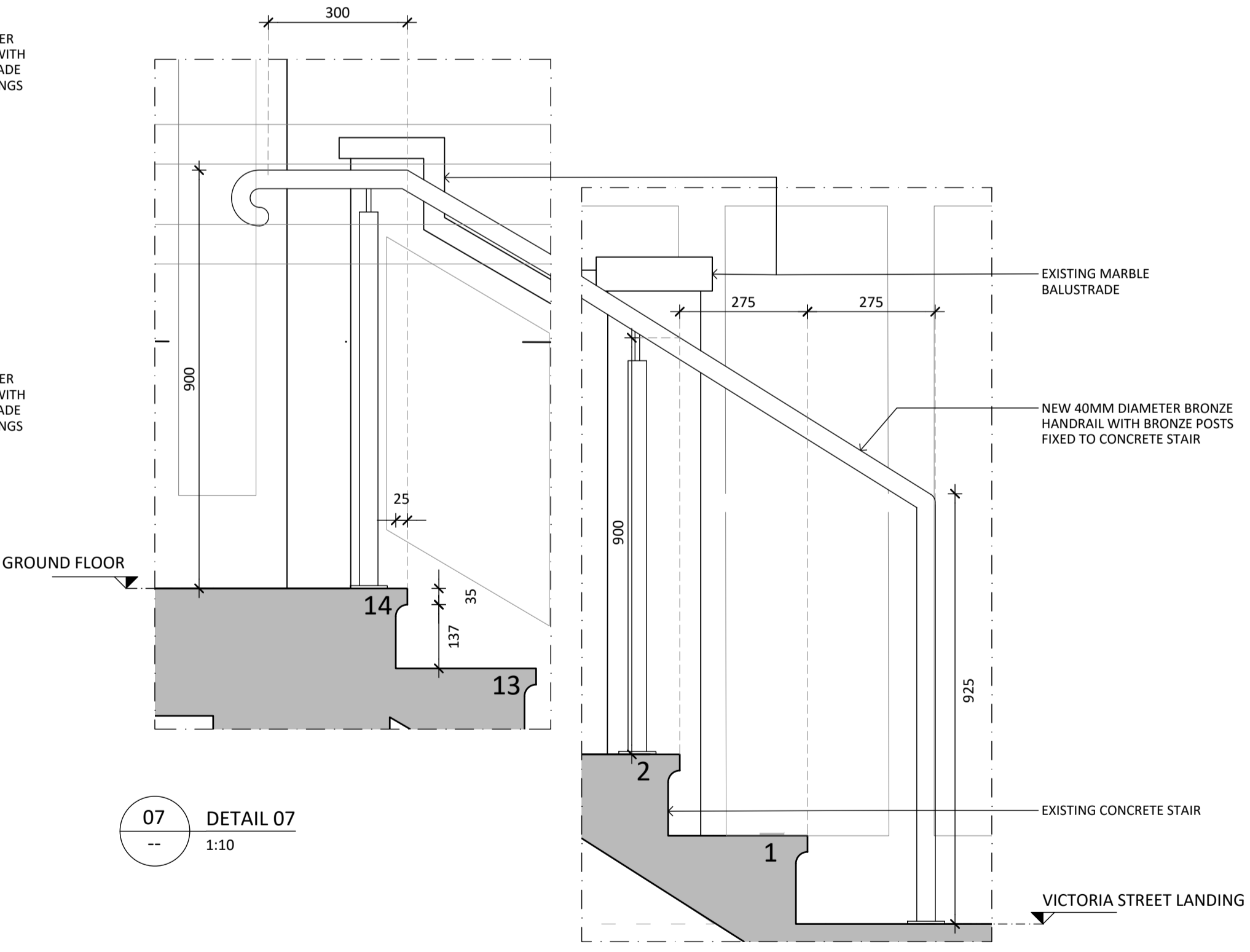
04 STAIR 1 PLAN - BASEMENT PLAN
1:50



05 VICTORIA ST - PART SOUTH ELEVATION
1:50

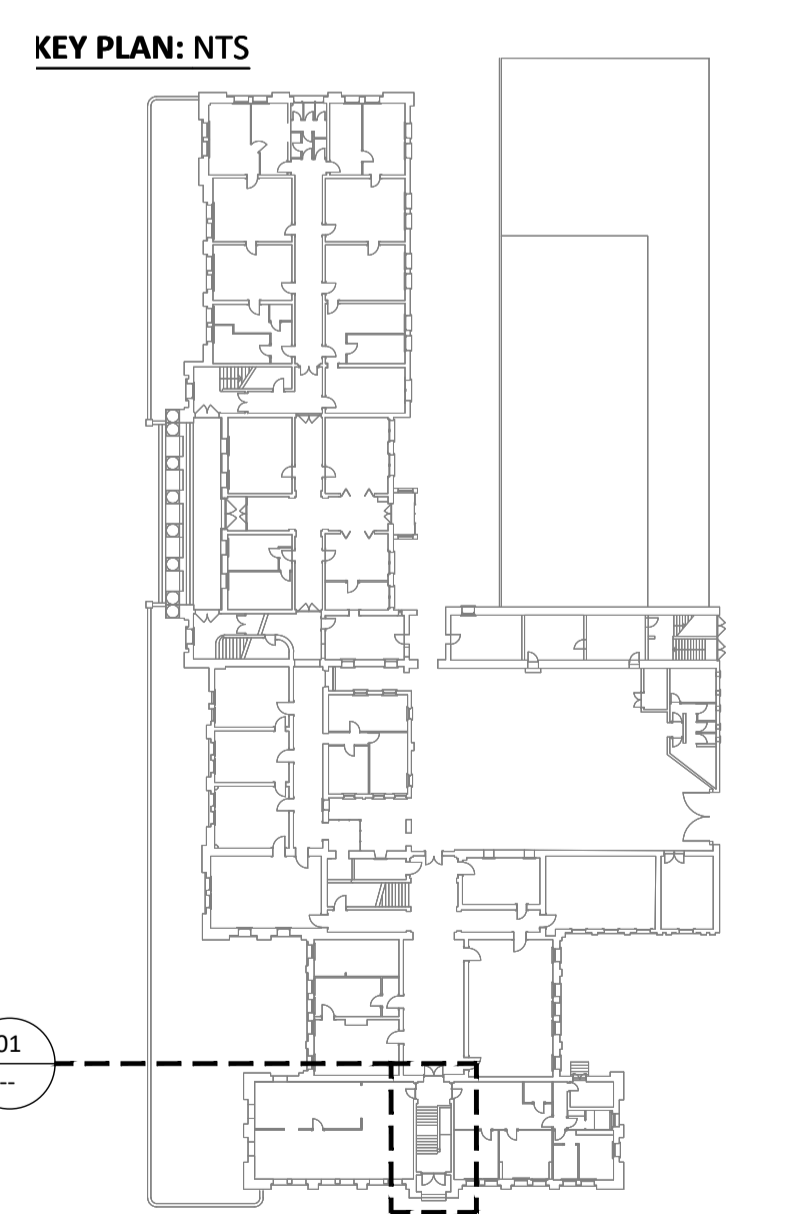


06 STAIR 1 SECTION 2 - NORTH
1:50

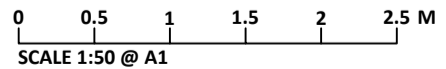


07 DETAIL 07
1:10

08 DETAIL 08
1:10



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NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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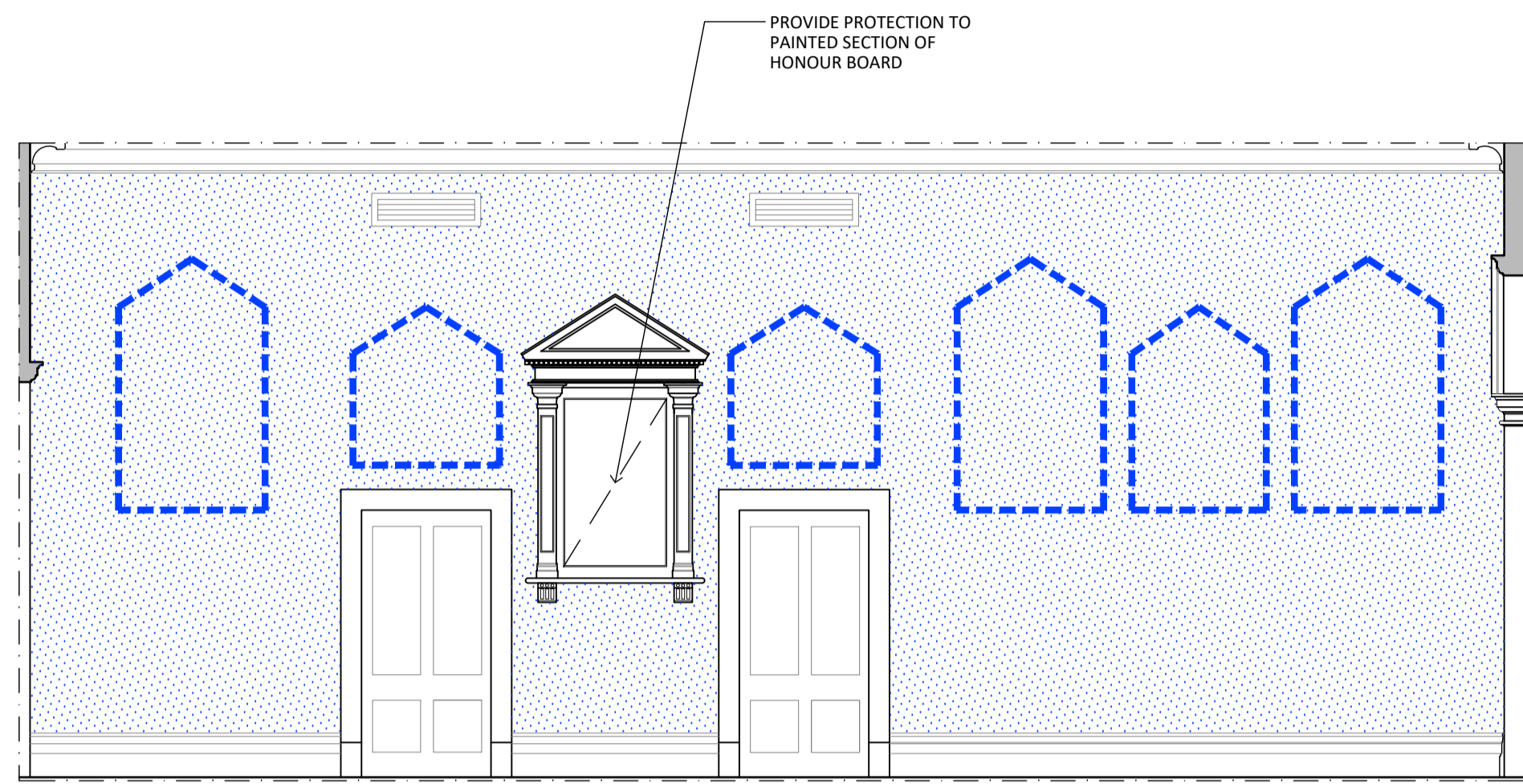
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LEVEL 1, 383 SMITH ST, FITZROY 3056



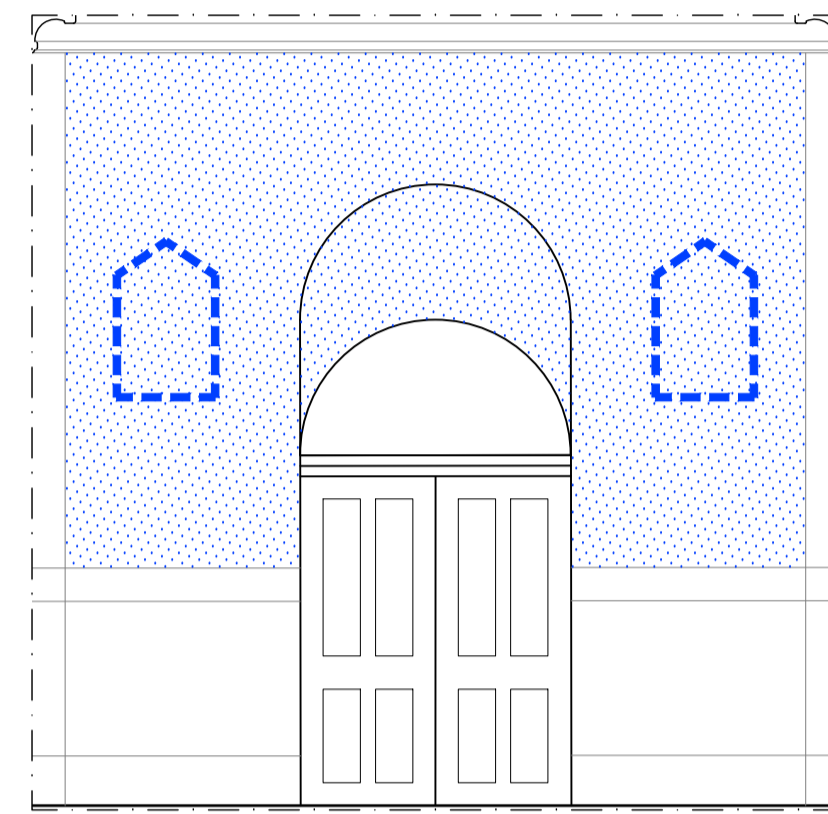
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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING
LOCATED ON WURUNDJERI COUNTRY
DRAWN: JT
CHECKED: SH
PROJECT NO.: 10048
DATE: JUNE 2024

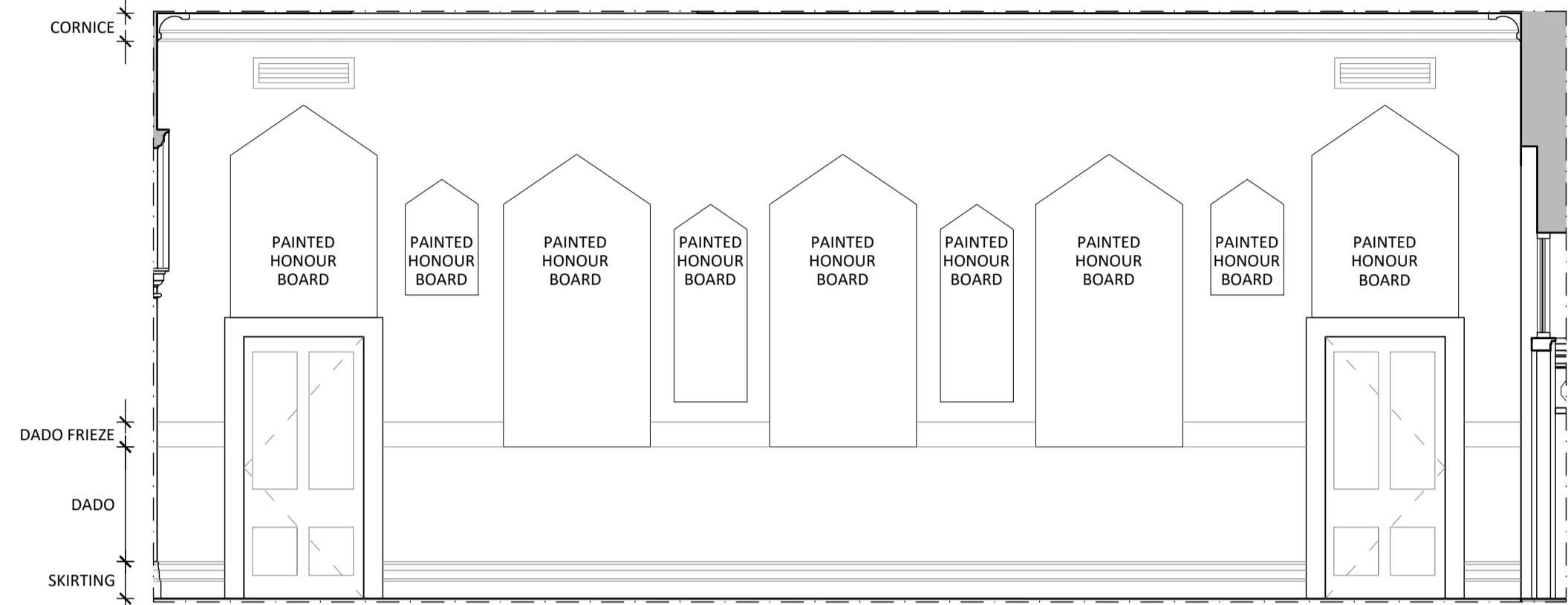
DRAWING TITLE
PROPOSED
STAIR 1 DETAILS
PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE
ISSUE: AUTHORITY
SCALE: 1:50@A1
DRAWING NO.: A-300
REVISION: DD1



01 WEST ELEVATION
1:100



02 SOUTH ELEVATION
1:100



03 EAST ELEVATION
1:100

GENERAL NOTES:

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS, MENU OF METHOD OF REPAIR AND THE ARCHITECTURAL SPECIFICATION.
- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
- ALL STRUCTURAL MEMBERS ARE INDICATIVE ONLY, REFER TO STRUCTURAL ENGINEERS DRAWINGS AND SPECIFICATIONS FOR ALL STRUCTURAL DETAILS.
- CONTRACTOR IS TO CHECK ALL DIMENSIONS AND OTHER NECESSARY INFORMATION ON SITE PRIOR TO COMMENCING WORKS OR PREPARING SHOP DRAWINGS. NOTIFY THE SUPERINTENDENT OF ANY OMISSIONS OR DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROCEEDING.
- CONTRACTOR TO VERIFY PROPOSED LEVELS ON SITE PRIOR TO COMMENCING WORKS. NOTIFY THE SUPERINTENDENT OF ANY OMISSIONS OR DISCREPANCIES AND SEEK WRITTEN ADVICE PRIOR TO PROCEEDING.
- DO NOT SCALE OFF DRAWINGS, USE DIMENSIONS ONLY.
- DRAWINGS AT A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS OF A SMALLER SCALE.
- ALL WORK TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS.

CONSERVATION WORKS NOTES:

- WORKS TO THE VICTORIA STREET FOYER (G46) WEST AND SOUTH ELEVATION CONSIST OF REMOVAL OF OVERPAINTING, CONSOLIDATION, CLEANING AND INFILL PAINTING.
- ALL PAINT REMOVAL, CONSOLIDATION, INFILL PAINTING AND CLEANING WORKS TO BE COMPLETED BY A SUITABLY QUALIFIED MATERIALS CONSERVATOR WITH EXPERIENCE IN CONSERVATION OF WALL PAINTING.
- MATERIALS CONSERVATOR TO REFER TO 'TRADES HALL MELBOURNE - VICTORIA STREET ENTRY HALL; ASSESSMENT OF THE STATUS, CONDITION AND RECOVERY VIABILITY' REPORT DATED AUGUST 2022 PREPARED BY ARTCARE.
- PAINTING OF DADO, DADO FRIEZE, SKIRTING, ARCHITRAVES, DOORS, CORNICE AND CEILING TO BE COMPLETED BY PAINTERS AND INTERIOR DECORATORS THAT ARE SUITABLE QUALIFIED IN REINSTATEMENT OF HIGHLY DECORATIVE INTERIORS WITH EXPERIENCE IN STENCIL WORK.

PAINTING NOTES:

- FOLLOWING COMPLETION OF WORKS BY THE CONSERVATORS PAINTING WORKS TO BE UNDERTAKEN ALL REMAINING ELEMENTS INCLUDING THE DADO, DADO FRIEZE, SKIRTING, ARCHITRAVES, DOORS, CORNICE AND CEILING
- COLOUR SCHEME TO BE INFORMED BY OUTCOME OF OVER PAINT REMOVAL AND STAGE PAINT SCHEMES TO THE EXECUTIVE WING.

OVERPAINT REMOVAL NOTES:

- STEP ONE**
- REMOVE EXTANT PAINT SCHEME CONSISTING OF TWO LAYERS BY WAY OF POU LTICE APPLICATION.
 - POU LTICE DWELL TIME AIMS TO ENSURE THAT THE TWO LAYERS ARE SOFTENED UNIFORMLY SUCH THAT THE UNDERLAYING SECOND SCHEME PINK LAYER IS EXPOSE INTACT WITH NO GOUGING THROUGH TO THE ORIGINAL SCHEME AND NO UNDUE RESIDUE OF OVER PAINTING FROM THE SOFTENED THIRD SCHEME REMAINS.
 - POU LTICE GEL TO CONSIST OF 2 PARTS ACETONE AND 1 PART ETHANOL FOR 20-25 MINUTES OR UNTIL THE TWO PAINT LAYERS ARE UNIFORMLY SOFTENED.
 - AN ADDITION OF 10% DICHLOROMETHANE MAY BE REQUIRED FOR SOFTENING MORE RESISTANT AREAS, NOTING TIMING WILL NEED TO BE ADJUSTED ACCORDINGLY.
 - ONCE EXTANT PAINT LAYERS HAVE SOFTENED WITH THE POU LTICE THE TWO OTHER LAYERS ARE SLICED WITH A DULL #22 SCALPEL BALDE.

HOLD POINT - ALLOW FOR REVIEW OF STEP ONE WORKS BY ARCHITECT PRIOR TO PROCEEDING WITH STEP TWO.

STEP TWO

- THE PENULTIMATE PAINT LAYER ABOVE THE ORIGINAL TO BE REMOVED BY WAY OF SOFTENING SOLVENT.
- THE SLOW PENETRATION OF THE SOFTENING SOLVENT ENSURES THAT THE OVERPAINT BECOMES SUFFICIENTLY DETACHED FROM THE ORIGINAL, ESPECIALLY THE GILT HIGHLIGHTS, TO ENSURE SEPARATION IS EFFECTIVE AND LOW IMPACT.
- SOFTENING SOLVENT APPLICATION TO BE A WATER ETHANOL 9:1 MIX APPLIED WITH SOAKED COTTON WOOL PADS OF APPROXIMATELY 120X120 MM FOR TWO TO THREE DAYS.
- GENTLY PRISE THE SOFTENED PAINT FROM THE SURFACE WITH SCALPEL BLADES, ENSURING THE BLADES ARE SUITABLY DULLED TO AVOID DAMAGING THE ORIGINAL SURFACE.

HOLD POINT - ALLOW FOR REVIEW OF OVER PAINTING REMOVAL BEFORE PROCEEDING WITH CONSOLIDATION

CONSOLIDATION NOTES:

- FOLLOWING COMPLETION OF OVER PAINTING REMOVAL ALLOW FOR REVIEW AND INSPECTION WITH ARCHITECT.
- ALLOW FOR CONSOLIDATION OF FULL EXTENT OF ORIGINAL PAINT LAYER.
- CONSERVATOR TO PROPOSED CONSOLIDATION METHOD AND COMPLETE TRIALS TO AGREED AREA FOR REVIEW.
- FOLLOWING REVIEW AND APPROVAL OF TRIALS BY ARCHITECT, UNDERTAKE CONSOLIDATION OF PAINTWORK.

HOLD POINT - ALLOW FOR REVIEW OF CONSOLIDATED ORIGINAL PAINT SCHEME BY ARCHITECT PRIOR TO PROCEEDING WITH INFILL PAINTING.

INFILL PAINTING NOTES:

- EXTENT OF INFILL PAINTING TO BE CONFIRMED BY ARCHITECT FOLLOWING COMPLETION OF PAINT REMOVAL AND CONSOLIDATION.
- INFILL PAINTING TO ADDRESS BOTH LOST PAINTWORK AND AREAS WHERE NAMES / WORDS ARE OBFUSCATED.
- ALL PAINT COLOURS ARE TO BE CONFIRMED ONSITE.

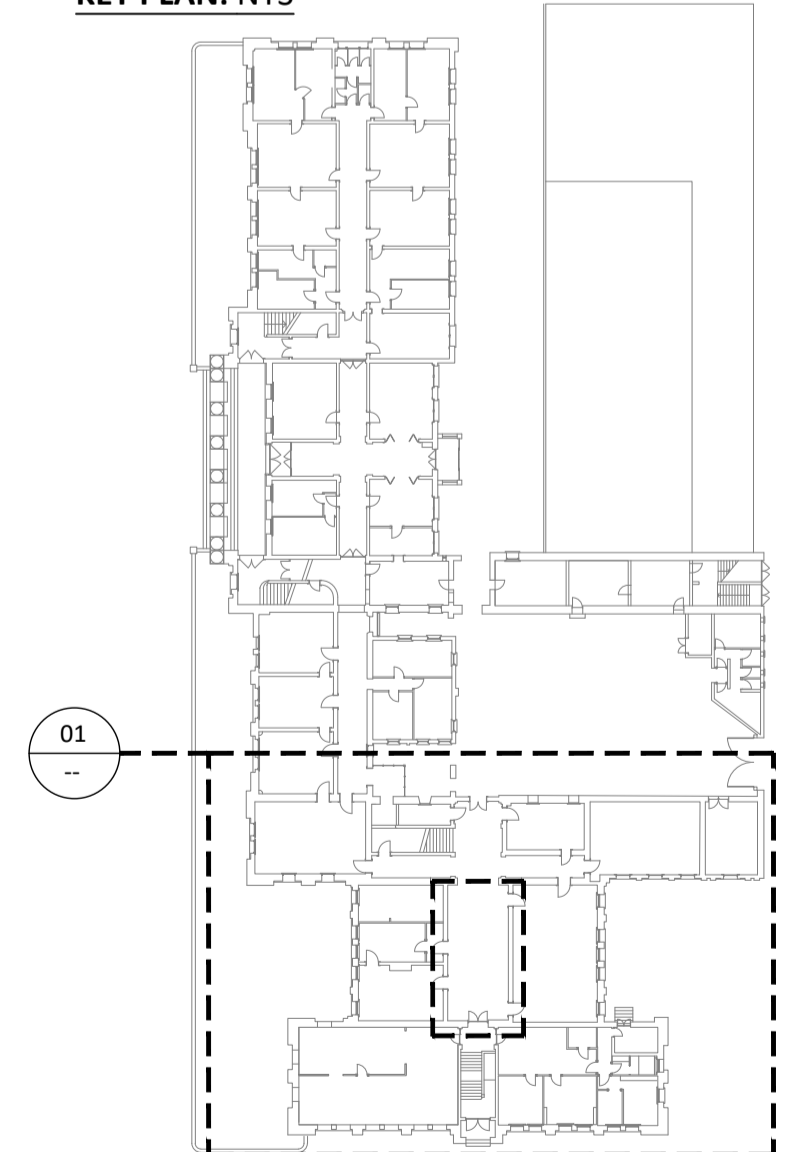
EAST WALL CLEANING NOTES:

- FULL EXTENT OF EAST WALL TO BE CLEANED.
- CLEAN USING WATER ETHANOL 9:1 MIX AND SPONGES.
- ENSURE SPONGES ARE CHANGED AT REGULAR INTERVALS BEFORE THEY BECOME NOTICEABLY SOILED.

LEGEND:

- PAINT REMOVAL EXTENT
- INDICATIVE LOCATION OF PAINTED HONOR BOARDS

KEY PLAN: NTS



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NO.	DATE	REVISION
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PROJECT
TRADES HALL STAGE THREE
VICTORIA STREET WING

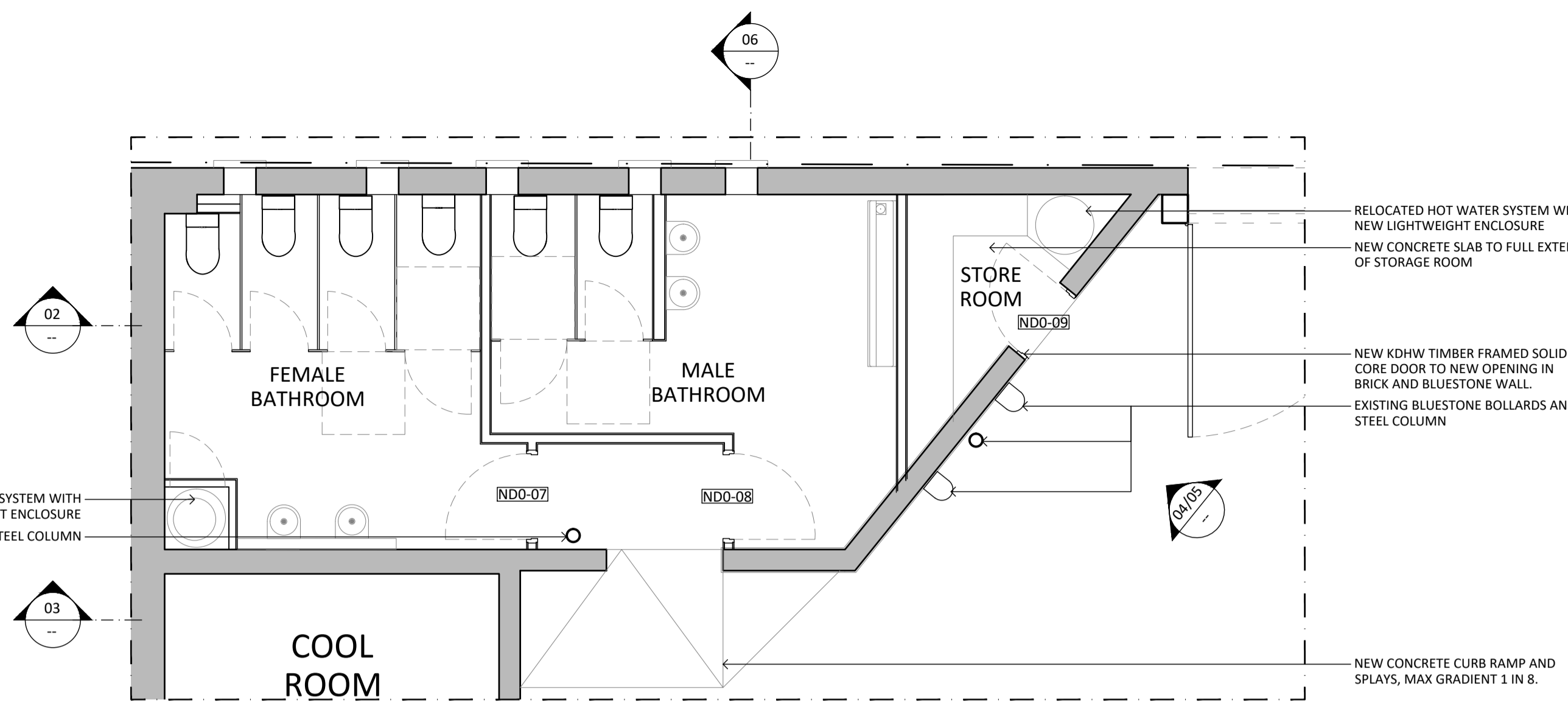
DRAWN	CHECKED	PROJECT NO.	DATE
TM	SH	10048	JUNE 2024

DRAWING TITLE
VICTORIA STREET FOYER
INTERNAL ELEVATIONS

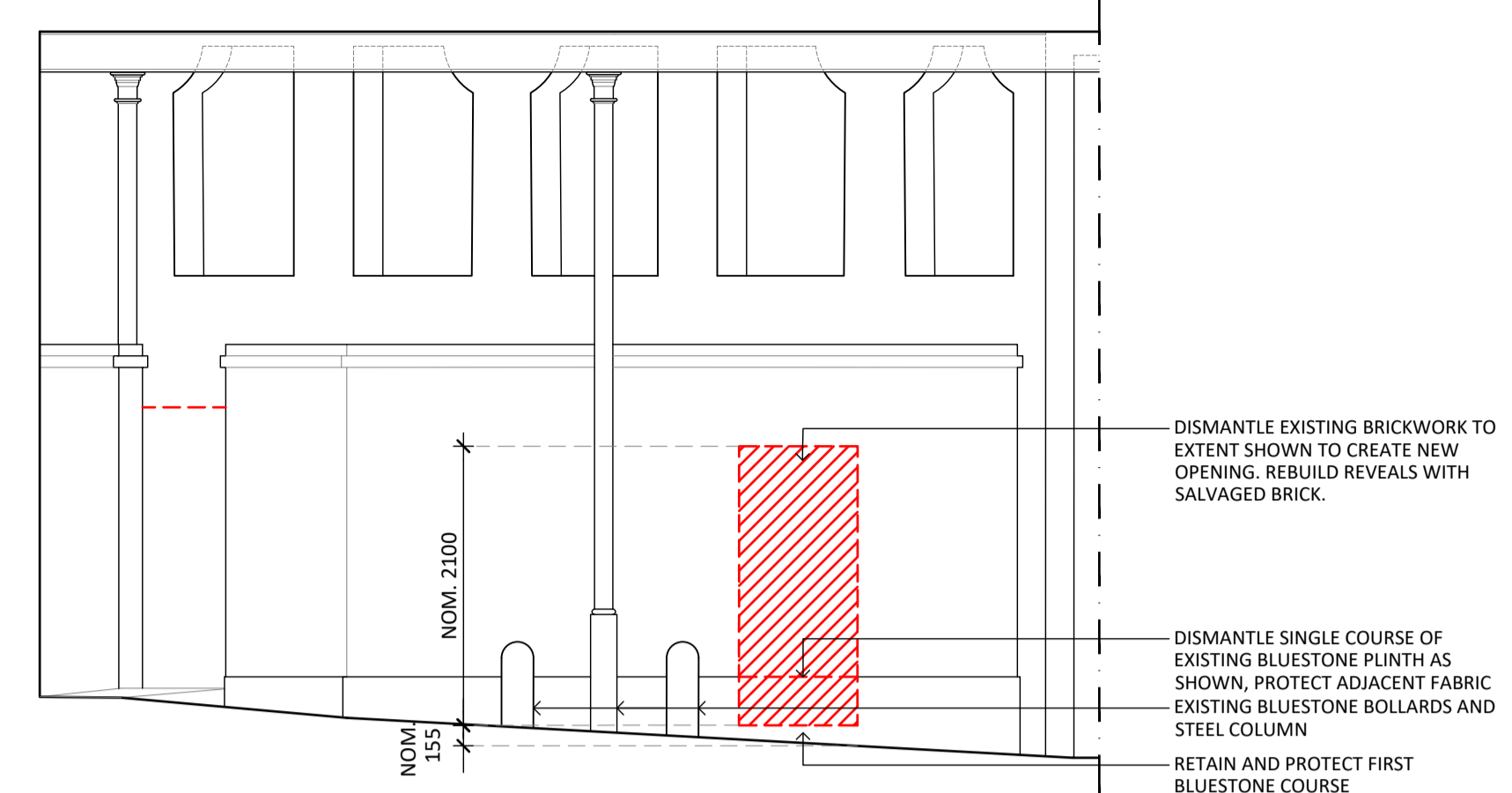
ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:50@A1	A-600	DD1

GENERAL NOTES:

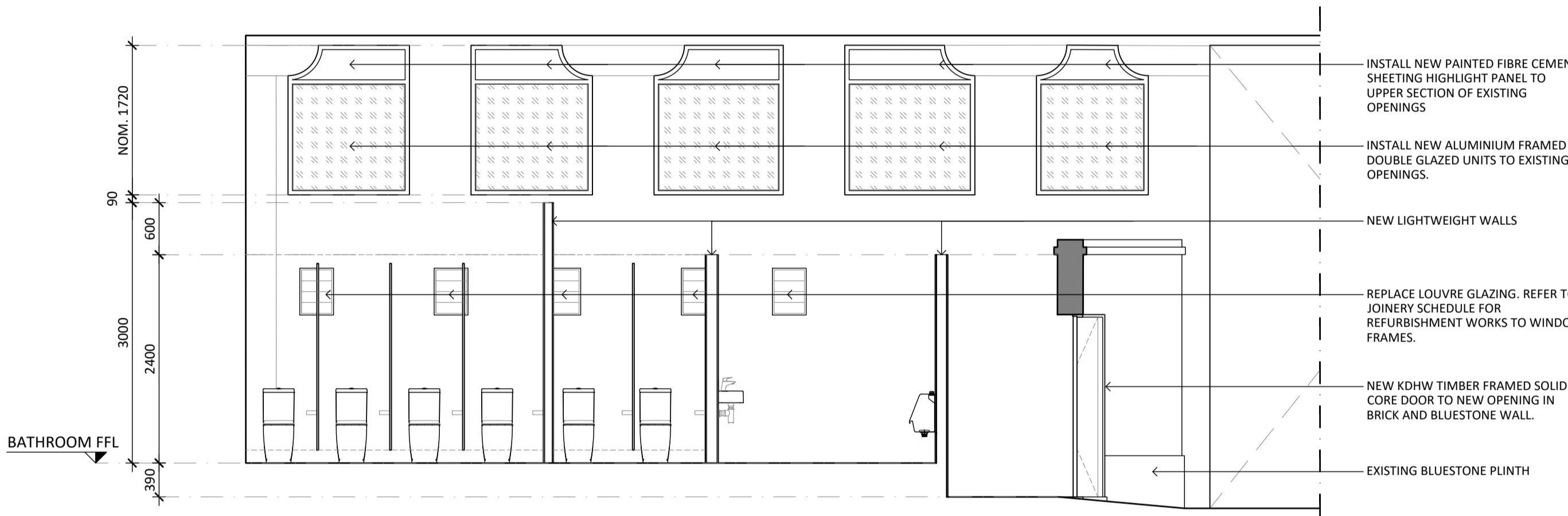
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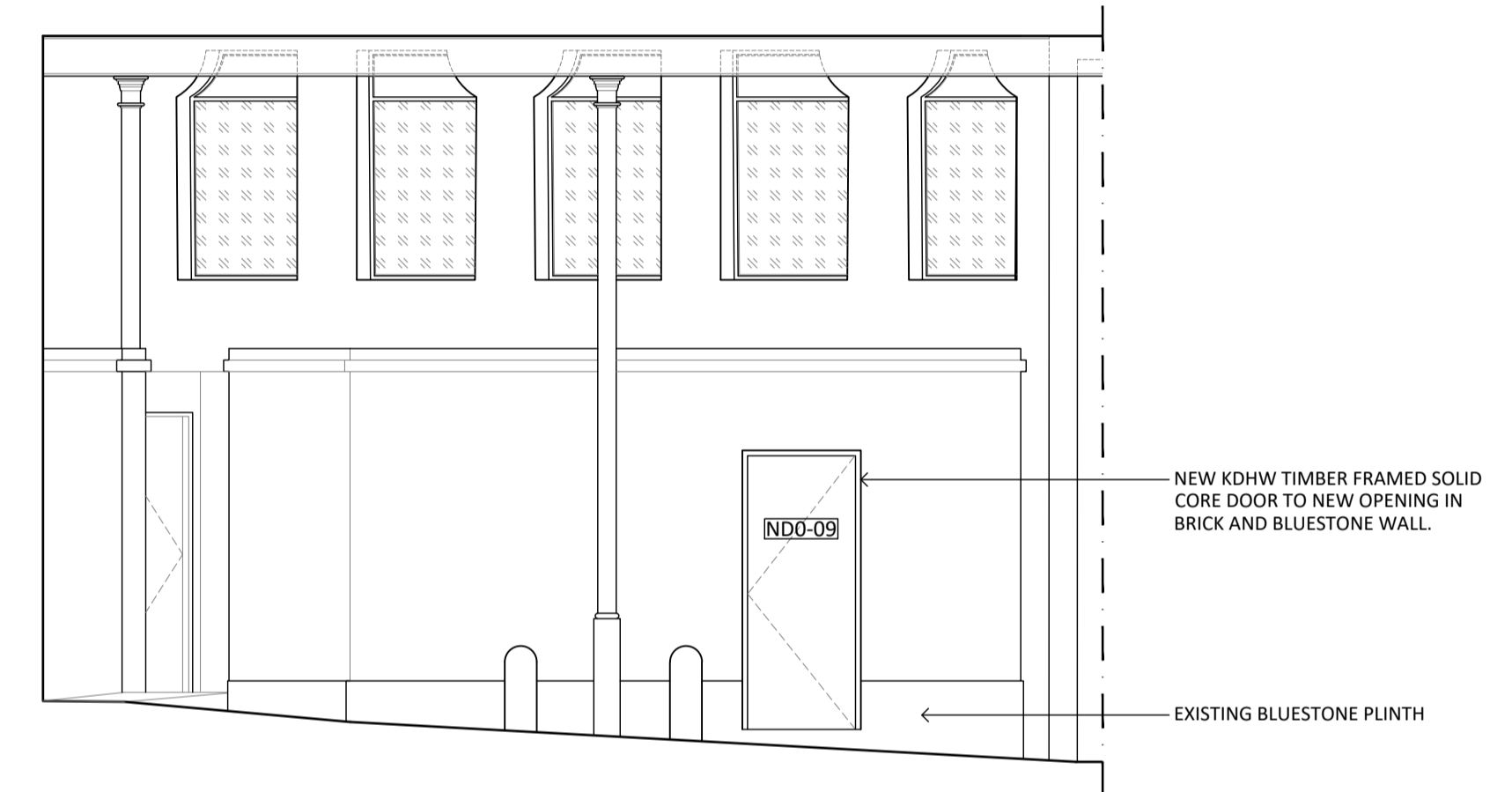
01 PROPOSED PLAN BATHROOMS - UNDERCROFT
1:50



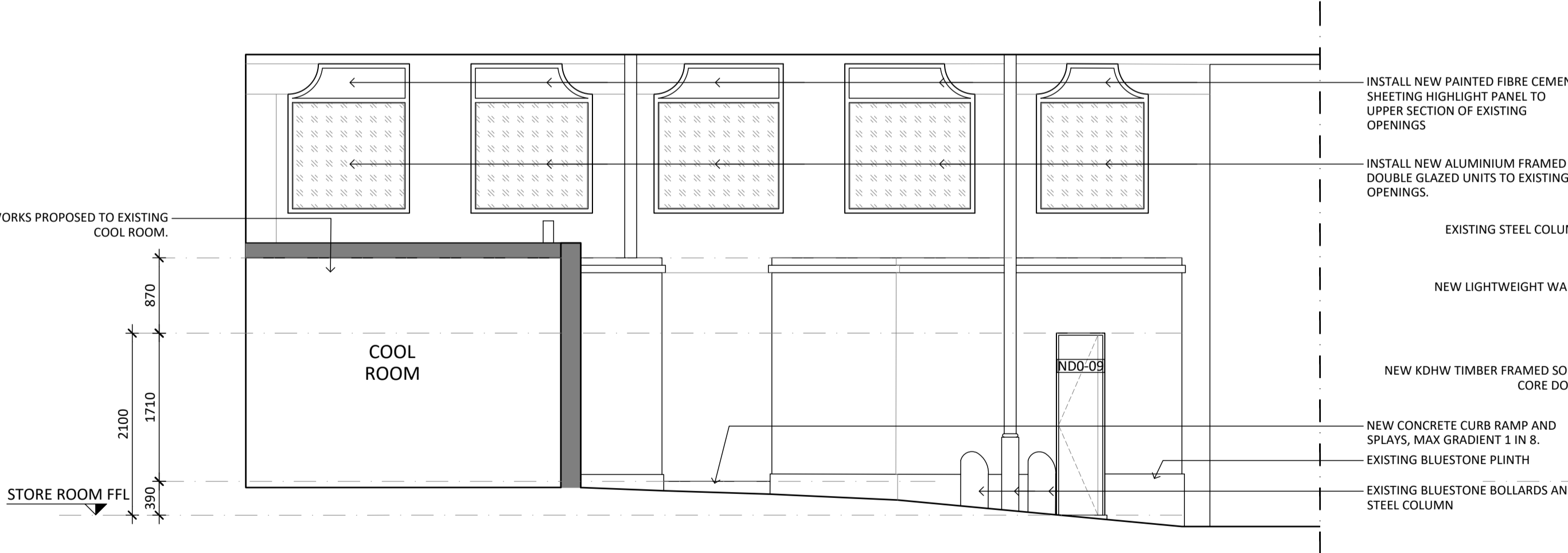
04 DEMOLITION INTERNAL ELEVATION FACING NORTH-EAST
1:50



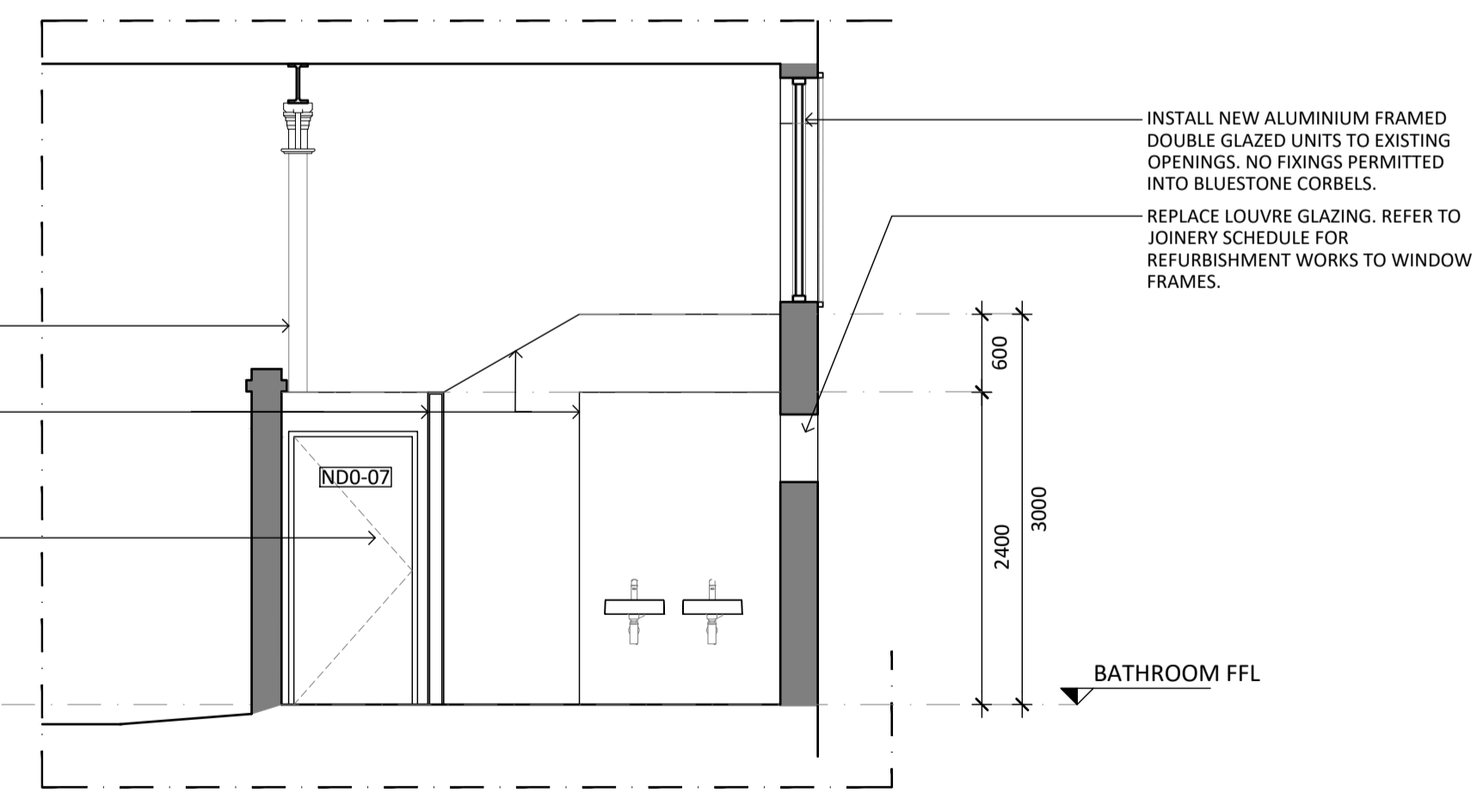
02 INTERNAL ELEVATION FACING EAST
1:50



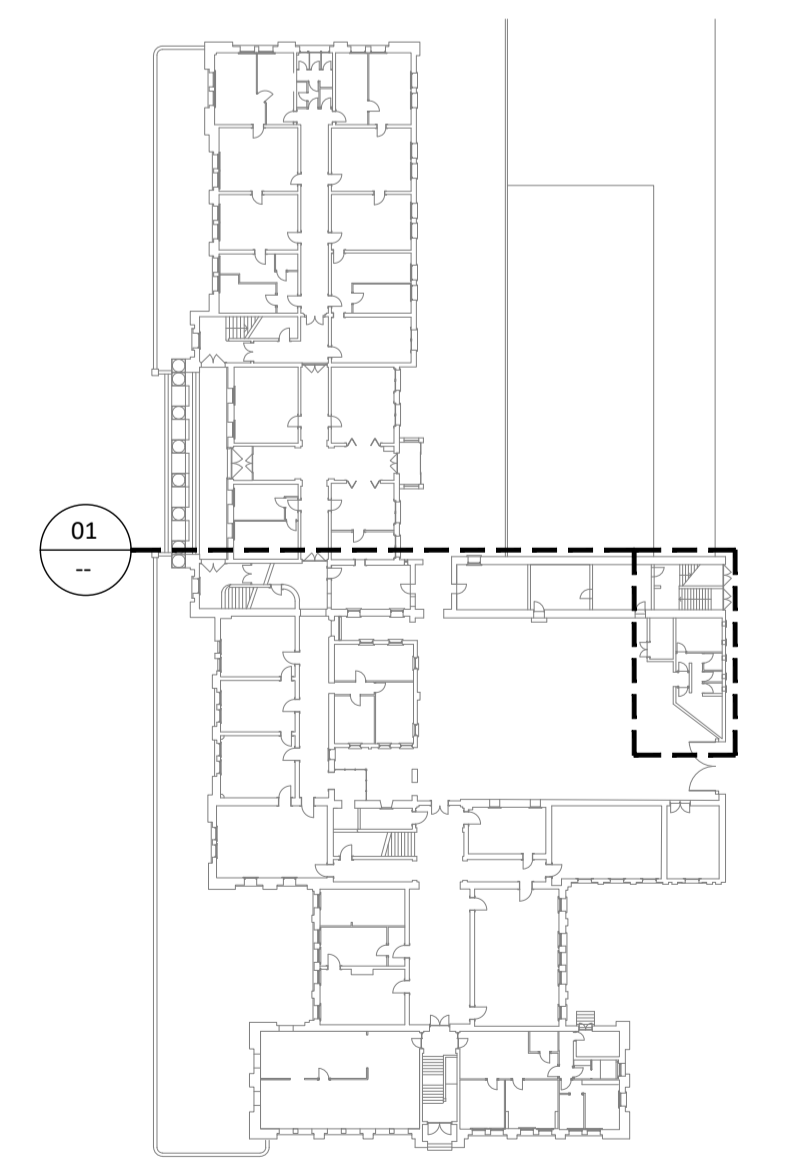
05 INTERNAL ELEVATION FACING NORTH-EAST
1:50



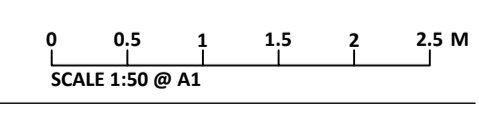
03 INTERNAL ELEVATION FACING EAST
1:50



06 INTERNAL ELEVATION FACING NORTH
1:50



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NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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PROJECT
**TRADES HALL STAGE THREE
VICTORIA STREET WING**

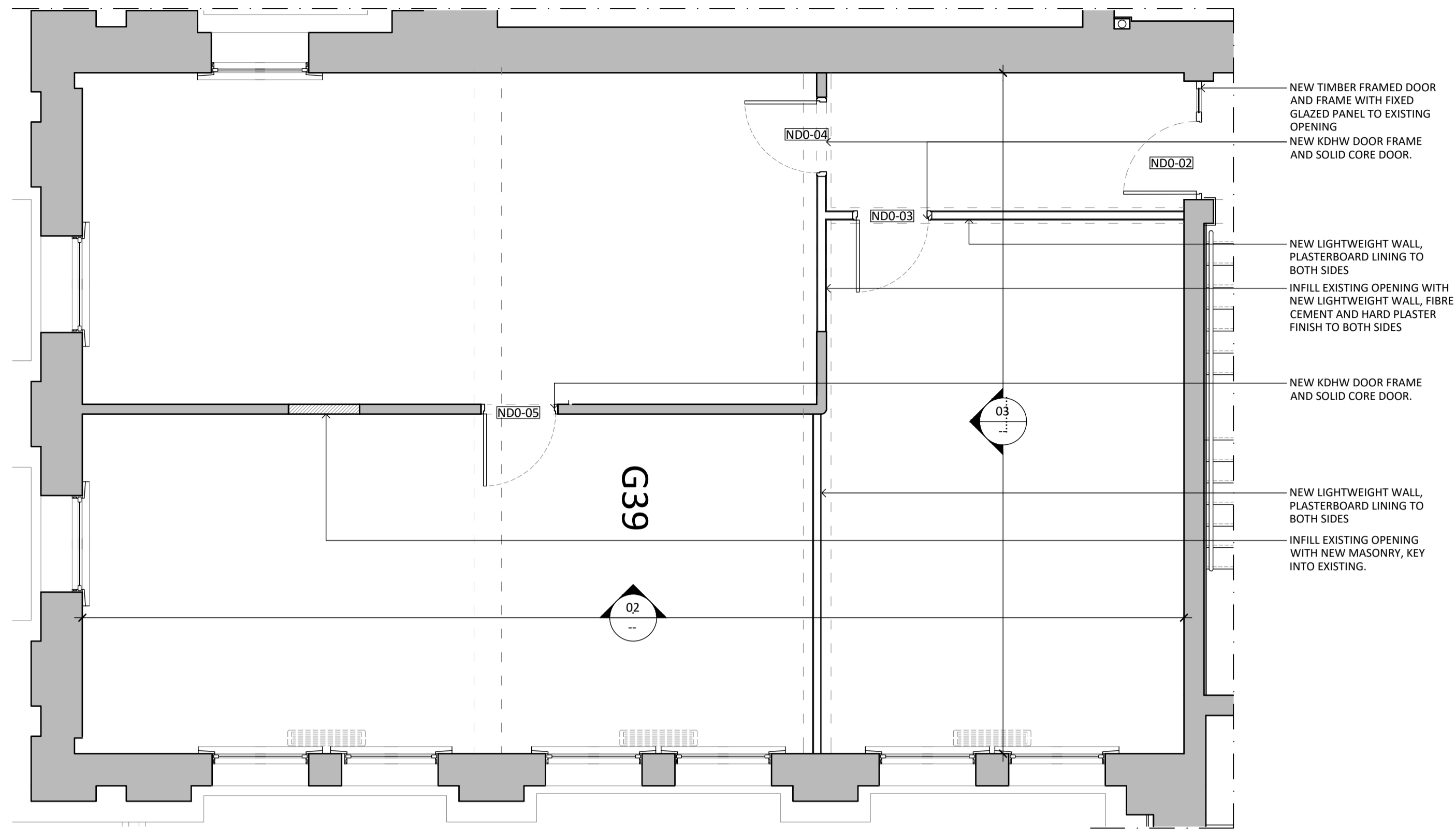
LOCATED ON WURUNDJERI COUNTRY

DRAWN	CHECKED	PROJECT NO.	DATE
JT	SH	10048	MAY 2024

DRAWING TITLE
**UNDERCROFT BATHROOMS
INTERNAL ELEVATIONS**

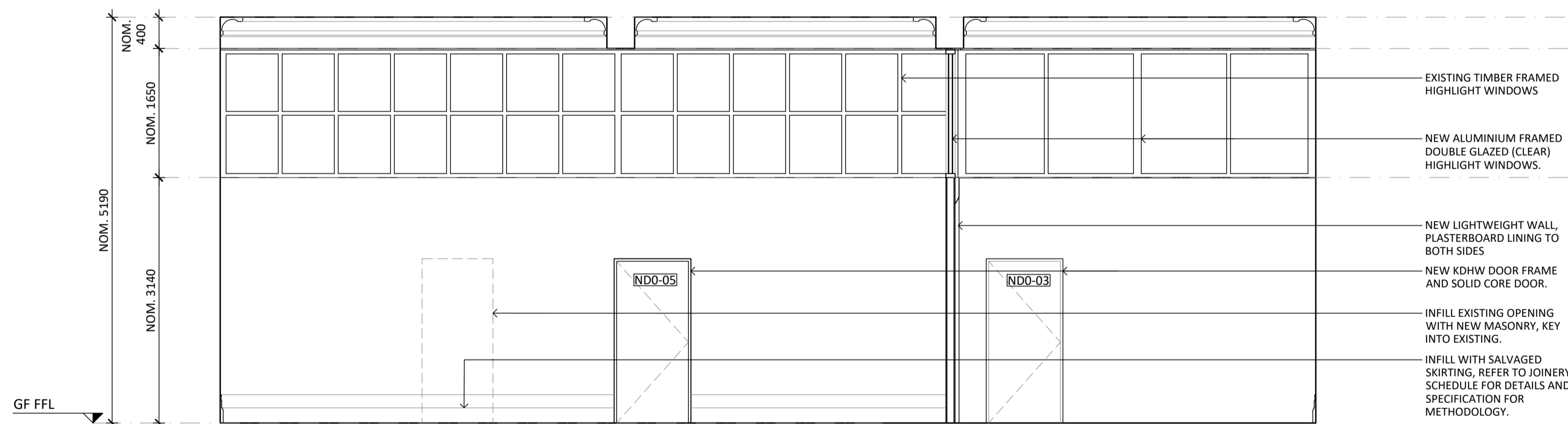
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ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:50@A1	A-601	DD1

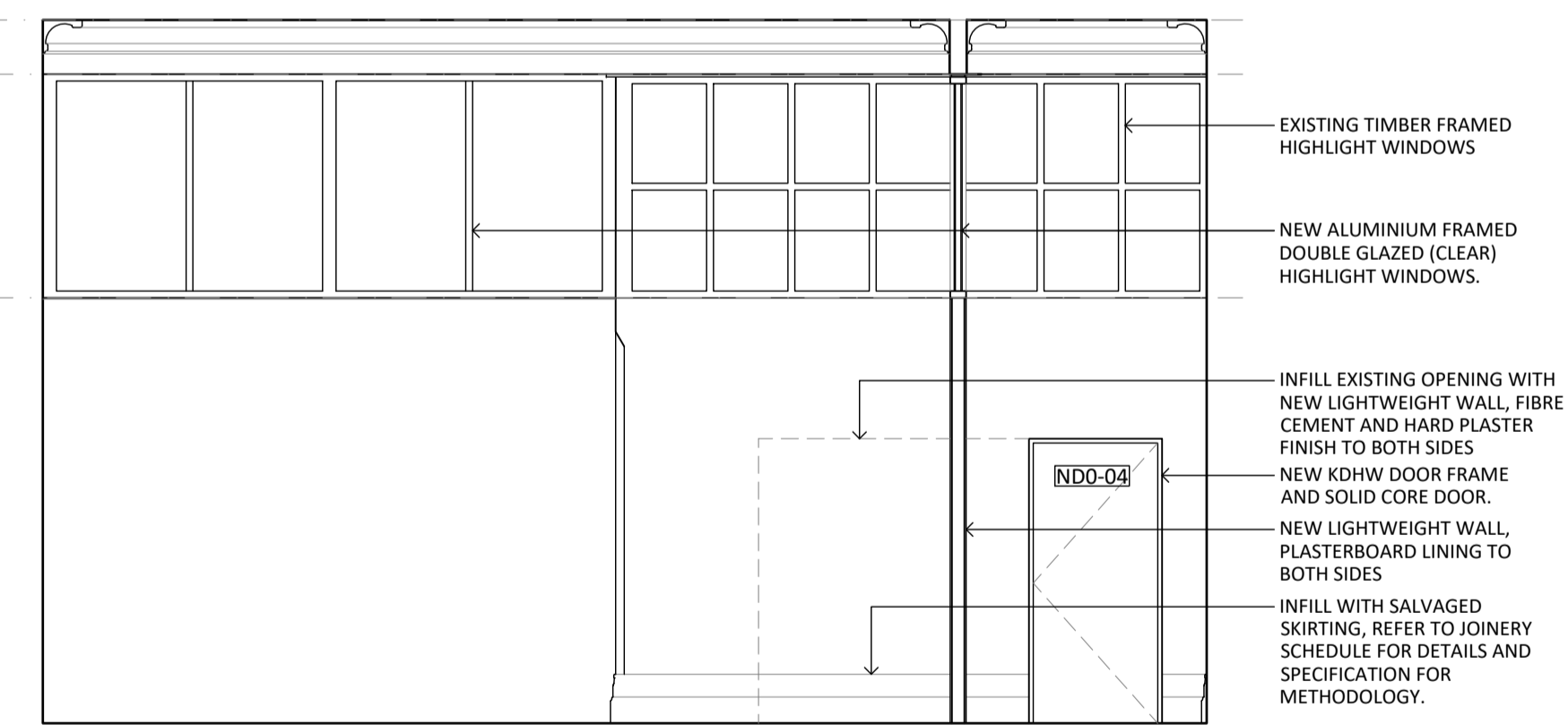


01 G39 PLAN
1:50

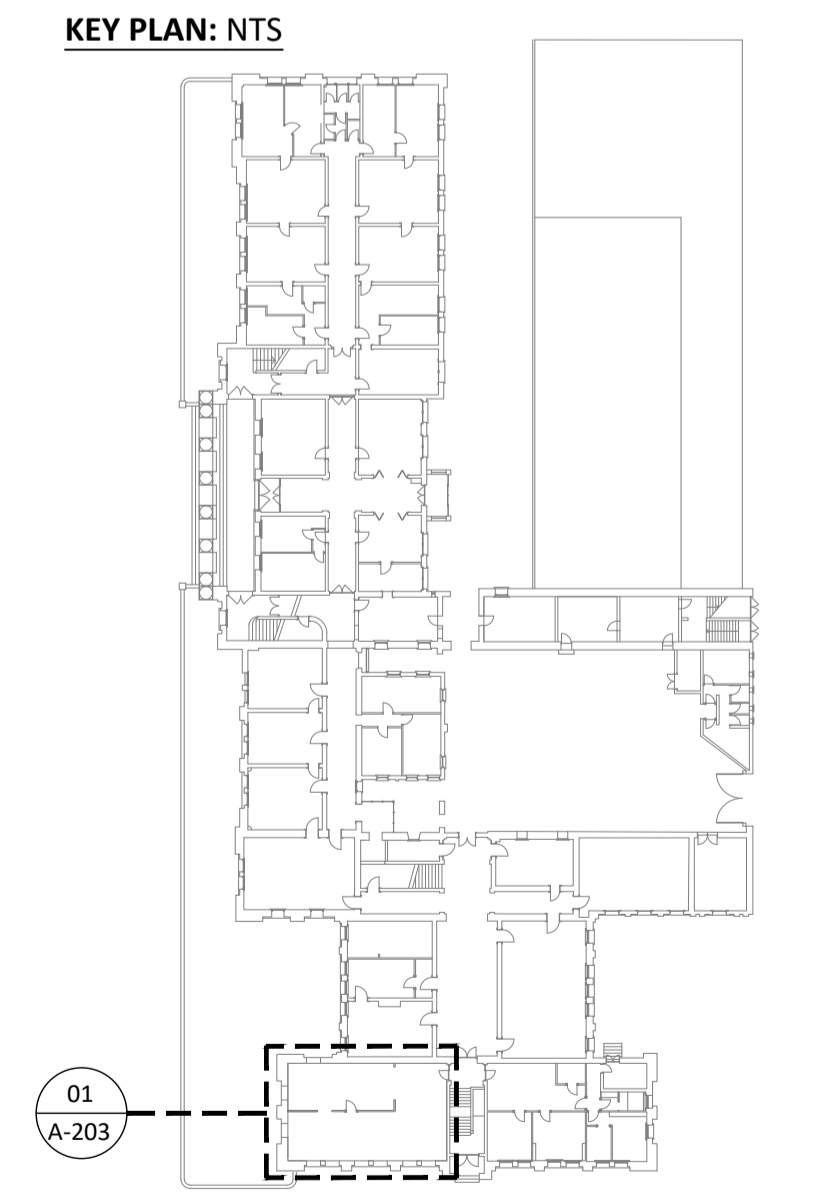
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 6. MEASURED DRAWINGS ARE BASED ON THE EXTERNAL FINISH FACE OF WALLS.
- WORKS NOTES:**
1. SETOUT IS TO BE IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
 2. ALL ROOF PLUMBING TO COMPLY WITH AS 3500.3.2
 3. ALL RAIN WATER GOODS MATERIAL TO COMPLY WITH AS 2179.1
 4. ALL FLASHING AND CAPPING TO COMPLY WITH AS 2904
 5. CONNECT NEW STORMWATER SERVICES TO EXISTING LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE REGULATING AUTHORITY.
 6. ALL HYDRAULIC SERVICE RISERS TO BE LINED IN PAINTED 13MM PLASTERBOARD AND PIPES WRAPPED WITH 4KG/M3 ACOUSTIC PIPE LAGGING
 7. ALL MECHANICAL SERVICE RISERS TO BE LINED IN PAINTED 13MM PLASTERBOARD WHERE EXPOSED
 8. ALL SERVICES, ELECTRICAL METERS OR DISTRIBUTION BOARDS LOCATED IN THE PATHS OF TRAVEL TO AN EXIT MUST BE IN NON-COMBUSTIBLE ENCLOSURES WITH SMOKE SEALS TO ENCLOSURE DOORS.
 9. ALL REPLACEMENT GLAZING TO WINDOWS TO COMPLY WITH AS1288 AS PER THE SPECIFICATION.



02 INTERNAL ELEVATION FACING NORTH
1:50



02 INTERNAL ELEVATION FACING WEST
1:50



01 A-203

NOT FOR CONSTRUCTION

NO.	DATE	REVISION
DD1	07/06/2024	HERITAGE VICTORIA SUBMISSION

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JT	SH	10048	JUN 2024

DRAWING TITLE
G39 INTERNAL ELEVATIONS

PREPARED ON THE LANDS OF THE WURUNDJERI PEOPLE

ISSUE	SCALE	DRAWING NO.	REVISION
AUTHORITY	1:50@A1	A-603	DD1